

Parcel ID	Own, Street	Own, City	Owner1
29 70K	9911 ALTAMONT CIR	FREDERICKSBURG	ASHBY O'CONNOR G &
29G 1 63	108 BLACKGUM CT	STAFFORD	ASKEY DENNIS & SHIRLEY
29 38A	PO BOX 2648	STAFFORD	AUGUSTINE SOUTH ASSOCIATES LLC
29C 7 713	8 BOOTH CT	STAFFORD	BUTLER PHILLIP
29G 2 2	330 SHIELDS RD	STAFFORD	CANNON CHRISTOPHER SEAN ANDRE & KRIS
29G 1 61	104 BLACKGUM CT	STAFFORD	CARPIO CARLOS ALBERTO & NATASHA
29G 1 43	204 SHIELDS RD	STAFFORD	CASTILLO JOSE L
29 28	848 COUNTRY HOUSE RD	STAFFORD	COOPER CATHERINE PIERSON
29G 2 3	328 SHIELDS RD	STAFFORD	COOPER RALPH MURRAY JR
29G 1 39	212 SHIELDS RD	STAFFORD	COPPELLI LAUREN M & ROBERT
29G 8B	PO BOX 339	STAFFORD	COUNTY OF STAFFORD VIRGINIA
29 53C1	1600 MINE RD	STAFFORD	COUNTY OF STAFFORD VIRGINIA
29G 1 66	114 BLACKGUM CT	STAFFORD	DANGOL AMIR &
29G 1 38	214 SHIELDS RD	STAFFORD	DEROSA JOHN P & HASIBE F
29G 2 8	406 WAVERLY CT	NEWPORT	DODDS THOMAS JOHN & DONA R
29G 1 F	PO BOX 10821	CHANTILLY	EMBLEY MILL HOMEOWNERS ASSOCIATION
29G 1 A	PO BOX 10821	CHANTILLY	EMBLEY MILL HOMEOWNERS ASSOCIATION
29G 2 P	25 APRICOT ST	STAFFORD	EMBLEY MILLS HOMEOWNERS ASSOC
29G 2 N	25 APRICOT ST	STAFFORD	EMBLEY MILLS HOMEOWNERS ASSOC
29 71	811 COURTHOUSE RD	STAFFORD	ENGLISH EUGENE E & TAMMIE J
29 75	936 COURTHOUSE ROAD	STAFFORD	FRITTER IRENE VASQUEZ
29 75	936 COURTHOUSE ROAD	STAFFORD	FRITTER IRENE VASQUEZ
29 78	936 COURTHOUSE ROAD	STAFFORD	FRITTER IRENE VASQUEZ & MARY IRENE M
29G 2 14	306 SHIELDS RD	STAFFORD	FUNCK TRACY D
29G 1 44	202 SHIELDS RD	STAFFORD	GRAYSON WONDA E
29G 1 36	238 SHIELDS RD	STAFFORD	GUJARADO MELISSA D
29G 2 12	310 SHIELDS RD	STAFFORD	HAGBERG LEROY & CHRISTINA
29 74	912 COURTHOUSE ROAD	STAFFORD	HAGER BEVERLY ALANA
29 74B	922 COURTHOUSE RD	STAFFORD	HAGER RAY E
29G 1 45	200 SHIELDS RD	STAFFORD	HARDING GREGORY TROY & KELLY S
29G 2 9	316 SHIELDS RD	STAFFORD	HECK JENNIFER ANN
29G 2 10	314 SHIELDS RD	STAFFORD	HERNANDEZ GIOVANNI GARAY
29G 1 41	8923 SW 80TH AVE	GAINESVILLE	HIRSCH CHRISTOPHER B & JUSTINE K
29G 2 4	326 SHIELDS RD	STAFFORD	HOFSTEDT STEPHEN LLOYD & RACHEL CUFF
29G 1 35	220 SHIELDS RD	STAFFORD	HUPKA TYLER RICHARD
29G 1 68	118 BLACKGUM CT	STAFFORD	JUSTICE-KELLY TASHA &
29G 1 50	100 BLACKGUM CT	STAFFORD	LAMAR NICOLE M &
29G 1 34	222 SHIELDS RD	STAFFORD	LEE JONAS
29 38 1B	854 COURTHOUSE RD	STAFFORD	LUCIANI YOUNGSHAWN
29 76B	952 COURTHOUSE ROAD	STAFFORD	MCCONCHIE EUGENE E & MARY IRENE
29G 1 40	210 SHIELDS RD	STAFFORD	MCCONNELL BRANDON EUGENE
29G 2 6	322 SHIELDS RD	STAFFORD	MOORE DALE & PENNAKE
29G 2 11	312 SHIELDS RD	STAFFORD	MURPHY DANIEL & DANIA
29G 1 J	13777 BALLANTYNE CORPORATE PL STE 250	CHARLOTTE	NASH STAFFORD LLC
29 60C	2407 COLUMBIA PIKE STE 200	ARLINGTON	NORTH STAFFORD ASSOCIATES LC
29G 1 42	206 SHIELDS RD	STAFFORD	NORTHWOOD ROBERT &
29G 1 37	216 SHIELDS RD	STAFFORD	NOVAK ROSALIA J & NICOLE ARCE
29G 2 17	300 SHIELDS RD	STAFFORD	PALACIOS LUIS A
29C 7 712	10 BOOTH CT	STAFFORD	PETOSKEY CHRISTOPHER RANDALL & STACE
29G 2 13	308 SHIELDS RD	STAFFORD	PRESSLEY RONALD
29G 2 7	320 SHIELDS RD	STAFFORD	QUINO MICHAEL I & MICHELLE R
29 60	9900 MAIN ST STE 500	FAIRFAX	ROCKY RIDGE JOINT VENTURE
29 75A	930 COURTHOUSE ROAD	STAFFORD	RODERICK MANUEL DAVID & KATHY IRENE
29G 2 16	14 PEPPER TREE CT	COLUMBUS	TOE TEO A & BAILEY R
29G 1A 454	100 APRICOT ST	STAFFORD	ROSS SHAMAR F
29 73K	2 CEDAR ST	STAFFORD	SALON THOMAS JR
29G 1 64	110 BLACKGUM CT	STAFFORD	SANCHEZ CONCHA ZOILA L
29 80	1420 BEVERLY RD STE 240	MCLEAN	SCOTT MICHAEL W TRUSTEE
29G 1 62	106 BLACKGUM CT	STAFFORD	SMITH KIMBERLY ANN
29G 2 1	332 SHIELDS RD	STAFFORD	SOLOMON SHERINETTE I
29G 1 65	27697 EQUINE CT	CHANTILLY	SPHINK HOMES LLC
29 53C	PO BOX 339	STAFFORD	STAFFORD COUNTY VIRGINIA
29 73D	4110 WYNNWOOD DR	ANNANDALE	STAFFORD DEVELOPERS LLC
29C 7 711	12 BOOTH CT	STAFFORD	STENCIVAC DARLA L & PETER M
29G 2 15	304 SHIELDS RD	STAFFORD	STROUD CHRISTOPHER & MARICHS
29G 2 5	324 SHIELDS RD	STAFFORD	THOMPSON LEWIS EDWIN III
29G 1 33	224 SHIELDS RD	STAFFORD	WILKINS TAHERA TERANCE
29G 1 60	102 BLACKGUM CT	STAFFORD	YACOME JAMES FRANCOIS
29 79	8 LAKEWIND LN	STAFFORD	YOGI HOSPITALITY LLC
29G 1 67	106 PEAR BLOSSOM RD	STAFFORD	ZACHARIAS DEREK

TAX MAP	LSRN	OWNER	ZONE	INST #	DEED BK & PG	USE	AREA
1. 29 72	18079	NORTH STAFFORD ASSOCIATES LC	A-1		B110 24	VACANT / RESIDENTIAL	15.864 AC.
2. 29 72 B	52664	NORTH STAFFORD ASSOCIATES LC	A-1		B110 24	VACANT / RESIDENTIAL	0.768 AC.
3. 29 53	51123	NORTH STAFFORD ASSOCIATES LC	PD 2		NOT LISTED	VACANT/COMMERCIAL	0.66 AC. (VH/B)

TAX MAP	LOT#	LSRN	OWNER	ZONE	INST #	DEED BK & PG	USE
2. 29.38	A	17982	AUGUSTINE SOUTH ASSOCIATES LLC	A-1 AGRI	110011657X	-	RESIDENTIAL
2. 29.38	18	18129	LUCIAN KENNETH A JR & YOUNGSHIN	A-1 AGRI	110013951	-	RESIDENTIAL
3. 29.38	2B	18131	COOKE MASTIN RAY & CATHERINE P	A-1 AGRI	-	B214 P105	RESIDENTIAL
4. 29.53	B	51123	NORTH STAFFORD ASSOCIATES LLC	PD-PD	XDEEDS	-	VACANT / COMMERCIAL
5. 29.70	C	18072	CATON JOHN A	A-1	130006172	-	RESIDENTIAL
6. 29.71	-	18078	EUGENE E & TAMMIE J ENGLISH	A-1	030053033	-	RESIDENTIAL
7. 29.72	A	52663	STAFFORD COUNTY VIRGINIA	A-1	130012407	-	VACANT/ UNBUILDABLE
8. 29.73	D	18084	KHAN AHMAD H	A-1	030025133	-	VACANT / AGRI
9. 29.73	K	18090	SABLON THOMAS JR	A-1	030051886	-	RESIDENTIAL
10. 29.74	-	18092	HAGER BEVERLY ALANA	A-1	-	B295 P101	RESIDENTIAL

OWNER AND DEVELOPER:
NORTH STAFFORD ASSOCIATES, LC
C/O B. M. SMITH & ASSOCIATES, INC.
2407 COLUMBIA PIKE SUITE 200
ARLINGTON, VIRGINIA 22204
703.920.2200
CONTACT: MEGAN WINSTEN

CIVIL ENGINEERING/ LANDSCAPE ARCHITECTURE/
TRANSPORTATION PLANNING / SURVEY:
PENNONI ASSOCIATES, INC.
14532 LEE ROAD
CHANTILLY, VA 20151
703.449.6700
CONTACT: ELIZABETH FRIBUSH, LA; DOUG KENNEDY, PE

ARCHITECTURE AND CONCEPTUAL PLANNING:
WHA ARCHITECTURE & PLANNING
1408 NORTH FILLMORE STREET SUITE 9
ARLINGTON, VIRGINIA 22201
703.527.1227
CONTACT: CHRIS HUBBARD

LAND USE ATTORNEY:
LEMING & HEALY PC
233 GARRISONVILLE ROAD #204
STAFFORD, VIRGINIA 22554
540.659.5155
CONTACT: CLARK LEMING

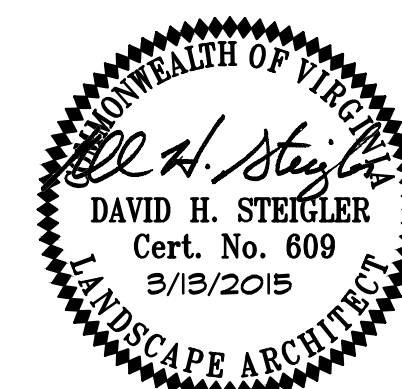
ENVIRONMENTAL CONSULTANT:
STANTEC
(FORMERLY WILLIAMSBURG ENVIRONMENTAL GROUP)
4500 DALY DRIVE SUITE 100
CHANTILLY, VA 20151
703.263.1220 CHRIS KUHN
804-267-3474 BRAD HELMANDOLLAR

VICINITY MAP
SCALE: 1"= 2000'

1	CS-01	COVER SHEET	
2	CS-02	CONTEXT PLAN	
3	CS-03	SITE LAYOUT PLAN	
4	CS-04	SITE SECTIONS	
5	EN-01	PRELIMINARY STORMWATER MANAGEMENT PLAN	
6	AR-01	BUILDING "C" CONCEPTUAL ELEVATIONS	EXTERIOR ELEVATIONS
7	AR-01a	BUILDING "D" CONCEPTUAL ELEVATIONS	EXTERIOR ELEVATIONS
8	AR-01b	BUILDING "C" CONCEPTUAL ELEVATIONS	EXTERIOR ELEVATIONS
9	AR-01c	BUILDING "C" CONCEPTUAL ELEVATIONS	EXTERIOR ELEVATIONS
10	AR-02	SIGNAGE ELEVATIONS	
11	EC-01	ENVIRONMENTAL INVENTORY: SOILS, HYDROLOGY, AND WETLANDS	
12	EC-02	ENVIRONMENTAL INVENTORY: EXISTING USE, VEGETATION, AND TOPOGRAPHY	
13	SU-01	REZONING PLAT	
14	AR-01d	EXTERIOR PERSPECTIVE	
15-19	Sv-1-4	ALTA SURVEY	

THIS PLAN IS APPROVED BY THE UNDERSIGNED IN ACCORDANCE WITH
CURRENT STAFFORD COUNTY, VIRGINIA REGULATIONS

AGENT - STAFFORD COUNTY DATE





Pennoni Associates Inc.
Engineers - Architects - Planners - Landscape Architects
14532 Lee Road
Chantilly, VA 20151-1679
T 703.445.8700 F 703.445.8714

W H A
ARCHITECTURE AND PLANNING

1400 N. FLEMING ST. SUITE 9 ARLINGTON, VA 22201
PH 703 835-1207 FAX 703 835-1438

NO.	DATE	REVISIONS	BY
1	3/13/15	REVISE PLAN PER UPDATED ADJACENT INFORMATION	EFF



SITE CONTEXT PLAN
EMBREY MILL COMMERCIAL
GARRISONVILLE DISTRICT
STAFFORD COUNTY, VIRGINIA

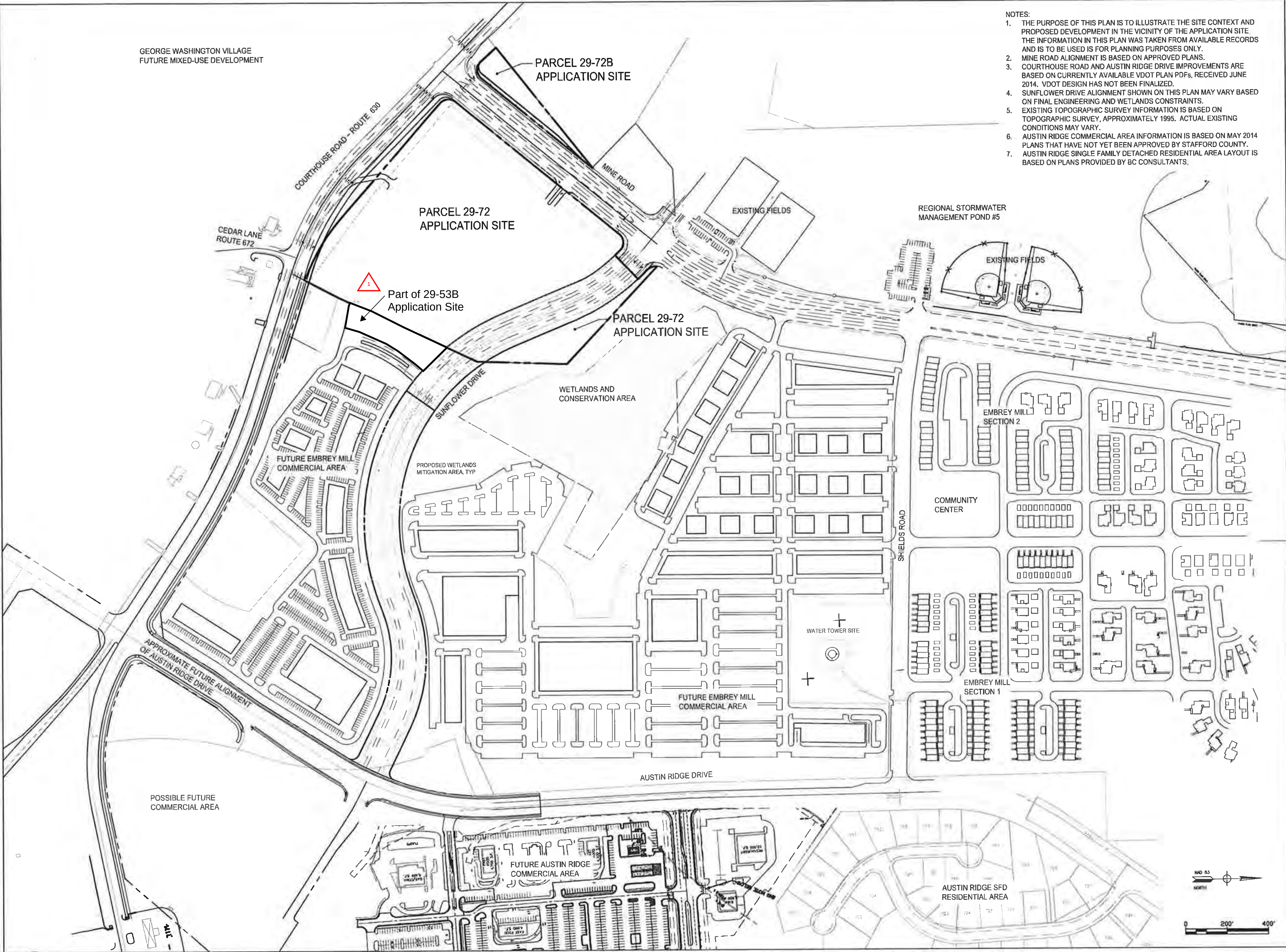
ALL DOCUMENTS PREPARED BY PENNONI ASSOCIATES ARE INSTRUMENTS OF SERVICE. IN RESPECT OF THE PROJECT, THEY ARE NOT INTENDED OR REPRESENTED TO BE SEPARATE FOR REUSE BY OTHERS OR FOR THE EXTENDING OF THE PROJECT OR ON ANY OTHER PROJECT. ANY REUSE WITHOUT WRITTEN VERIFICATION OR ADAPTATION BY PENNONI ASSOCIATES FOR THE SPECIFIC PURPOSE INTENDED WILL BE AT OWNERS SOLE RISK AND WITHOUT LIABILITY OR LEGAL EXPOSURE TO PENNONI ASSOCIATE, AND OWNER SHALL INDEMNIFY AND HOLD HARMLESS PENNONI ASSOCIATES FROM ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES ARISING OUT OF OR RESULTING THEREFROM.

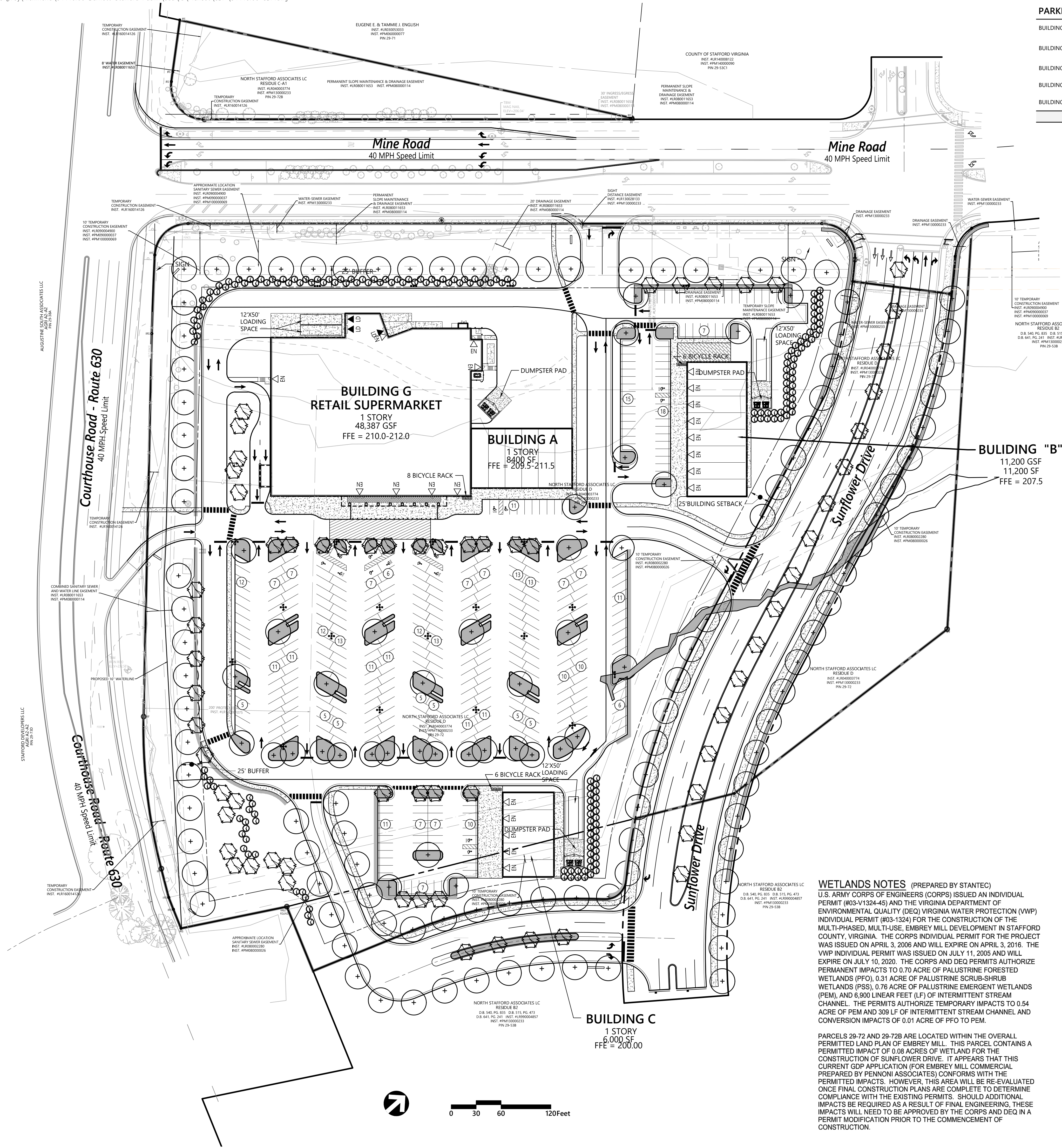
PROJECT NO.	NSAS1301
SHEET	2 OF 13

SCALE	DATE
1"= 200'	JULY 2014
DRAWN BY	APPROVED
EFF	DHS

DRAWING NO.
CS-02

- NOTES:
1. THE PURPOSE OF THIS PLAN IS TO ILLUSTRATE THE SITE CONTEXT AND PROPOSED DEVELOPMENT IN THE VICINITY OF THE APPLICATION SITE. THE INFORMATION IN THIS PLAN WAS TAKEN FROM AVAILABLE RECORDS AND IS TO BE USED IS FOR PLANNING PURPOSES ONLY.
 2. MINE ROAD ALIGNMENT IS BASED ON APPROVED PLANS.
 3. COURTHOUSE ROAD AND AUSTIN RIDGE DRIVE IMPROVEMENTS ARE BASED ON CURRENTLY AVAILABLE VDOT PLAN PDFs, RECEIVED JUNE 2014. VDOT DESIGN HAS NOT BEEN FINALIZED.
 4. SUNFLOWER DRIVE ALIGNMENT SHOWN ON THIS PLAN MAY VARY BASED ON FINAL ENGINEERING AND WETLANDS CONSTRAINTS.
 5. EXISTING TOPOGRAPHIC SURVEY INFORMATION IS BASED ON TOPOGRAPHIC SURVEY, APPROXIMATELY 1995. ACTUAL EXISTING CONDITIONS MAY VARY.
 6. AUSTIN RIDGE COMMERCIAL AREA INFORMATION IS BASED ON MAY 2014 PLANS THAT HAVE NOT YET BEEN APPROVED BY STAFFORD COUNTY.
 7. AUSTIN RIDGE SINGLE FAMILY DETACHED RESIDENTIAL AREA LAYOUT IS BASED ON PLANS PROVIDED BY BC CONSULTANTS.





PARKING REQUIREMENTS:

BUILDING	USE	GFA	Q	SPACES REQUIRED
BUILDING A	RETAIL MEDIUM INTENSITY	8,400 SF	x 5 SPACES / 1,000	= 42 SPACES
BUILDING B	RETAIL MEDIUM INTENSITY	11,200 SF	x 5 SPACES / 1,000	= 56 SPACES
BUILDING C	RETAIL MEDIUM INTENSITY	6,000 SF	x 5 SPACES / 1,000	= 30 SPACES
BUILDING G	RETAIL MEDIUM INTENSITY (GROCERY)	48,387 SF	x 5 SPACES / 1,000	= 242 SPACES
TOTAL PARKING REQUIRED				= 370 SPACES

PARKING CALCULATIONS:

TOTAL PARKING SPACES REQUIRED:	370 SPACES
TOTAL SPACES PROVIDED:	379 SPACES
LOADING SPACES REQUIRED	5 SPACES @ 12'X50'
LOADING SPACES PROVIDED	5 SPACES @ 12'X50'
ADA ACCESSIBLE SPACES REQUIRED	8 SPACES & 2 VAN SPACES
ADA ACCESSIBLE SPACES PROVIDED	10 SPACES & 5 VAN SPACES

Site Tabulations

THE PROPERTY SHOWN ON THESE PLANS IS LOCATED AT TAX MAP PARCELS 29-72 29-72 B AND PART OF 29-53B AND CONSISTS OF:

29-72:	691,033 SF (15.864 AC.)
29-72B:	33,454.5 SF (0.768 AC.)
PART OF 29-53B	29,104.5 SF (0.668 AC.)
TOTAL AREA IN POPULATION	724,487.5 SF (16.632 AC.)

APPROX. RIGHT-OF-WAY DEDICATION SUNFLOWER DR:	83,805 ± SF (1.924 ± AC.)
APPROX. RIGHT-OF-WAY DEDICATION MINE ROAD:	5,890 ± SF (0.135 ± AC.)
APPROX. RIGHT-OF-WAY DEDICATION COURTHOUSE RD:	1,411 ± SF (0.032 ± AC.)

NET SITE AREA

CURRENT ZONING:	B-2 URBAN COMMERCIAL
PROPOSED ZONING:	B-2 URBAN COMMERCIAL
CURRENT USE:	VACANT
PROPOSED USE:	COMMERCIAL RETAIL
PROPOSED GROSS FLOOR AREA (GFA):	73,987 SF
MAXIMUM FLOOR AREA RATIO PERMITTED:	0.70
FLOOR AREA RATIO PROPOSED:	0.25 (EXCLUSIVE OF BUFFERS)
OPEN SPACE RATIO REQUIRED:	
OPEN SPACE RATIO PROVIDED:	

MINIMUM FRONT YARD REQUIRED AND PROVIDED:	40'
MINIMUM SIDE YARD REQUIRED AND PROVIDED:	0'
MINIMUM BACK YARD REQUIRED AND PROVIDED:	25'
MAXIMUM BUILDING HEIGHT:	65'

BUFFER LANDSCAPING

110.0 BUFFER YARDS
PLANT UNITS
Canopy Tree- 10 P.U.'s each
Understory Tree- 7 P.U.'s each
Evergreen Tree- 7 P.U.'s each
Shrubs- 1 P.U. each
110.2 (2) NON RESIDENTIAL DEVELOPMENT ADJACENT TO STREET
Mine Road Street Buffer Yard: 25' wide with 75 plant units per every 100 linear feet
Required along Mine Road: 461' + 235' = 696 LF
Required along Mine Road 696/ 100 x 75 = 522 P.U.'s
Plant Units Provided along Mine Road: 49 evergreen trees + 18 canopy trees = 523 P.U.'s
Courthouse Road Street Buffer Yard: 25' wide with 75 plant units per every 100 linear feet
Required along Courthouse Road (Rt. 630): 447' + 373' = 820 LF
Required along Courthouse Road 820/ 100 = 8.2 x 75= 615 P.U.'s
Plant Units provided along Courthouse Road: 19 canopy trees + 55 evergreen & understory trees + 50 shrubs = 625 P.U.'s
120.0 LANDSCAPING
PLANT UNITS
Canopy Tree- 10 P.U.'s each
Understory Tree- 7 P.U.'s each
Evergreen Trees- 7 P.U.'s each
Shrubs- 1 P.U. each
120.1 PARKING LOTS, INTERIOR
(c) Thirty square feet of Planting Area for every parking space
Required: 393 parking spaces x 30 = 11,790 SF
Provided: 15,791 SF
(d) 12 Plant Units for every 300 SF of Planting Area
Required: 393 parking spaces x 30 = 11,790 SF/ 300 x 12 = 471.6= 472 Plant Units
Provided: 37 Canopy Trees + 16 Understory Trees = 482 P.U.'s
120.2 PARKING LOT, PERIMETER
(b) Planting area to be 5' wide with 35 plant units per 100 LF of parking lot
Required: 244 + 116 + 226 + 241 + 118 + 121 = 1,066 LF / 100 x 35 = 374 P.U.'s
Provided: 14 understory trees + 289 shrubs = 387 P.U.'s
120.3 PARKING LOT, VEHICLE ACCESS DRIVE
(a) Plant both sides of drive that is not a public street if distance exceeds fifty (50) feet.
(b) Planting area to be 5' wide with 35 Planting Units per every 100 net LF access drive.
Required: (463 LF + 556 LF)/ 100 x 35 = 356.7=357 P.U.'s
Provided: 26 Canopy Trees + 4 Understory Trees + 69 Shrubs = 357 P.U.'s
120.4 LANDSCAPING, STREET TREES (2) Non-residential
(d) Plant area shall be 10' wide with 50 Plant Units per every 100 net LF of street frontage
Required on Sunflower Dr. north of entrance drive: 408' / 100 x 50 = 204 P.U.'s
Provided: 8 canopy trees + 4 median understory trees + 96 shrubs = 204 P.U.'s
Required on Sunflower Dr. south of entrance drive: 415' / 100 x 50= 208 P.U.'s
Provided: 9 canopy trees +3 median understory trees +100 shrubs= 211 P.U.'s
Required on east side of Sunflower Dr: 938' / 100 x 50 = 469 P.U.'s
Provided: 23 canopy trees + 10 median understory trees + 200 shrubs = 500 P.U.'s
130.0 SCREENING
The following shall be screened from public street or adjacent properties: trash, recycling, outdoor storage/ service area, and mechanical systems. One of the following is required.
(1) Evergreen screen, 15' wide strip of 2 staggered rows of evergreen trees, 6' tall at planting, min. 8' o.c.
Required: 220' + 145' + 412' = 770 LF of screening
Provided: 156 Evergreen Trees

GENERAL NOTES

- THE PROPERTY LINES SHOWN ON THIS PLAN ARE BASED UPON AN ACTUAL FIELD SURVEY BY VHB, INC. AND FROM DEEDS AND PLANS OF RECORD. THE EXISTING CONDITIONS SHOWN ON THIS PLAN ARE BASED UPON AN ACTUAL ON-THE-GROUND INSTRUMENT SURVEY PERFORMED BY VHB IN MAY 2018
- THE FOLLOWING INFORMATION WAS TAKEN FROM PREVIOUSLY APPROVED PLANS AND PLANS BY OTHERS:
 - COURTHOUSE ROAD IMPROVEMENTS ARE BASED ON APPROVED PLANS
 - SUNFLOWER DRIVE ALIGNMENT EAST OF MINE ROAD MAY VARY PER FINAL ENGINEERING AND WETLANDS CONSULTANTS
- STREET LIGHTING SHALL BE PLACED IN ACCORDANCE WITH THE STAFFORD COUNTY ZONING ORDINANCE SEC. 22-215
- TO THE BEST OF OUR KNOWLEDGE, THERE ARE NO CEMETERIES LOCATED ON THIS PROPERTY.
- NO DISTURBANCE IS PERMITTED WITHIN THE CONVERSATION EASEMENTS AREAS.
- THE DEVELOPMENT PROPOSED WITHIN THIS PLAN FALLS WITHIN ZONE "X" AS SHOWN ON FEMA
- FIRM MAPS 5101540133E AND 5101540141E DATED FEB 4 2005.
- THIS PROPERTY IS LOCATED WITHIN THE GEORGE WASHINGTON VILLAGE URBAN DESIGN AREA.
- THE PROPERTY LINES FOR PROPERTIES SOUTH OF COURTHOUSE ROAD ARE APPROXIMATE AND WERE BASED ON AVAILABLE RECORDS.
- PRELIMINARY PLAN (SUB210522) FOR EMBRY MILL WAS APPROVED ON JULY 2003; REVISED PRELIMINARY PLAN AP#100051 WAS APPROVED JULY 15, 2011; AND TECHNICAL CHANGE AP#12000285 WAS APPROVED JULY 30, 2012. THE PRELIMINARY PLAN DID NOT INCLUDE THE APPLICATION PARCELS. THE PORTION OF SUNFLOWER DRIVE JUST EAST OF THE APPLICATION PARCELS, HOWEVER, WILL BE CONSTRUCTED WITH THE PROPOSED CONSTRUCTION SHOWN ON THIS GENERALIZED DEVELOPMENT PLAN. THE STREET SECTION FOR SUNFLOWER DRIVE PROPOSED ON THE APPROVED PRELIMINARY PLAN SHOWED PARALLEL PARKING ON BOTH SIDES OF SUNFLOWER DRIVE. DUE TO PROJECTED TRAFFIC VOLUMES AND VDOT REQUIREMENTS, PARALLEL PARKING IS NO LONGER PROPOSED ALONG SUNFLOWER DRIVE; AND TURN LANES ARE NOW PROPOSED.
- DUMPSTER ENCLOSURES WILL BE 6 FOOT HEIGHT SOLID WOOD FENCING OR MASONRY ENCLOSURES WITH GATES.
- THE OWNER WILL COORDINATE WITH THE HISTORIC COMMISSION TO ALLOW FOR THE HISTORY COMMISSION TO DOCUMENT THE EXISTING HOUSE BEFORE DEMOLITION.
- THE APPLICANT SHALL PROVIDE AN AREA ON THE PROPERTY FOR A "TRANSIT STOP" WHERE "FRED" BUS OR OTHER LOCAL TRANSPORTATION PROVIDER IS ABLE TO PICKUP/DROP OFF PASSENGERS IF AND WHEN REQUESTED TO DO SO BY STAFFORD COUNTY OR THE OPERATOR OF THE REGIONAL BUS SERVICE WITHIN 90 DAYS OF APPROVAL OF THE SITE PLAN. AND SHALL OFFER TO COORDINATE THE DESIGN OF THE TRANSIT STOP IN ADVANCE OF CONSTRUCTING WITH THE OPERATOR OF THE REGIONAL BUS SERVICE. THE DESIGN OF THE TRANSIT STOP SHALL INCLUDE SEATING WITH ACCESS TO A COVERED AREA, BUT THE APPLICANT SHALL BE UNDER NO OBLIGATION TO CONSTRUCT A FREE STANDING SHELTER.

WETLANDS NOTES (PREPARED BY STANTEC)

U.S. ARMY CORPS OF ENGINEERS (CORPS) ISSUED AN INDIVIDUAL PERMIT (#03-V1924-45) AND THE VIRGINIA DEPARTMENT OF ENVIRONMENTAL QUALITY (DEQ) VIRGINIA WATER PROTECTION (VWP) INDIVIDUAL PERMIT (#03-1324) FOR THE CONSTRUCTION OF THE MULTI-PHASED, MULTI-USE, EMBREY MILL DEVELOPMENT IN STAFFORD COUNTY, VIRGINIA. THE CORPS INDIVIDUAL PERMIT FOR THE PROJECT WAS ISSUED ON APRIL 3, 2006 AND WILL EXPIRE ON APRIL 3, 2016. THE VWP INDIVIDUAL PERMIT WAS ISSUED ON JULY 11, 2005 AND WILL EXPIRE ON JULY 10, 2020. THE CORPS AND DEQ PERMITS AUTHORIZE PERMANENT IMPACTS TO 0.70 ACRE OF PALUSTRINE FORESTED WETLANDS (PFO), 0.31 ACRE OF PALUSTRINE SCRUB-SHRUB WETLANDS (PSSB), 0.76 ACRE OF PALUSTRINE EMERGENT WETLANDS (PEM), AND 6,900 LINEAR FEET (LF) OF INTERMITTENT STREAM CHANNEL. THE PERMITS AUTHORIZE TEMPORARY IMPACTS TO 0.54 ACRE OF PEM AND 309 LF OF INTERMITTENT STREAM CHANNEL AND CONVERSION IMPACTS OF 0.01 ACRE OF PFO TO PEM.

PARCELS 29-72 AND 29-72B ARE LOCATED WITHIN THE OVERALL PERMITTED LAND PLAN OF EMBREY MILL. THIS PARCEL CONTAINS A PERMITTED IMPACT OF 0.08 ACRES OF WETLAND FOR THE CONSTRUCTION OF SUNFLOWER DRIVE. IT APPEARS THAT THIS CURRENT GDP APPLICATION (FOR EMBREY MILL COMMERCIAL PREPARED BY PENNONI ASSOCIATES) CONFORMS WITH THE PERMITTED IMPACTS. HOWEVER, THIS AREA WILL BE RE-EVALUATED ONCE FINAL CONSTRUCTION PLANS ARE COMPLETE TO DETERMINE COMPLIANCE WITH THE EXISTING PERMITS. SHOULD ADDITIONAL IMPACTS BE REQUIRED AS A RESULT OF FINAL ENGINEERING, THESE IMPACTS WILL NEED TO BE APPROVED BY THE CORPS AND DEQ IN A PERMIT MODIFICATION PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.



115 South 15th Street
Suite 200
Richmond, VA 23219
804.343.7100

Legend

RIGHT-OF-WAY/PROPERTY LINE	RIGHT-OF-WAY/PROPERTY LINE
EASEMENT	EASEMENT
BUILDING SETBACK	BUILDING SETBACK
EDGE OF PAVEMENT	EDGE OF PAVEMENT
CONC. CURB AND GUTTER	CONC. CURB AND GUTTER
PARKING COUNT	PARKING COUNT
CROSSWALK	CROSSWALK
CONC. PAVEMENT	CONC. PAVEMENT
HANDICAP RAMP	HANDICAP RAMP
HANDICAP PARKING	HANDICAP PARKING
VAN-ACCESSIBLE HANDICAP PARKING	VAN-ACCESSIBLE HANDICAP PARKING
LIGHT POLE	LIGHT POLE
SINGLE LUMINAIRE	SINGLE LUMINAIRE
DOUBLE LUMINAIRE	DOUBLE LUMINAIRE
TRIPLE LUMINAIRE	TRIPLE LUMINAIRE
QUAD LUMINAIRE	QUAD LUMINAIRE
CANOPY TREE	CANOPY TREE
UNDERSTORY TREE	UNDERSTORY TREE
EVERGREEN TREE	EVERGREEN TREE
SHRUB AREA	SHRUB AREA

Market at Embrey Hill Embry Mill Commercial

Garrisonville District
Stafford County, Virginia

No.	Revision	Date	Appr.

Drawn by M. Burdick	Checked by K. Halpaus
Issued for	Date

General
Development Plan
Not Approved for Construction

Aug. 17, 2018

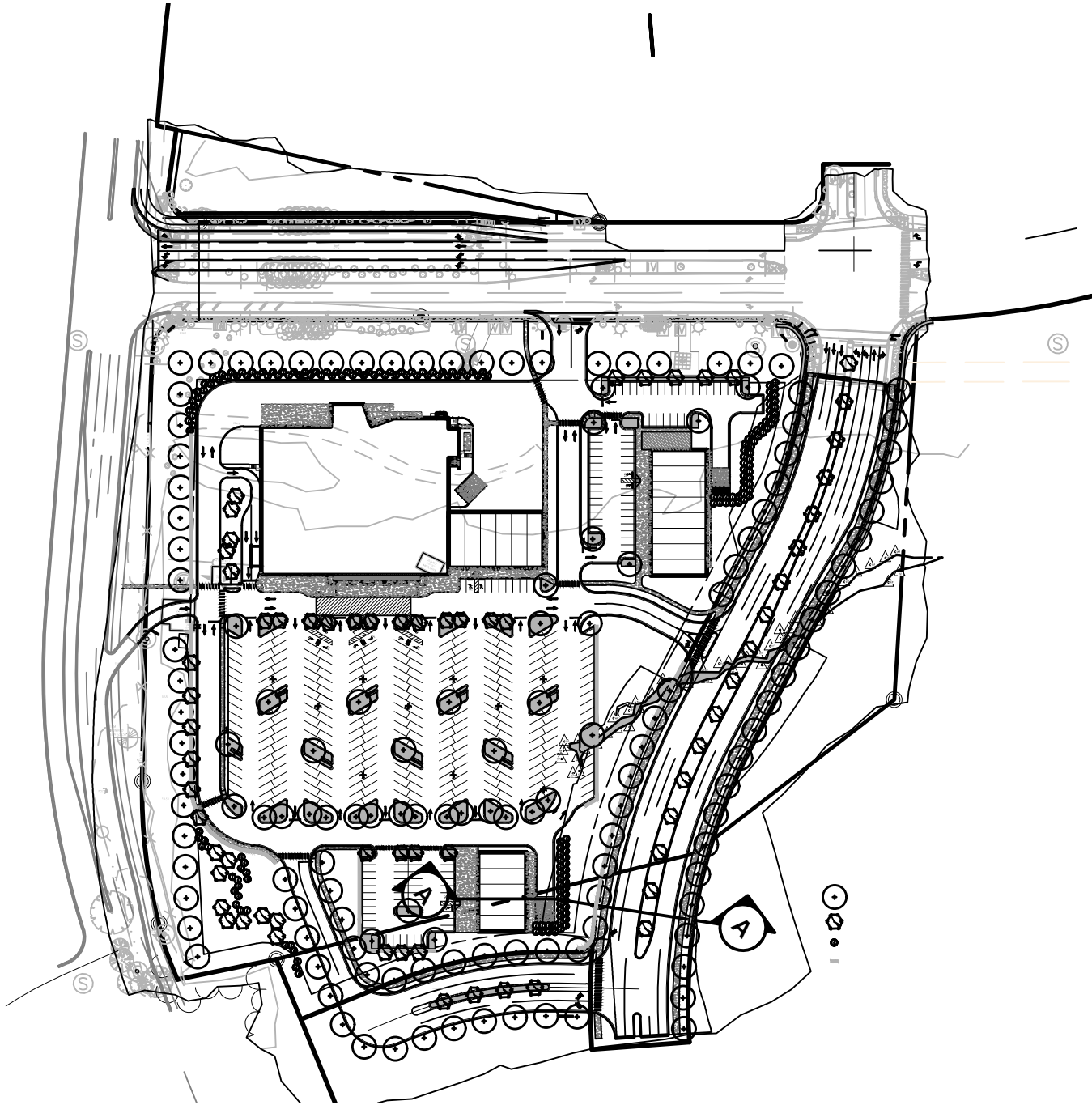


Drawing Number

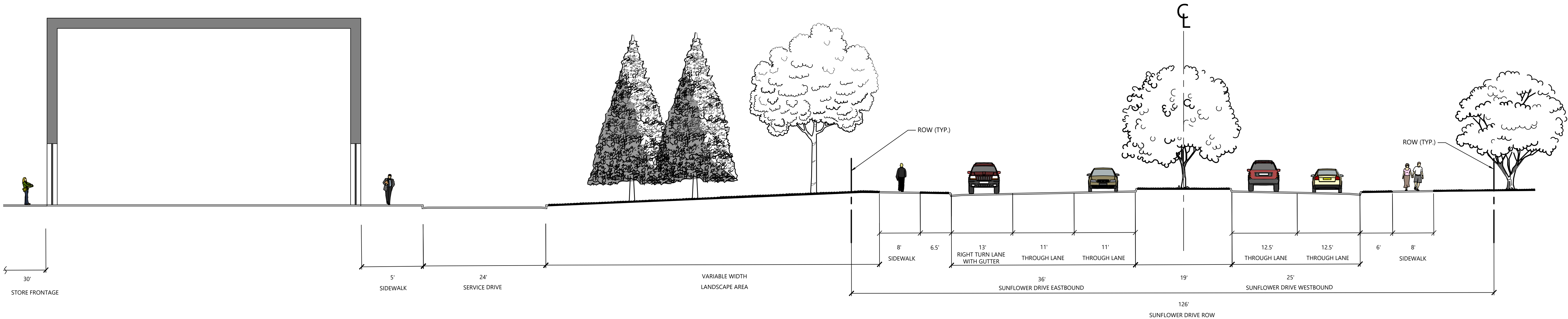
CS-03

Sheet 3 of 13

Project Number
34440.00



Key Map
1"=200'



**RETAIL BUILDING "B" AND SUNFLOWER DRIVE:
A-A SECTION LOOKING WEST**
SCALE: 1"=10'

Embry Mill Commercial

Garrisonville District
Stafford County, Virginia

No.	Revision	Date	Appvd.

Drawn by	Checked by
Issued for	Date

General
Development Plan
Not Approved for Construction



Drawing Number



CS-04

Sheet
4
of

Project Number
34440.00

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Revisions

Job Number

1830

Issued Date

8 | 17 | 2018

EMBREY MILL - GROCER

COURTHOUSE ROAD AND MINE ROAD

STAFFORD COUNTY, VIRGINIA

Sheet Name

EXTERIOR ELEVATIONS

Sheet Number

AR-1

03 of 01

FRONT ELEVATION

SCALE: 3/32" = 1'-0"

LEFT SIDE ELEVATION

SCALE: 3/32" = 1'-0"

REAR ELEVATION

SCALE: 3/32" = 1'-0"

EXTERIOR FINISH LEGEND		
STUCCO/E.I.F.S.		
E.I.F.S. COLOR #1	CORNICE	STO CORP. - #3440 "MOONDUST" OR SIMILAR FINISH- SPRAY SS
E.I.F.S. COLOR #2	FIELD	STO CORP. - #3215B "COTTON" OR SIMILAR FINISH- SPRAY SS
BRICK		
BRICK COLOR #1	PILASTERS/ACCENT	GENERAL SHALE - "OATMEAL" OR SIMILAR WIRE-CUT CLOSURE MORTAR- T.B.D.
BRICK COLOR #2	FIELD	GENERAL SHALE - "CASCADE WHITE" OR SIMILAR WIRE-CUT CLOSURE MORTAR- T.B.D.
SPLIT-FACE C.M.U.		
SPLIT-FACE CMU	FIELD	YORK BUILDING PRODUCTS PREMIUM SERIES "PARCHMENT" OR SIMILAR
CULTURED STONE		
CULTURED STONE VENEER	FIELD	ELDORADO STONE "SHASTA" MOUNTAIN LEDGE STONE DRY-STACK
CAST STONE		
CAST STONE COLOR #1	BASE AND ACCENT BANDS	COLOR TO MATCH BRICK COLOR #1 MANUFACTURER T.B.D.
ALUM. STOREFRONT		
PRE-FIN. ALUM.	STOREFRONT	CLEAR ANODIZED
PARAPET CAP FLASHING		
PRE-FIN. METAL COPING	CORNICE COPING	COLOR: CHAMPAGNE
S.S. COPING	PARAPET COPING	--
METAL ROOFING		
PRE-FINISHED METAL ROOFING	CANOPY ROOF	"CHAMPAGNE" BY DMI DYNACLAD OR EQUAL

KEY PLAN

SCALE: NOT TO SCALE

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1830

Issued Date

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EMBREY MILL - RETAIL A
COURTHOUSE ROAD AND MINE ROAD
STAFFORD COUNTY, VIRGINIA

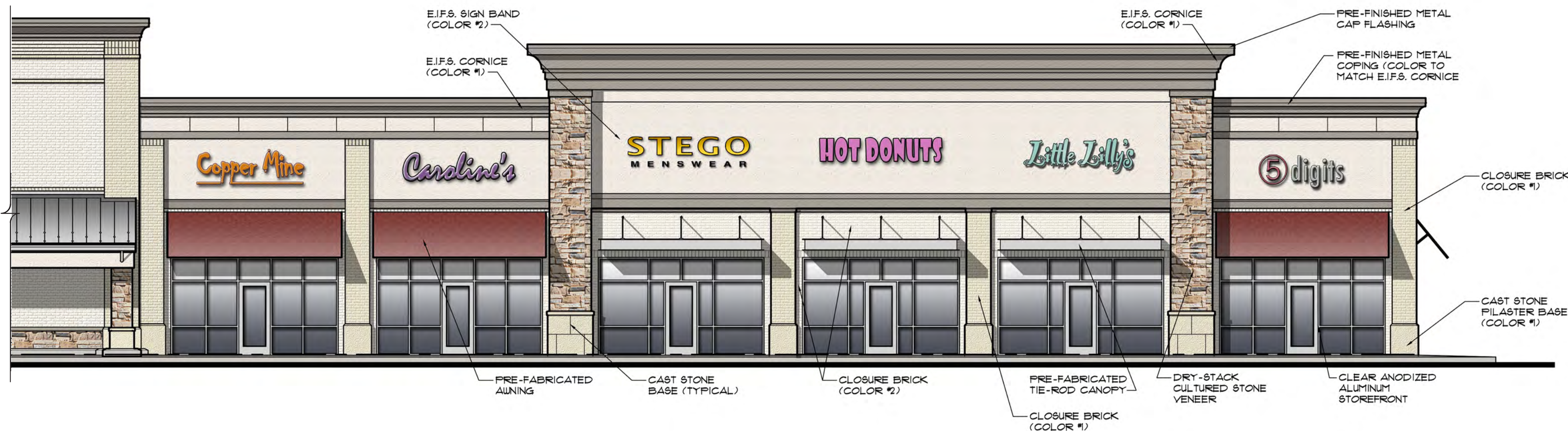
Sheet Name

EXTERIOR
ELEVATIONS

Sheet Number

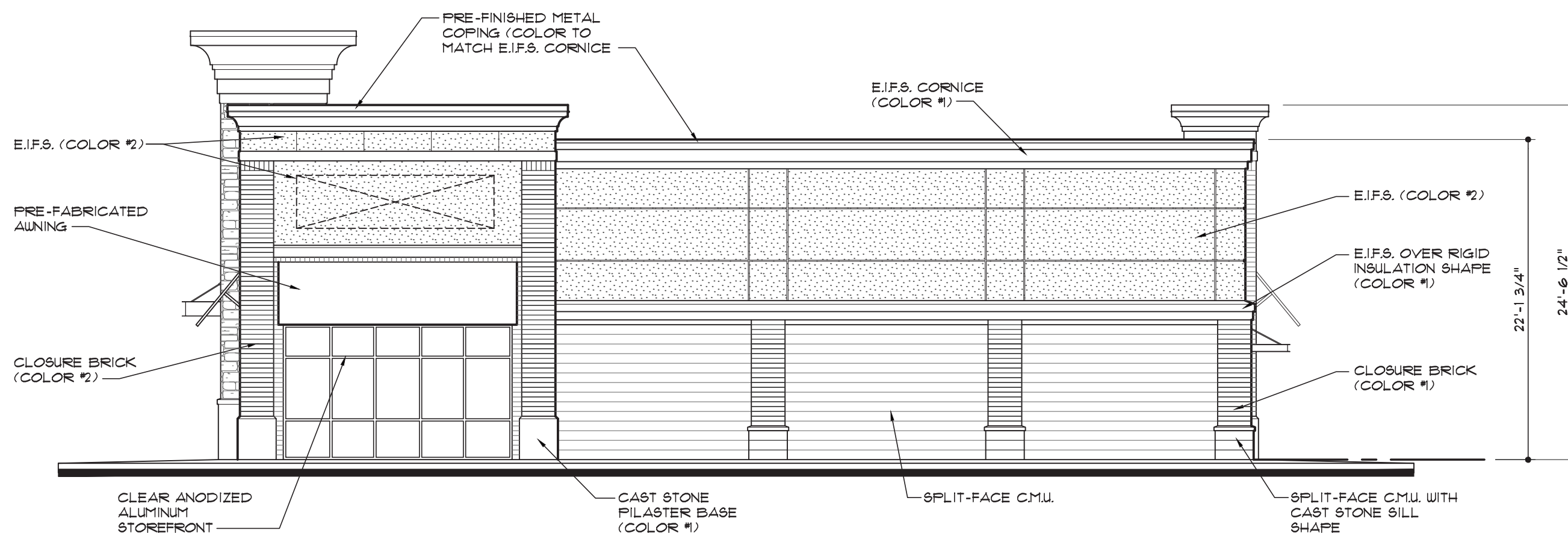
AR-1a

03 of 01



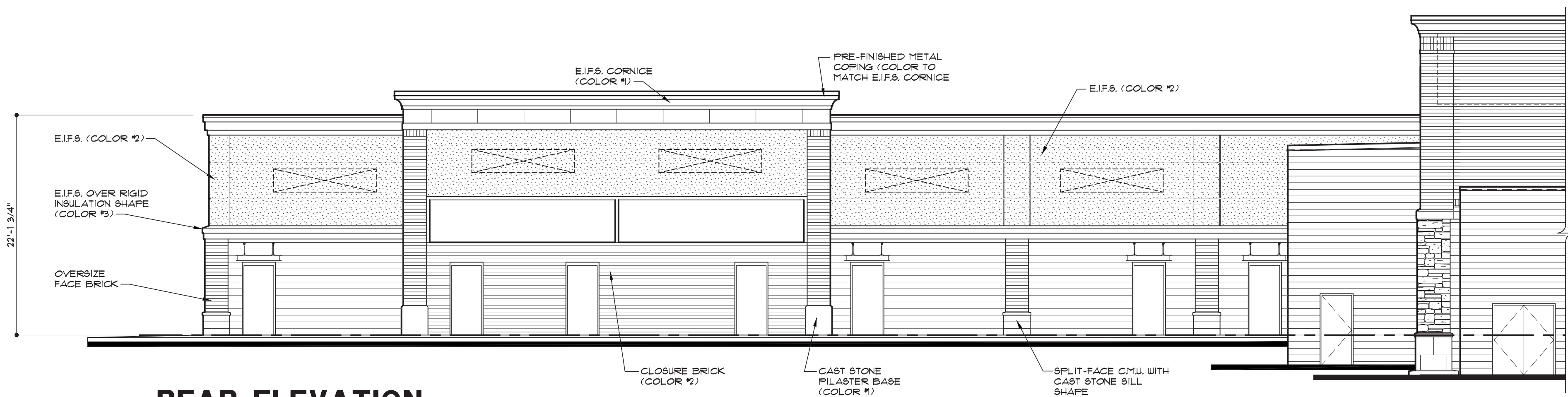
FRONT ELEVATION

SCALE: 1/8" = 1'-0"



RIGHT SIDE ELEVATION

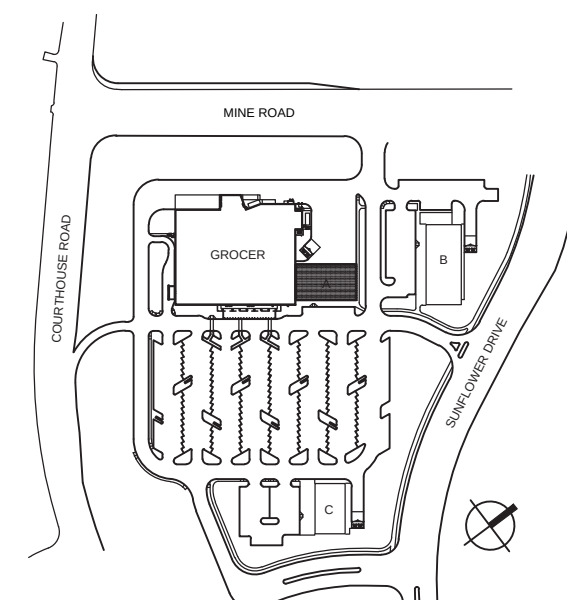
SCALE: 1/8" = 1'-0"



REAR ELEVATION

SCALE: 1/8" = 1'-0"

EXTERIOR FINISH LEGEND		
STUCCO/E.I.F.S.		
EIFS COLOR #1	CORNICE	STO CORP. - #3440 "MOONDUST" OR SIMILAR FINISH- SPRAY SS
EIFS COLOR #2	FIELD	STO CORP. - #3238 "COTTON" OR SIMILAR FINISH- SPRAY SS
BRICK		
BRICK COLOR #1	PILASTERS/ACCENT	GENERAL SHALE - "OATMEAL" OR SIMILAR WIRE-CUT CLOSURE MORTAR- T.B.D.
BRICK COLOR #2	FIELD	GENERAL SHALE - "CASCADE WHITE" OR SIMILAR WIRE-CUT CLOSURE MORTAR- T.B.D.
SPLIT-FACE C.M.U.		
SPLIT-FACE CMU	FIELD	YORK BUILDING PRODUCTS PREMIUM SERIES "FARCHMENT" OR SIMILAR
CULTURED STONE		
CULTURED STONE VENEER	FIELD	ELDORADO STONE "SHASTA" MOUNTAIN LEDGE STONE DRY-STACK
CAST STONE		
CAST STONE COLOR #1	BASE AND ACCENT BANDS	COLOR TO MATCH BRICK COLOR #1 MANUFACTURER T.B.D.
ALUM. STOREFRONT		
PRE-FIN. ALUM.	STOREFRONT	CLEAR ANODIZED
PARAPET CAP FLASHING		
PRE-FIN. METAL COPING	CORNICE COPING	COLOR: CHAMPAGNE
S.S. COPING	PARAPET COPING	--
METAL ROOFING		
PRE-FINISHED METAL ROOFING	CANOPY ROOF	"CHAMPAGNE" BY DMI DYNACLAD OR EQUAL



KEY PLAN
SCALE: NOT TO SCALE

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Revisions

Job Number

1830

Issued Date

8 | 17 | 2018

EMBREY MILL - RETAIL B

COURTHOUSE ROAD AND MINE ROAD

STAFFORD COUNTY, VIRGINIA

Sheet Name

EXTERIOR ELEVATIONS

Sheet Number

AR-1b

01 of 01

FRONT ELEVATION

SCALE: 1/8" = 1'-0"

LEFT SIDE ELEVATION

SCALE: 1/8" = 1'-0"

RIGHT SIDE ELEVATION

SCALE: 1/8" = 1'-0"

REAR ELEVATION

SCALE: 1/8" = 1'-0"

EXTERIOR FINISH LEGEND		
STUCCO/E.I.F.S.		
EIFS COLOR #1	CORNICE	STO CORP. - #3440 "MOONUST" OR SIMILAR FINISH- SPRAT SS
EIFS COLOR #2	FIELD	STO CORP. - #32138 "COTTON" OR SIMILAR FINISH- SPRAT SS
BRICK		
BRICK COLOR #1	PILASTERS/ACCENT	GENERAL SHALE - "OATMEAL" OR SIMILAR WIRE-CUT CLOSURE MORTAR- T.B.D.
BRICK COLOR #2	FIELD	GENERAL SHALE - "CASCADE WHITE" OR SIMILAR WIRE-CUT CLOSURE MORTAR- T.B.D.
SPLIT-FACE C.M.U.		
SPLIT-FACE CMU	FIELD	YORK BUILDING PRODUCTS PREMIUM SERIES "FARCHMENT" OR SIMILAR
CULTURED STONE		
CULTURED STONE VENEER	FIELD	ELDORADO STONE "SHASTA" MOUNTAIN LEDGE STONE DRY-STACK
CAST STONE		
CAST STONE COLOR #1	BASE AND ACCENT BANDS	COLOR TO MATCH BRICK COLOR #1 MANUFACTURER T.B.D.
ALUM. STOREFRONT		
PRE-FIN. ALUM.	STOREFRONT	CLEAR ANODIZED
PARAPET CAP FLASHING		
PRE-FIN. METAL CORNING	CORNICE CORNING	COLOR: CHAMPAGNE
S.S. CORNING	PARAPET CORNING	--
METAL ROOFING		
PRE-FINISHED METAL ROOFING	CANOPY ROOF	"CHAMPAGNE" BY DMI DYNACLAD OR EQUAL

KEY PLAN

SCALE: NOT TO SCALE

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Revisions

Job Number

1830

Issued Date

8 | 17 | 2018

Sheet Name

EXTERIOR ELEVATIONS

Sheet Number

AR-1c

01 of 01

EMBREY MILL - RETAIL C

COURTHOUSE ROAD AND MINE ROAD

STAFFORD COUNTY, VIRGINIA

FRONT ELEVATION

SCALE: 1/8" = 1'-0"

LEFT SIDE ELEVATION

SCALE: 1/8" = 1'-0"

RIGHT SIDE ELEVATION

SCALE: 1/8" = 1'-0"

REAR ELEVATION

SCALE: 1/8" = 1'-0"

EXTERIOR FINISH LEGEND		
STUCCO/E.I.F.S.		
EIFS COLOR #1	CORNICE	STO CORP. - #3440 "MOONDUST" OR SIMILAR FINISH- SPRAT SS
EIFS COLOR #2	FIELD	STO CORP. - #3238 "COTTON" OR SIMILAR FINISH- SPRAT SS
BRICK		
BRICK COLOR #1	PILASTERS/ACCENT	GENERAL SHALE - "OATMEAL" OR SIMILAR WIRE-CUT CLOSURE MORTAR- T.B.D.
BRICK COLOR #2	FIELD	GENERAL SHALE - "CASCADE WHITE" OR SIMILAR WIRE-CUT CLOSURE MORTAR- T.B.D.
SPLIT-FACE C.M.U.		
SPLIT-FACE CMU	FIELD	YORK BUILDING PRODUCTS PREMIUM SERIES "FARCHMENT" OR SIMILAR
CULTURED STONE		
CULTURED STONE VENEER	FIELD	ELDORADO STONE "SHASTA" MOUNTAIN LEDGE STONE DRY-STACK
CAST STONE		
CAST STONE COLOR #1	BASE AND ACCENT BANDS	COLOR TO MATCH BRICK COLOR #1 MANUFACTURER T.B.D.
ALUM. STOREFRONT		
PRE-FIN. ALUM.	STOREFRONT	CLEAR ANODIZED
PARAPET CAP FLASHING		
PRE-FIN. METAL COPING	CORNICE COPING	COLOR: CHAMPAGNE
S.S. COPING	PARAPET COPING	--
METAL ROOFING		
PRE-FINISHED METAL ROOFING	CANOPY ROOF	"CHAMPAGNE" BY DMI DYNACLAD OR EQUAL

KEY PLAN

SCALE: NOT TO SCALE

Pennoni

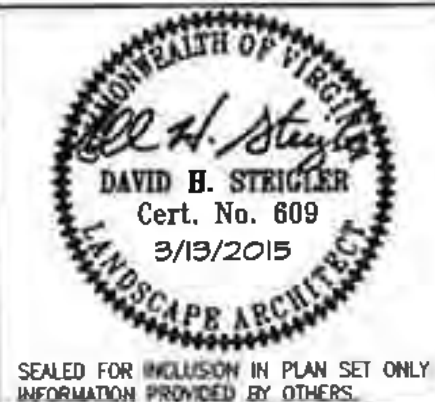
Pennoni Associates Inc.
Engineers/Architects/Planners
14532 Lee Road
Charlottesville, VA 22911-1679
T 703.449.6700 F 703.449.6714

W H A

ARCHITECTURE AND PLANNING

1406 N. FLEMING ST. SUITE 6 ARLINGTON, VA 22201
PH (703) 527-1227 FAX (703) 527-1420

NO.	DATE	BY	REVISIONS
1	3/13/15	NO.	REVISIONS



PRELIMINARY STORMWATER
MANAGEMENT PLAN
EMBREY MILL COMMERCIAL
GARRISONVILLE DISTRICT
STAFFORD COUNTY, VIRGINIA

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PENNONI ASSOCIATES AND OWNER SHALL
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DOCUMENTS AND SHALL HOLD PENNONI ASSOCIATES
HARMLESS FROM ALL CLAIMS, DAMAGES, LOSSES AND
EXPENSES ARISING OUT OF OR RESULTING THEREFROM.

PROJECT NO.
NSAS1301
SHEET
5 OF 13

SCALE
1" = 200'
DATE
JULY 2014
DRAWN BY
APPROVED

DRAWING NO.
EN-01

Stantec

Memo

To: Megan Winsten
Winsten Development Consulting, LLC
File: 203415720
From: Chris Kuhn
Williamsburg VA Office
Date: May 29, 2014

Reference: Embrey Mill - Parcel 29-72

It is our understanding that Pennoni Associates, Inc. is currently preparing a rezoning request for Parcel 29-72, which is located within the commercial Phase 2A of the Embrey Mill development. This parcel is currently zoned Agricultural A1. While the rezoning for Embrey Mill Development was approved in March 2005 (A/P 981380), parcel 29-72 was only acquired by North Stafford Associates, LC in February 2004, and was thus not subject to the rezoning.

Embrey Mill is a master planned community for which an underlying stormwater management plan was developed to provide stormwater management for the overall development. Stantec Consulting Services Inc., formerly WEG (Stantec) prepared the Conceptual Stormwater Management Plan (CSWMP) for the Embrey Mill Development, as part of the preliminary plan process. The preliminary plan for Embrey Mill, including the CSWMP was originally approved on July 3, 2003 (A/P 210532). For the purpose of the CSWMP development Stantec assumed that the subject parcel would be developed under typical commercial land use conditions, with an imperviousness of 85%. Copies of the latest revision of the CSWMP are attached for your use.

The stormwater management plan relies largely on the implementation of three (3) regional stormwater management facilities for water quantity and quality control. The regional ponds are supplemented by strategically placed stormwater management facilities that provide water quantity and quality control, as well as distributed integrated management practices (IMPs) throughout the development which largely provide water quality benefits and ancillary quantity control. These IMPs also support Stafford County's approach to use IMPs to the extent practicable, and comply with a requirement in the U.S. Army Corps of Engineers (Corps) wetland permit for the Embrey Mill development.

As per the CSWMP, Lot 29-72, located within Phase 2A, is served by Regional Pond RP-5 for both water quality and peak flow attenuation. RP-5 was designed by Stantec and construction documents were approved on June 30, 2008 (A/P 250101). The pond was constructed by Nash Stafford, LLC. The design is based on the land use assumptions that are shown in the land plan for the Embrey Mill development. The watershed contributing to the Regional Pond RP-5 has an overall calculated imperviousness of 52%, whereas most of the Parcel 29-72 is located within subwatershed 5-4, with an imperviousness of approximately 79%. The storm sewer network for Mine Road is designed to collect storm flows originating from Parcel 29-72 and convey these flows directly into the forebay of RP-5. As long as the proposed impervious cover within the respective contributing drainage area does not exceed the original design parameters for RP-5, no additional stormwater management treatment should be required to meet the conditions of the Virginia Stormwater Management Program. However, the County has the discretion to require additional measures to satisfy current requirements and policies, for example in the form of Low Impact Development (LID) measures in conjunction with parking lots. A PDF copy of the design report for Regional Pond RP-5 is attached.

North Stafford Associates, LC, has applied for Virginia Stormwater Management Program (VSMP) permit coverage under the 2009 Construction General Permit (CGP), and for issuance of the permit under the 2014 CGP. It is Stantec's opinion that with this approach stormwater compliance under the CSWMP (Part IIC

Design with community in mind
en:\m\203415720\203415720-embrey-mill-29-72-01.dwg

Stantec

May 29, 2014
Megan Winsten
Page 2 of 2

Reference: Embrey Mill - Parcel 29-72

technical criteria) can be extended for two (2) permit cycles, until June 30, 2014. As long as the pollutant load runoff volume and flow rate to the pond do not exceed what is currently permitted, the current permit is not violated.

We would like to emphasize that extension of "the time limits on applicability of approved design criteria" to the Part IIC technical criteria is not absolute as 9VAC25-870-47 A, allows local government to impose more stringent technical criteria or other requirements. Additionally, the developer is required to submit an Erosion and Sediment Control plan, at least for the initial phase of the development project, within 60 days after receipt of the permit coverage letter. Also, the zoning cannot be changed in a manner that would result in an increase in the amount of phosphorus leaving each point of discharge, such that there is an increase in the volume or rate of runoff.

It is however Stantec's opinion that based on precedent set throughout the design development of the stormwater management facilities for the Embrey Mill development so far approved, Stafford County may accept the design approach "that we comply with current Stafford County requirements to the extent practicable." We recommend that you retain the services of an experienced real estate attorney to facilitate the coordination with Stafford County in regard to the local requirements to which your project will be subject.

We would also like to emphasize that the discussion in this memorandum only pertains to the state stormwater management criteria and does not extend to other aspects of development. We recommend that other aspects be explored in cooperation with an experienced real estate attorney.

STANTEC CONSULTING SERVICES INC.

Chris Kuhn
Senior Project Manager
Phone: (757) 229-6869
Fax: (757) 229-4507
chris.kuhn@stantec.com

Attachment: as referenced

c. W. Douglas Beisch, Jr., P.E., Stantec
Bradley D. Helmandollar, PWS, CWB, Stantec
Helman Castro, Pennoni Associates, LLC
Elizabeth Pridmore, Pennoni Associates, LLC

Design with community in mind
en:\m\203415720\203415720-embrey-mill-29-72-01.dwg

THE INFORMATION SHOWN IN THIS PLAN WAS PROVIDED BY STANTEC, FORMERLY WILLIAMSBURG ENVIRONMENTAL GROUP, INC. THE PLAN SHOWN HEREON WAS TAKEN FROM THE APPROVED STORMWATER MANAGEMENT PLAN FOR THE OVERALL EMBREY MILL DEVELOPMENT, AND IS PROVIDED FOR INFORMATIONAL PURPOSES ONLY.

THIS PLAN IS FOR PRELIMINARY STORMWATER MANAGEMENT PURPOSES ONLY

LEGEND:

EXISTING CONTOURS

PROPOSED CONTOURS

APPROXIMATE EXISTING WETLAND LIMITS

PROJECT LIMITS

DRAINAGE AREA BOUNDARY

DRAINAGE AREA LABELS

RPA BUFFER

FLOW ARROW

HYDRAULIC LENGTH

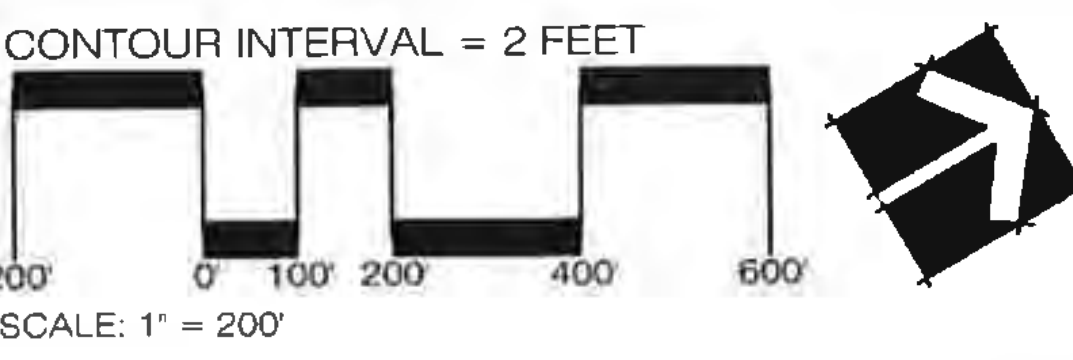
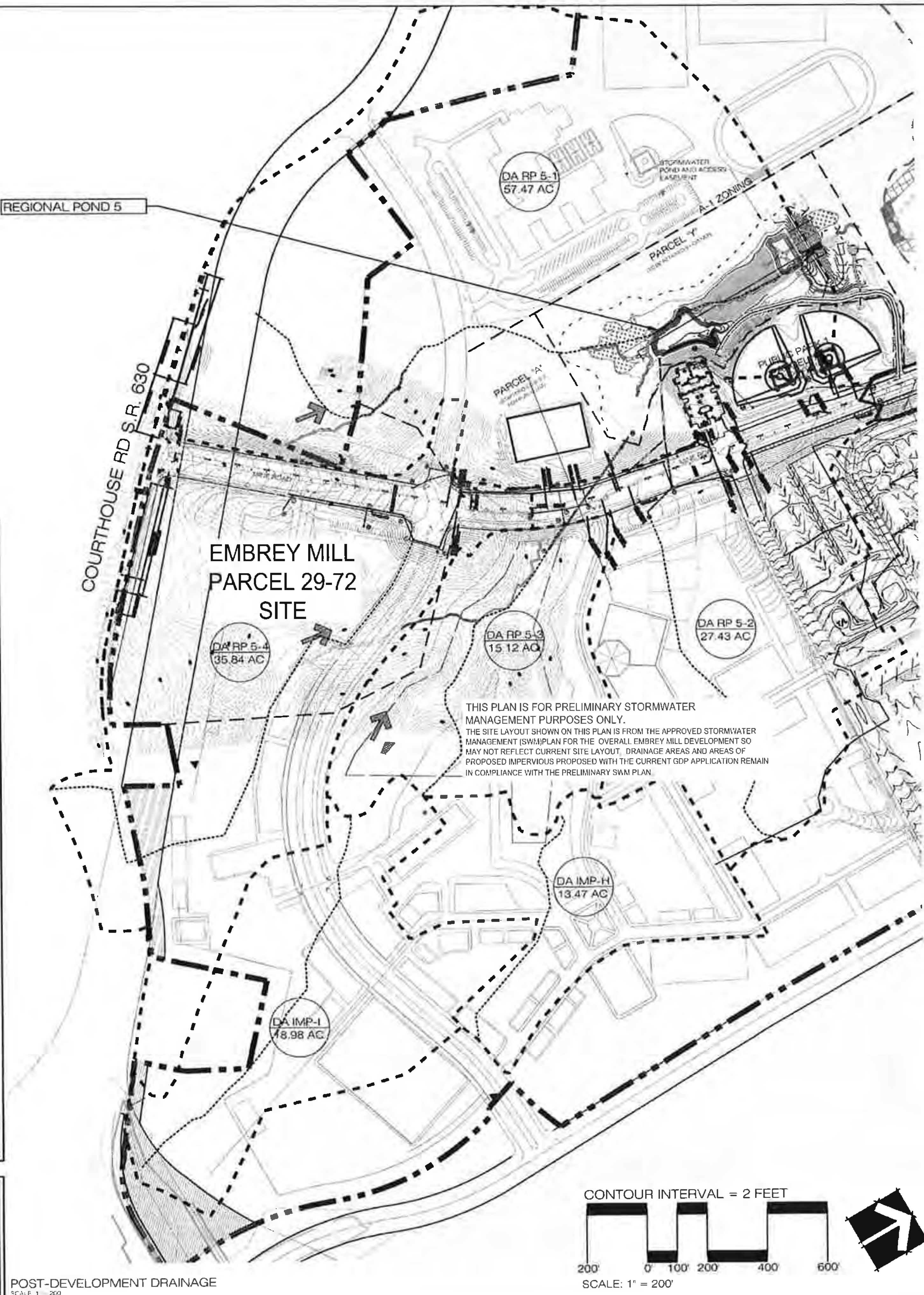
100-YR FLOODPLAIN LIMITS

STORMWATER POND AND ACCESS EASEMENT

SELECTED PARCEL BOUNDARIES

HYDROLOGIC SUMMARY IS LOCATED ON SHEET 11

100 YR FLOODPLAIN
LOCATION OF THE PROPOSED REGIONAL POND RP-5 IS DEPICTED ON THE FEMA FLOOD INSURANCE RATE MAP (FIRM) S101S40141E FOR STAFFORD COUNTY, VIRGINIA, REVISED FEBRUARY 4, 2005. THE PROPOSED REGIONAL POND RP-5 DOES NOT ENCHROACH INTO THE EFFECTIVE 100-YR FLOODPLAIN ASSOCIATED WITH ROCKY RUN.



POST-DEVELOPMENT DRAINAGE
SCALE: 1" = 200'

Pennoni

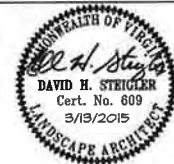
Pennoni Associates Inc.
14532 Lee Road
Chantilly, VA 20151-1879
T 703.446.8700 F 703.446.8714

W H A

ARCHITECTURE AND PLANNING

1408 N. FLEMING ST. SUITE 4 ARLINGTON, VA 22201
PH (703) 622-0287 FAX (703) 622-0438

NO.	DATE	NO.	REV/SIONS	BY
1	3/13/15	1	RESUBMISSION (US REVISIONS TO THIS SHEET)	EFF



ENVIRONMENTAL INVENTORY:
SOILS, HYDROLOGY AND WETLANDS
EMBREY MILL COMMERCIAL
GARRISONVILLE DISTRICT
STAFFORD COUNTY, VIRGINIA

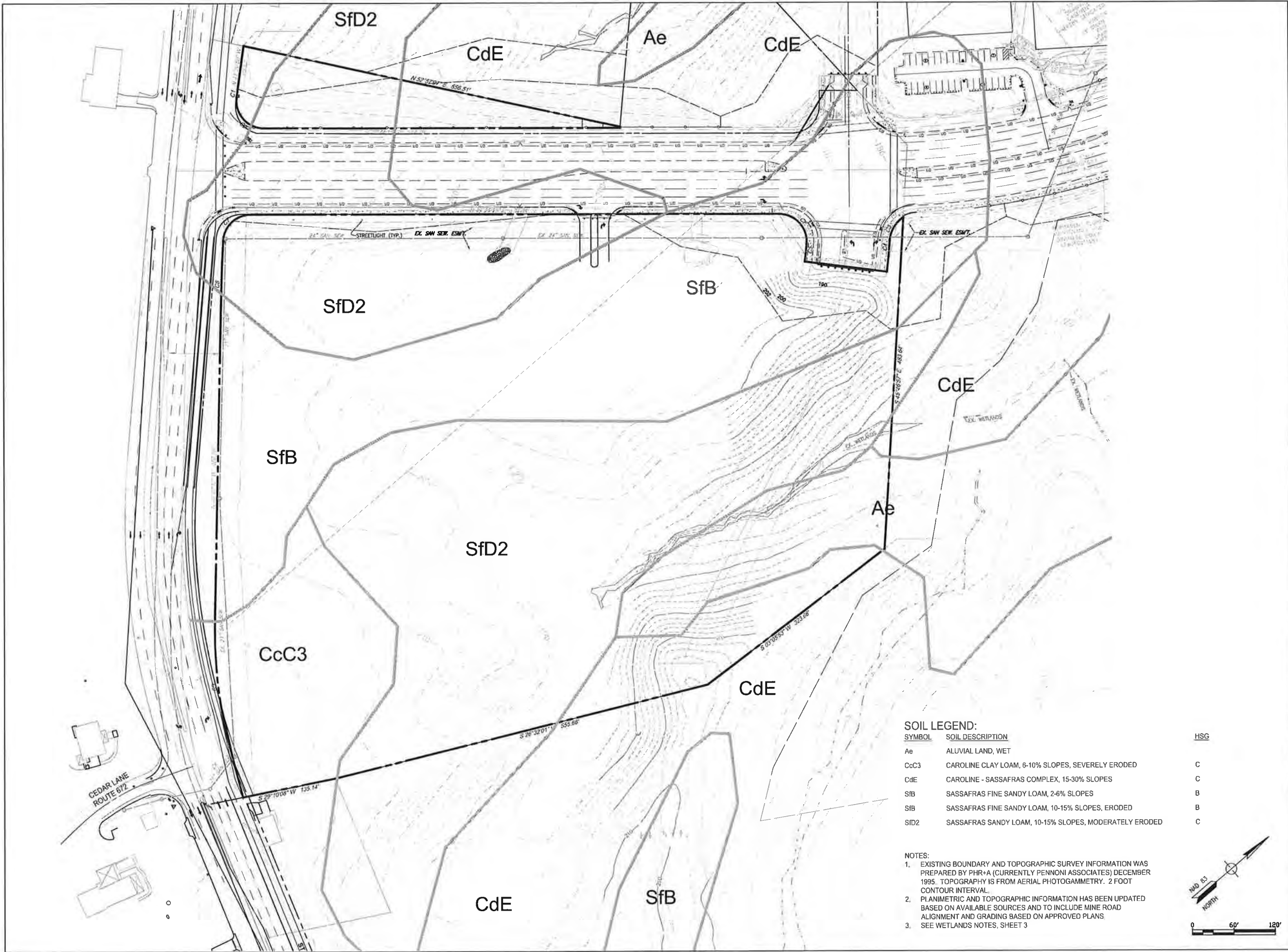
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PROJECT NO.	NSAS1301
SHEET	11 OF 13

SCALE	DATE
1"=80'	JULY 2014
DRAWN BY	APPROVED
PN	DHS

DRAWING NO.

EC-01

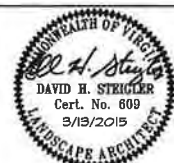


SOIL LEGEND:

SYMBOL	SOIL DESCRIPTION	HSG
Ae	ALUVIAL LAND, WET	C
CcC3	CAROLINE CLAY LOAM, 6-10% SLOPES, SEVERELY ERODED	C
CdE	CAROLINE - SASSAFRAS COMPLEX, 15-30% SLOPES	B
SfB	SASSAFRAS FINE SANDY LOAM, 2-6% SLOPES	B
SfB	SASSAFRAS FINE SANDY LOAM, 10-15% SLOPES, ERODED	C
SfD2	SASSAFRAS SANDY LOAM, 10-15% SLOPES, MODERATELY ERODED	C

NOTES:

- EXISTING BOUNDARY AND TOPOGRAPHIC SURVEY INFORMATION WAS PREPARED BY PHR+A (CURRENTLY PENNONI ASSOCIATES) DECEMBER 1995. TOPOGRAPHY IS FROM AERIAL PHOTOGRAMMETRY. 2 FOOT CONTOUR INTERVAL.
- PLANIMETRIC AND TOPOGRAPHIC INFORMATION HAS BEEN UPDATED BASED ON AVAILABLE SOURCES AND TO INCLUDE MINE ROAD ALIGNMENT AND GRADING BASED ON APPROVED PLANS.
- SEE WETLANDS NOTES, SHEET 3

W H A
ARCHITECTURE AND PLANNING[illegible]

ENVIRONMENTAL INVENTORY: EXISTING
USE, VEGETATION AND TOPOGRAPHY

EMBREY MILL COMMERCIAL

GARRISONVILLE DISTRICT
STAFFORD COUNTY, VIRGINIA

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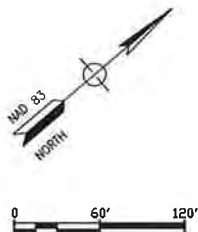
PROJECT NO.	NSAS1301
SHEET	12 OF 13

SCALE 1"=00'	DATE JULY 2014
DRAWN BY PAI	APPROVED DHS

EC-02



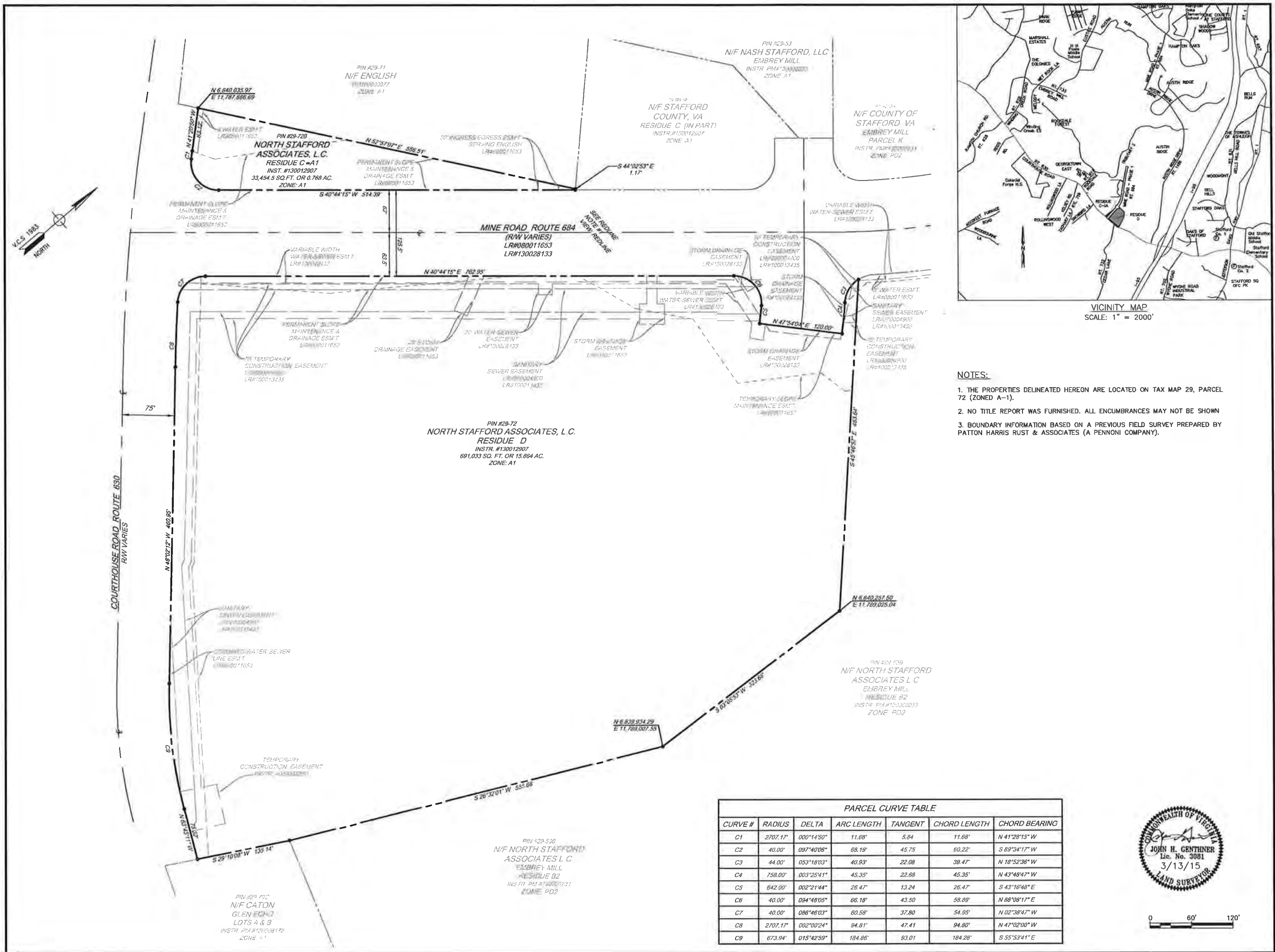
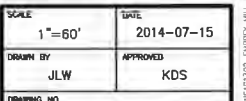
- NOTES:
1. EXISTING BOUNDARY AND TOPOGRAPHIC SURVEY INFORMATION WAS PREPARED BY PHR+A (CURRENTLY PENNONI ASSOCIATES) DECEMBER 1995. TOPOGRAPHY IS FROM AERIAL PHOTOGRAMMETRY.
 2. PLANIMETRIC AND TOPOGRAPHIC INFORMATION HAS BEEN UPDATED BASED ON AVAILABLE SOURCES AND TO INCLUDE MINE ROAD ALIGNMENT AND GRADING BASED ON APPROVED PLANS.
 3. SEE SHEET 1 FOR ADDITIONAL PARCEL AND USE INFORMATION.



[illegible]

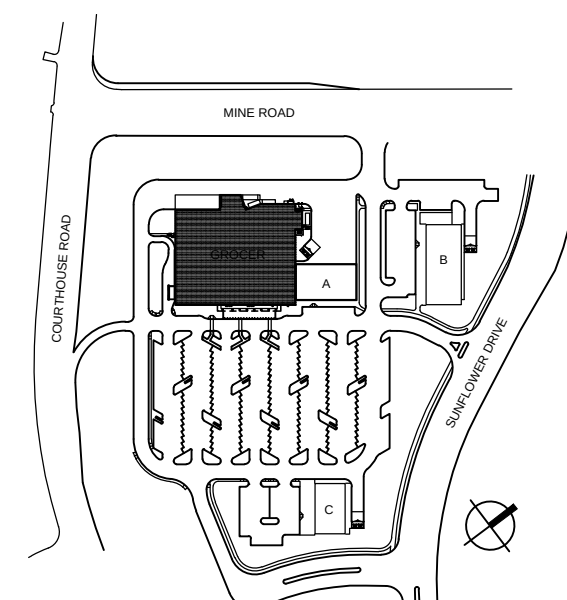
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PARCEL CURVE TABLE						
CURVE #	RADIUS	DELTA	ARC LENGTH	TANGENT	CHORD LENGTH	CHORD BEARING
C1	2707.17'	000°14'50"	11.68'	5.84	11.68'	N 41°28'15" W
C2	40.00'	097°40'06"	68.19'	45.75	60.22'	S 89°34'17" W
C3	44.00'	053°18'03"	40.93'	22.08	39.47'	N 18°52'36" W
C4	758.00'	003°25'41"	45.35'	22.68	45.35'	N 43°48'47" W
C5	642.00'	002°21'44"	26.47'	13.24	26.47'	S 43°16'48" E
C6	40.00'	094°48'05"	66.19'	43.50	58.89'	N 88°08'17" E
C7	40.00'	086°46'03"	60.59'	37.80	54.95'	N 02°38'47" W
C8	2707.17'	002°00'24"	94.81'	47.41	94.80'	N 47°02'00" W
C9	673.94'	015°42'59"	184.86'	93.01	184.28'	S 55°53'41" E

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KEY PLAN
SCALE: NOT TO SCALE

FREEMAN
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ARCHITECTS

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Revisions

Job Number

1830

Issued Date

8 | 17 | 2018

EMBREY MILL - GROCER

COURTHOUSE ROAD AND MINE ROAD

STAFFORD COUNTY, VIRGINIA

Sheet Name

EXTERIOR
PERSPECTIVE

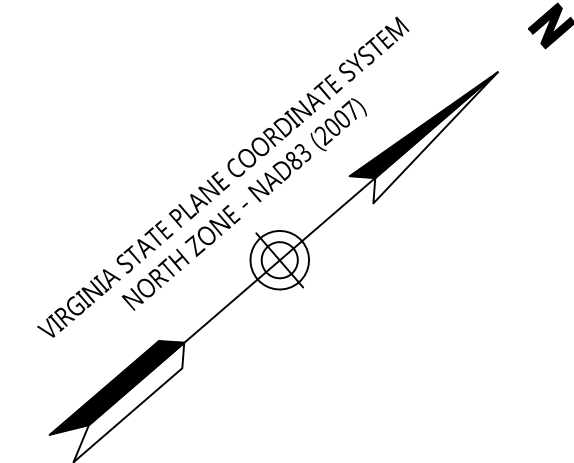
Sheet Number

AR-1d

03 of 01



Two Columbus Center
4500 Main Street
Suite 400
Virginia Beach, VA 23462
757.490.0132



Market at Embrey Mill Parcels "Residue C-A1" and "Residue D" Courthouse and Mine Road Stafford County, Virginia

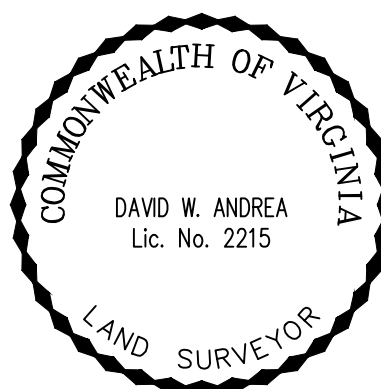
No.	Revision	Date	Appd.

Designed by	DWP	Checked by	DWA
Issued for		Date	

Barnett
Properties, LLC

July 24, 2018

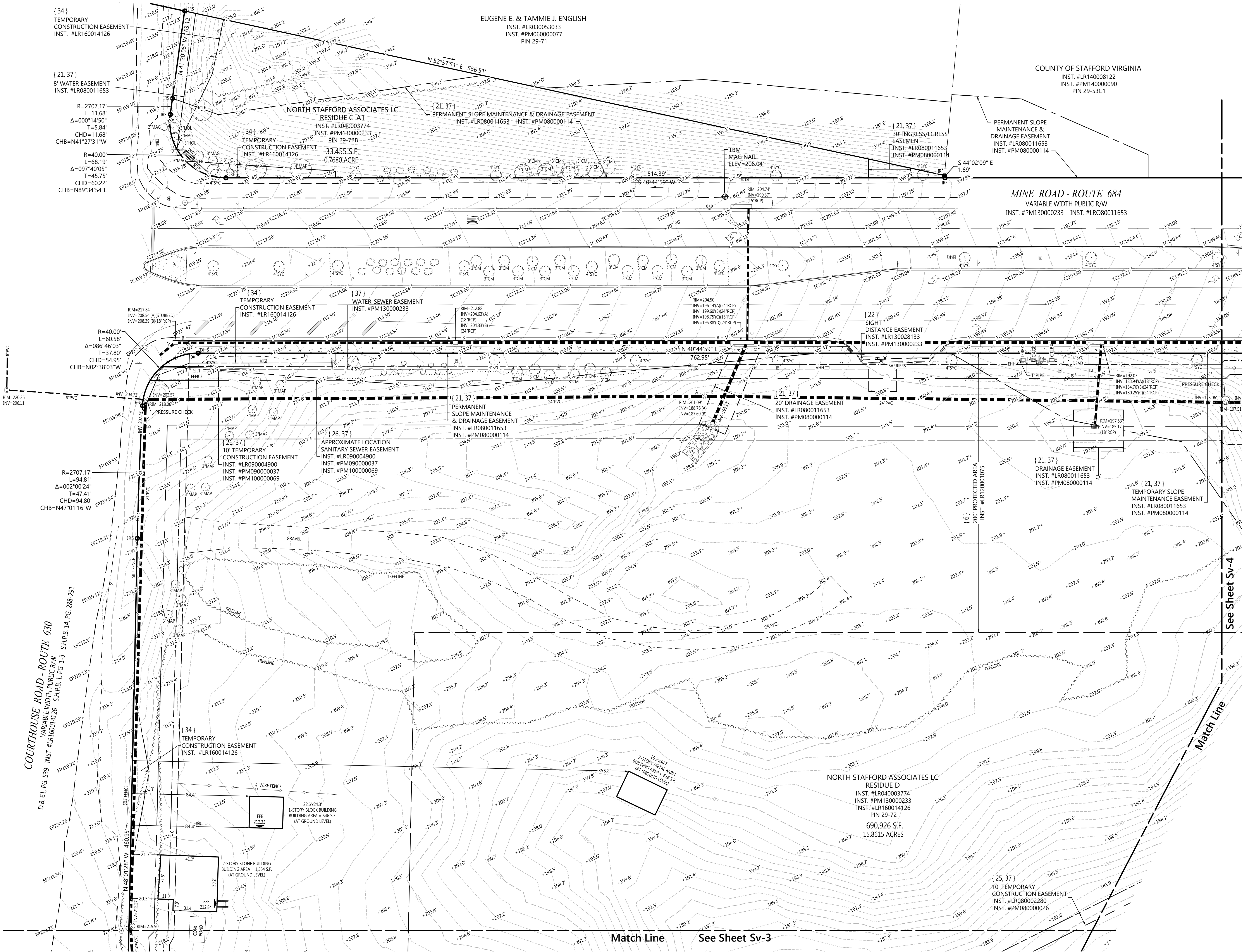
ALTA/NSPS
Land Title Survey



Sv-2

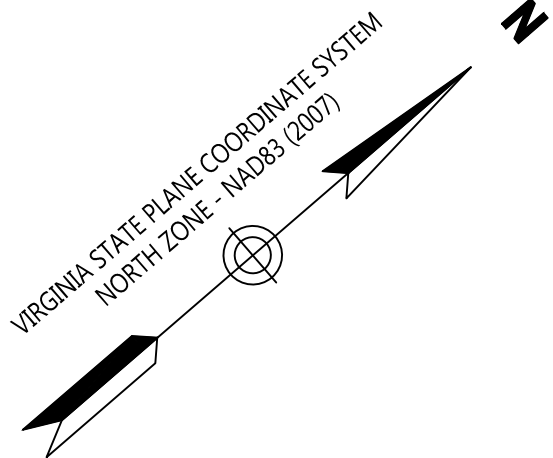
Sheet 2 of 4

Project Number
34440.00





Two Columbus Center
4500 Main Street
Suite 400
Virginia Beach, VA 23462
757.490.0132



Market at Embrey Mill
Parcels "Residue C-A1"
and "Residue D"
Courthouse and Mine Road
Stafford County, Virginia

No.	Revision	Date	Appd.

Designed by	DWP	Checked by	DWA
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Issued for
Barnett
Properties, LLC

Date
July 24, 2018

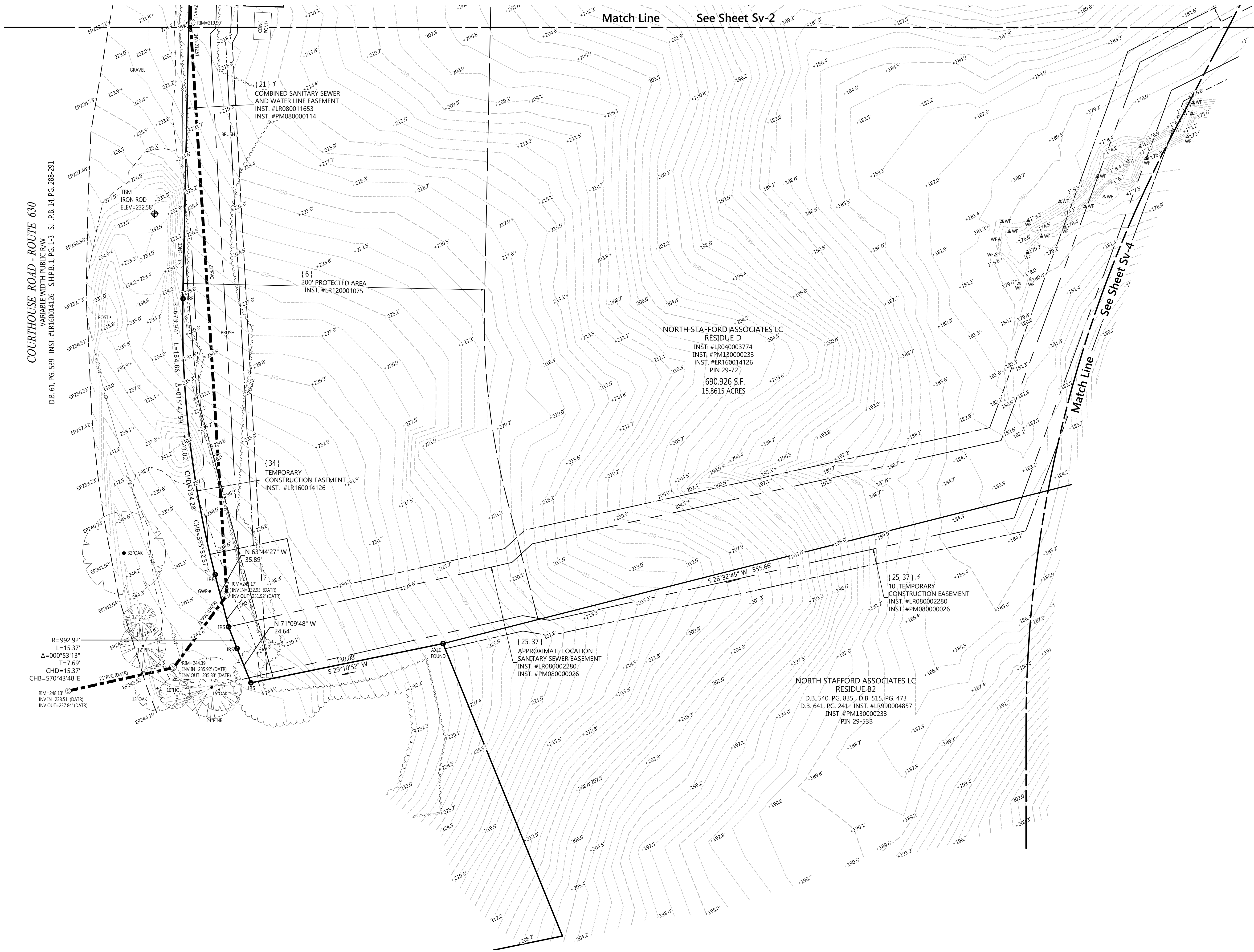
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**ALTA/NSPS
Land Title Survey**

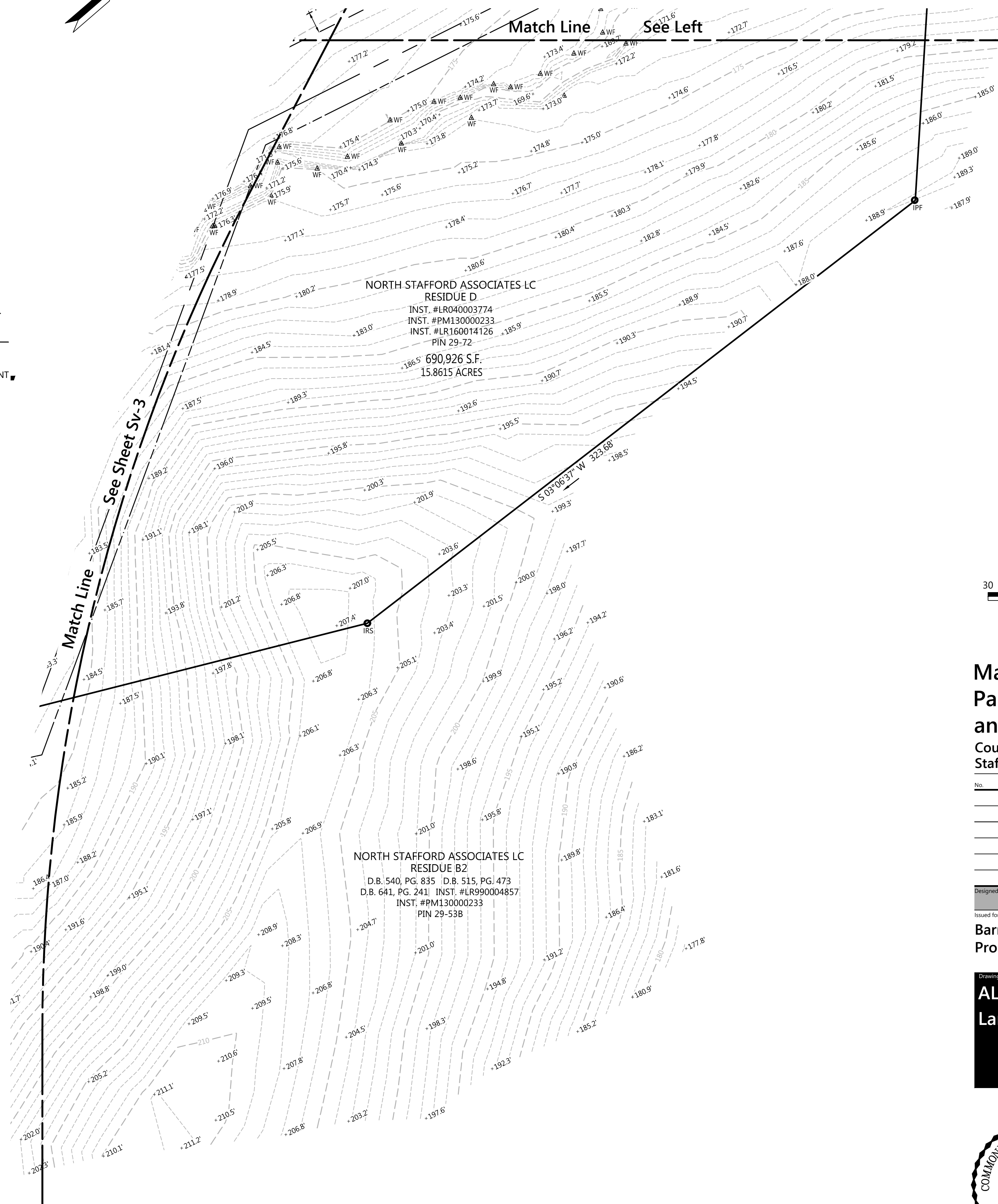
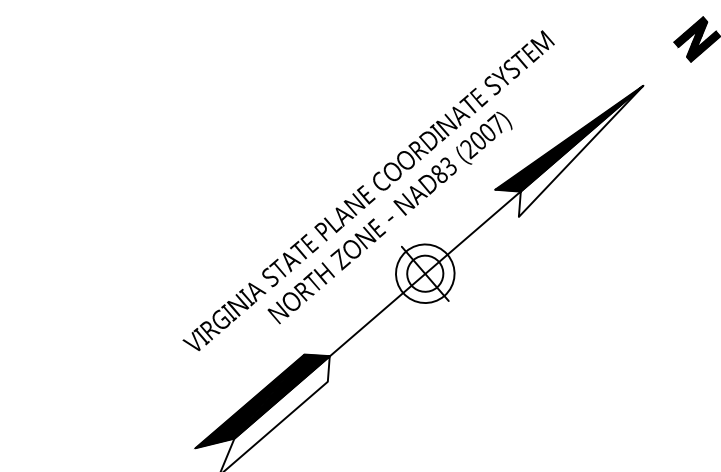
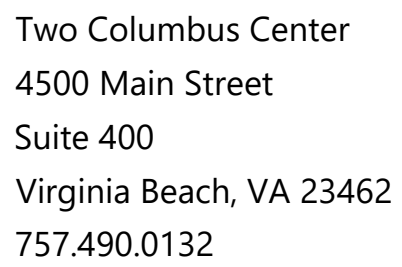


Sv-3

Sheet 3 of 4

Project Number
34440.00





A horizontal scale bar with tick marks at 30, 0, 30, and 60. The text "SCALE IN FEET" is centered below the bar.

Market at Embrey Mill Parcels "Residue C-A1" and "Residue D"

Courthouse and Mine Road
Stafford County, Virginia

Designed by	DWP	Checked by	DWA
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Barnett
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Drawing Title

ALTA/NSPS
Land Title Survey

Drawing Number

Sv-4

Sheet 4 of 4

Project Number
34440.00

