



Know what's below.
Call before you dig.

GENERALIZED DEVELOPMENT PLAN FOR: STAFFORD FREE-STANDING ER & IMAGING CENTER (CONDITIONAL USE PERMIT & ZONING MAP AMENDMENT) 56 MCWHIRT LOOP FREDERICKSBURG, VIRGINIA 22406 TAX PARCEL: 44-101A (PORTION)

APPLICANT
SPOTSYLVANIA MEDICAL CENTER, INC.
ONE PARK PLAZA
NASHVILLE, TN 37203

OWNER
CORNERSTONE BAPTIST CHURCH OF STAFFORD, VA
56 MCWHIRT LOOP
FREDERICKSBURG, VA 22406

CIVIL ENGINEER
FULMER LUCAS ENGINEERING, LLC
2002 RICHARD JONES ROAD - SUITE B200
NASHVILLE, TENNESSEE 37215

CONTACT: AVERY STEED
678-371-5954

LAND SURVEYOR
ACCUPOINT SURVEYING & DESIGN
6200 FORT AVENUE
LYNCHBURG, VIRGINIA 24502

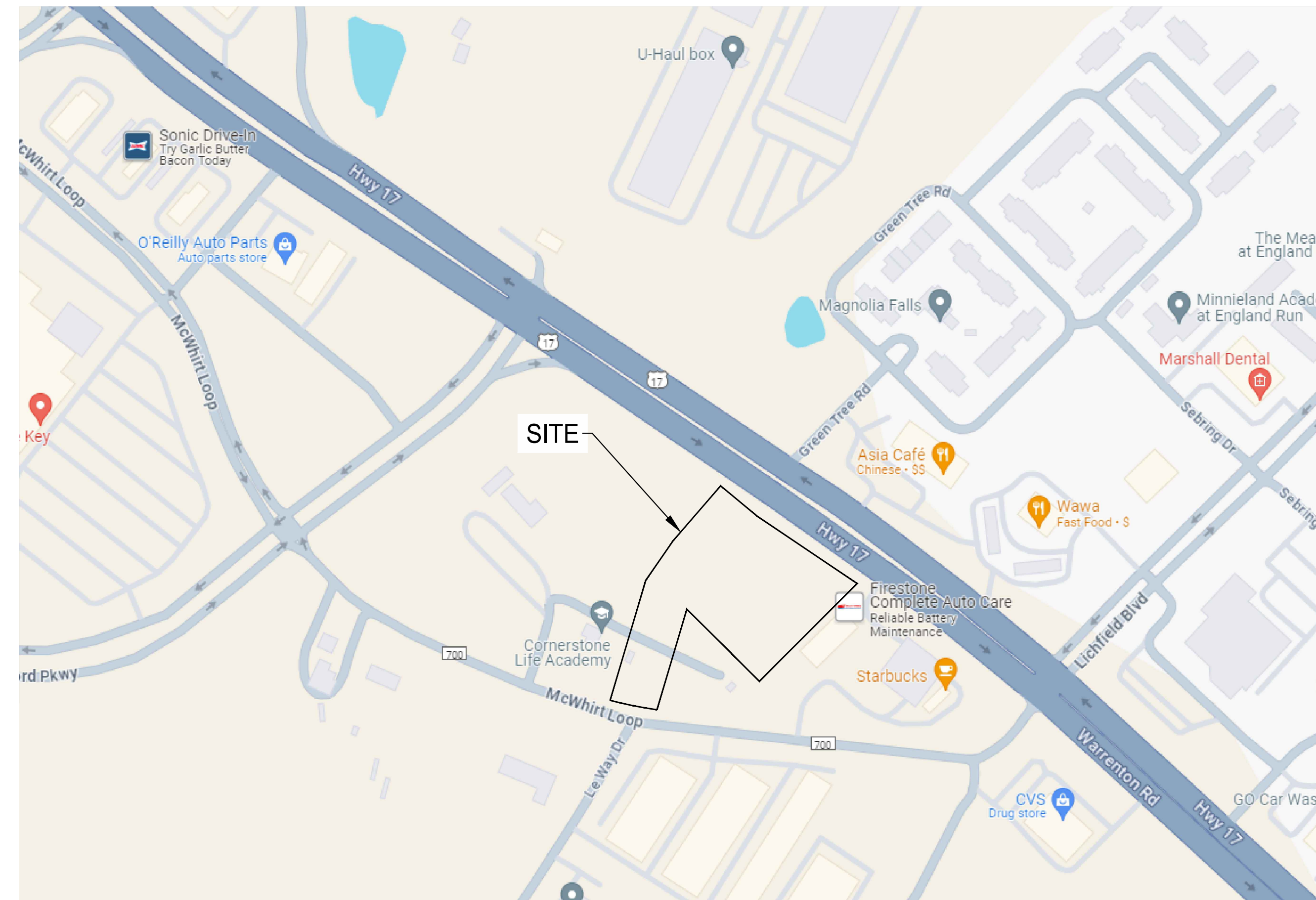
CONTACT: JOSH NIXON
434-610-4334

ARCHITECT
HEREFORD DOOLEY ARCHITECTS
205 17TH AVE N. SUITE 203
NASHVILLE, TENNESSEE 37203

CONTACT: TRIP HEREFORD
615-244-7399

LANDSCAPE ARCHITECT
H+B LAND DESIGN
1894 GEN. GEO. PATTON DR. - SUITE 400
FRANKLIN, TENNESSEE 37067-4465

CONTACT: CONNOR BALL
615-376-2421



NOT TO SCALE; SEE C1.2 FOR SCALED VICINITY MAP

Sheet List Table	
Sheet Number	Sheet Title
C0.0	COVER SHEET
C0.1	EXISTING CONDITIONS & DEMO PLAN
C1.0	SITE LAYOUT PLAN
C1.1	SITE ACCESS & CIRCULATION PLAN
C1.2	SITE VICINITY MAP
C2.0	SITE GRADING PLAN
C3.0	SITE UTILITY PLAN
L1.0	LANDSCAPE PLAN
L1.1	LANDSCAPE NOTES

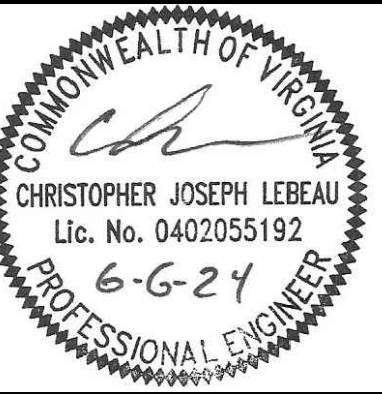
SITE CRITERIA

TAX PARCEL:	44-101A (PORTION)
PROPOSED LOT SIZE:	±3.20 AC
FEMA MAP AND PANEL NUMBER, DATE, FLOOD ZONE	51179CD182F (6/21/2023) ZONE X

SURVEY INFO
PROVIDED BY: ACCUPOINT SURVEYING & DESIGN
DATUM: VIRGINIA NORTH ZONE (NAD83 & NAVD 88)

FULMER LUCAS

2002 RICHARD JONES RD - SUITE B200
NASHVILLE, TENNESSEE 37215
INFO@FULMERLUCAS.COM - (615) 346-3770



SITE DEVELOPMENT PLANS FOR:
STAFFORD FREE-STANDING ER & IMAGING CENTER
(CONDITIONAL USE PERMIT & ZONING MAP AMENDMENT)
56 MCWHIRT LOOP
FREDERICKSBURG, VIRGINIA 22406

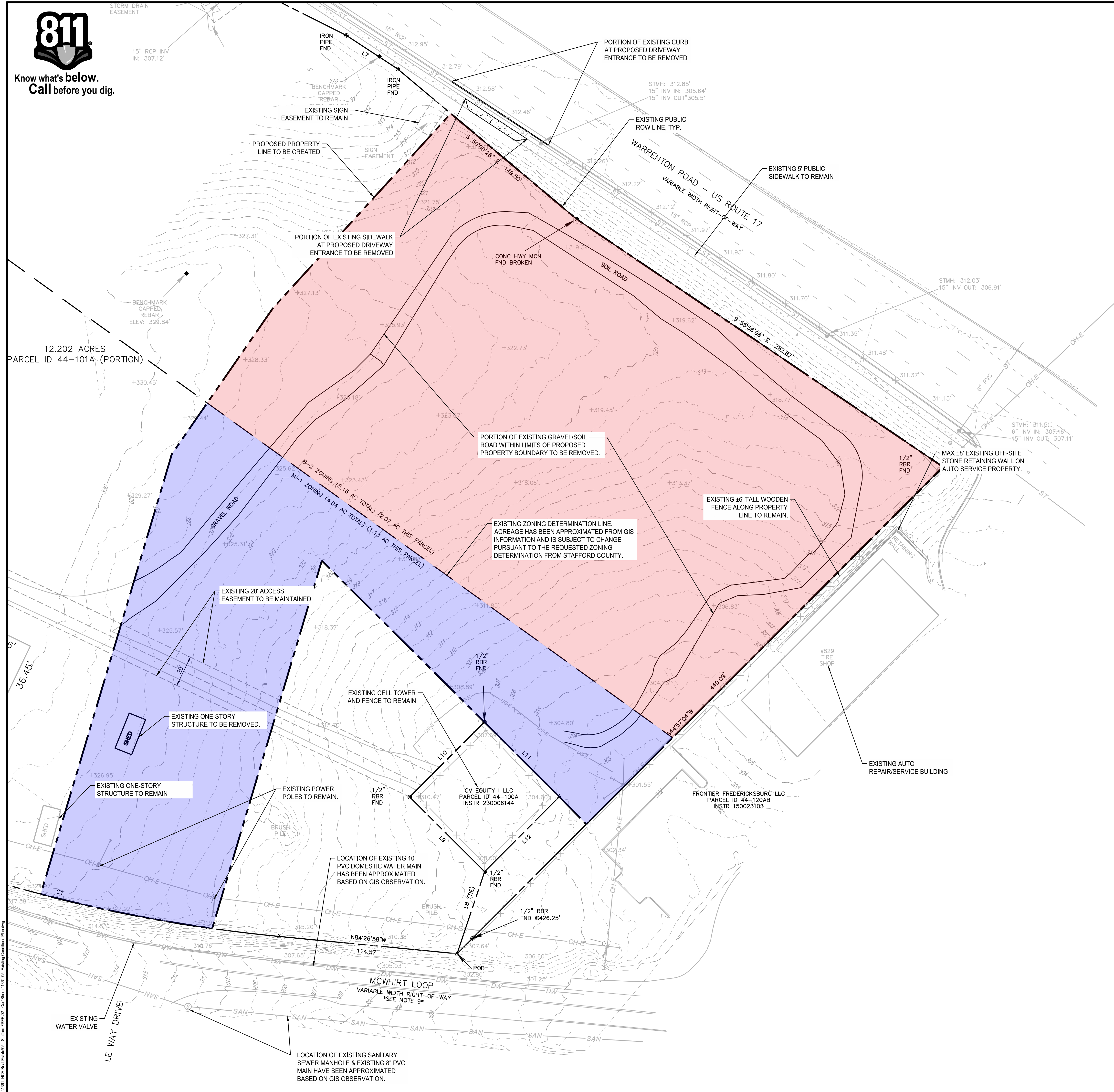
DATE	DESCRIPTION
06/06/2024	STAFFORD COUNTY GOP SUBMITTAL

COVER SHEET

C0.0



Know what's below. Call before you dig.



GENERAL NOTES:

- 1. GENERAL CONTRACTOR (GC) IS TO CONFORM TO ALL LOCAL CODES AND OBTAIN ALL PERMITS PRIOR TO BEGINNING WORK.
2. GC SHALL VERIFY THE EXACT LOCATION OF ALL EXISTING UTILITIES. GC SHALL TAKE CARE TO PROTECT UTILITIES THAT ARE TO REMAIN.
3. GC SHALL EXERCISE EXTREME CAUTION WHEN WORKING IN THE VICINITY OF UNDERGROUND OR OVERHEAD ELECTRICAL WIRES AND SERVICES.
4. IN EASEMENTS AND RIGHTS-OF-WAY, GC SHALL PROTECT AND RESTORE SAID PROPERTY TO A CONDITION SIMILAR OR EQUAL TO THAT EXISTING AT THE COMMENCEMENT OF CONSTRUCTION, EXCEPT WHERE NOTED.
5. GC IS TO PHOTOGRAPH ALL EXISTING CONDITIONS PRIOR TO INITIATING CONSTRUCTION.
6. CLEAR THE ENTIRE CONSTRUCTION AREA OF ALL WEEDS, BUSHES, TREES NOTED FOR REMOVAL OR WITHIN GRADING BOUNDARY, STUMPS, ASPHALT, CONCRETE, CURBS AND OTHER PROTRUDING OBSTRUCTIONS NOT DESIGNATED TO REMAIN.
7. ALL MATERIALS NOT TO REMAIN ARE TO BE DISPOSED OF OFF SITE AT A PROPERLY PERMITTED LOCATION.
8. GC IS RESPONSIBLE FOR CLEANING AND MAINTAINING HAUL ROUTES AND CONTROLLING DUST. CLEANING SHOULD BE CONTINUOUS DURING ACTIVE WORK.
9. GC IS RESPONSIBLE FOR ALL NECESSARY EROSION CONTROL TO KEEP SEDIMENT ON SITE, EVEN IF IT IS NOT DIRECTLY SHOWN ON THE PLANS. ANY EROSION CONTROL NEEDED NOT SHOWN ON THE PLANS SHALL BE MARKED ON THE PLANS.
10. GC SHALL NOT DISTURB EXISTING CONDITIONS OUTSIDE OF THE PROJECT PROPERTY UNLESS SHOWN ON THE PLANS OR WITH PERMISSION OF THE PROPERTY OWNER. ANY UNAUTHORIZED DAMAGES SHALL BE REPLACED AT THE EXPENSE OF THE CONTRACTOR.
11. ALL CURB AND GUTTER TO BE DEMOLISHED SHALL BE REMOVED TO THE NEAREST JOINT. CONTRACTOR TO FIELD VERIFY LIMITS AS JOINTS ARE NOT SHOWN ON THE PLANS.
12. ALL EXISTING WATER METERS CALLED OUT TO BE REMOVED SHALL BE CUT & CAPPED AT MAIN.

MAP REFERENCE:

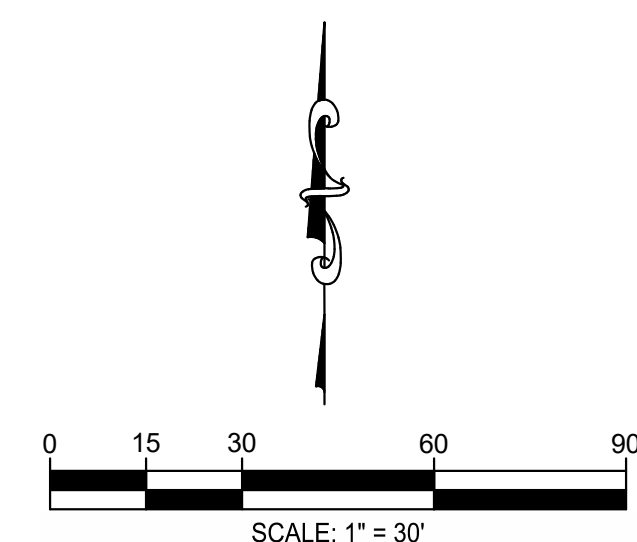
PARCEL ID FOR SUBJECT PROPERTY IS 44-101A (PORTION) ON STAFFORD COUNTY PROPERTY MAP.

LEGEND

- IRON ROD (OLD)
BENCHMARK
CATCH BASIN
FIRE HYDRANT
SEWER MANHOLE
EXISTING TREE
WATER VALVE
WATER METER
IRON ROD (NEW)
UTILITY POLE

ZONING LEGEND

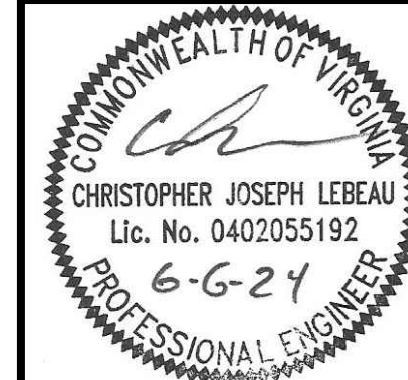
- APPROXIMATE AREA OF PROPOSED PARCEL CURRENTLY WITHIN B-2 ZONING DISTRICT = 2.07 AC
APPROXIMATE AREA OF PROPOSED PARCEL CURRENTLY WITHIN M-1 ZONING DISTRICT = 1.13 AC



SURVEY INFO PROVIDED BY: ACCUPOINT SURVEYING & DESIGN DATUM: VIRGINIA NORTH ZONE (NAD83 & NAVD 88)

FULMER LUCAS

2002 RICHARD JONES RD - SUITE B200 NASHVILLE, TENNESSEE 37215 INFO@FULMERLUCAS.COM - (615) 345-3770



SITE DEVELOPMENT PLANS FOR: STAFFORD FREE-STANDING ER & IMAGING CENTER (CONDITIONAL USE PERMIT & ZONING MAP AMENDMENT) 56 MCWHIRT LOOP FREDERICKSBURG, VIRGINIA 22406

Table with columns: DATE, DESCRIPTION, and rows for 06/06/2024 STAFFORD COUNTY GOP SUBMITTAL.

EXISTING CONDITIONS & DEMO PLAN

C0.1

1361-05 STAFFORD FSR



Know what's below. Call before you dig.

15" RCP INV IN: 307.12'

IRON PIPE FND

IRON PIPE FND

STMH: 312.85' 15" INV IN: 305.64' 15" INV OUT: 305.51'

SIGNAGE NOTE: ALL BUILDING AND SITE SIGNAGE TO BE DETERMINED AND APPROVED DURING SITE PLAN APPROVAL PROCESS.

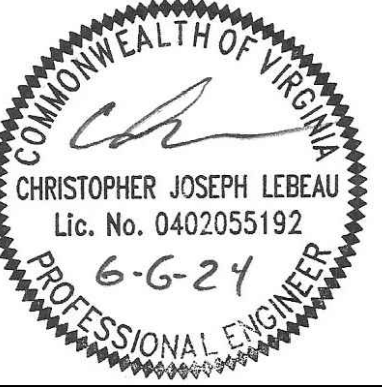
LIGHTING NOTE: APPLICANT WILL CONFORM WITH SECTION 28-87 OF THE COUNTY'S CODE REGARDING OUTDOOR LIGHTING

SITE DATA TABLE

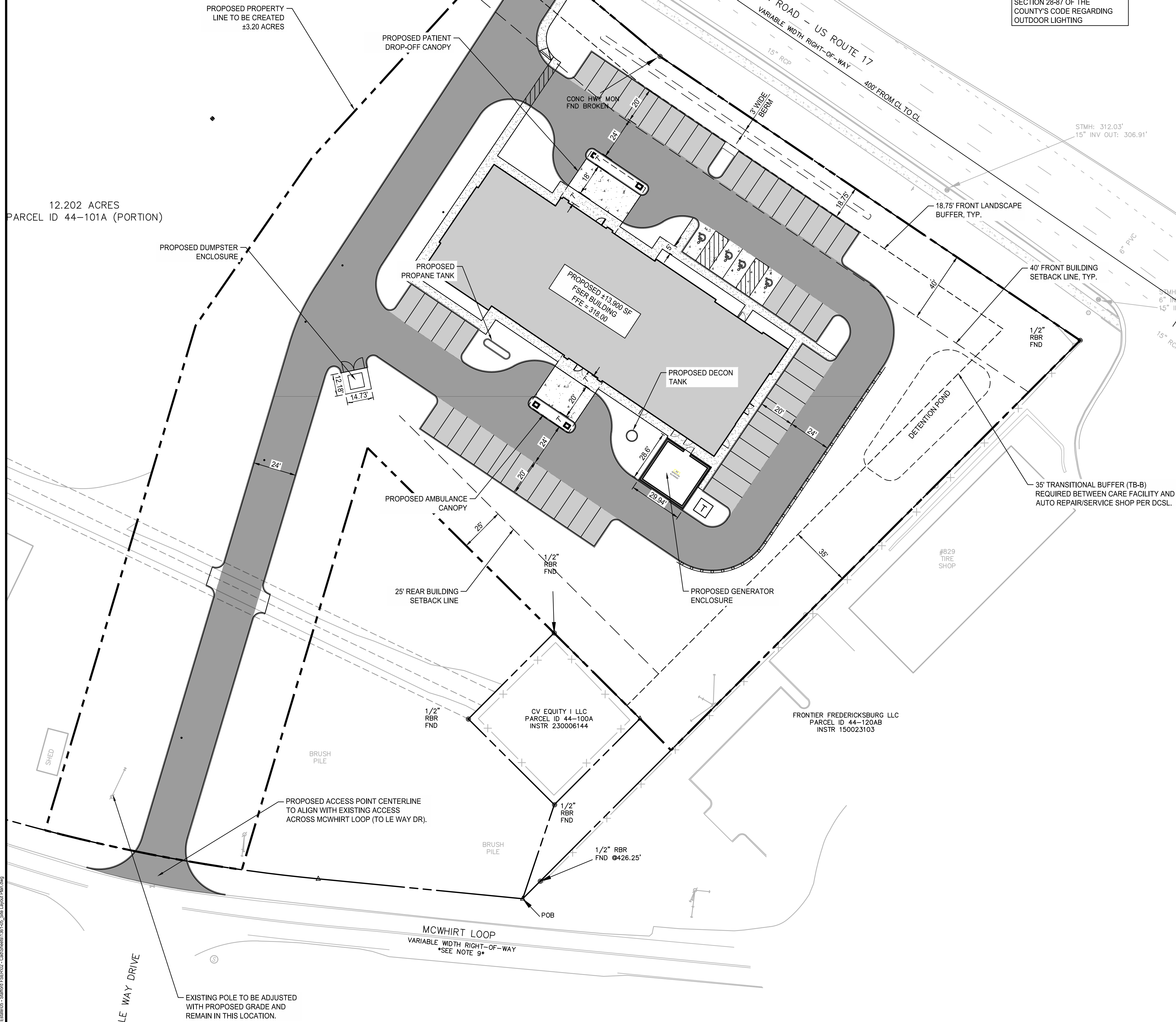
PROPERTY INFORMATION	
ADDRESS:	56 MCWHIRT LOOP (PORTION) 44-101A
PARCEL ID:	3.20 AC
LOT AREA:	STAFFORD
COUNTY:	VIRGINIA
STATE:	40'
STREET SETBACK:	N/A
SIDE SETBACK:	25'
REAR SETBACK:	35'
TRANSITIONAL BUFFER (TB-B)	
ZONING CLASSIFICATION	
JURISDICTION:	STAFFORD COUNTY
EXISTING ZONING:	URBAN COMMERCIAL (B-2) & LIGHT INDUSTRIAL (M-1)
TOTAL SITE ACREAGE IN B-2 ZONING	8.16 AC
PROPOSED PARCEL ACREAGE IN B-2 ZONING	2.07 AC
TOTAL SITE ACREAGE IN M-1 ZONING	4.04 AC
PROPOSED PARCEL ACREAGE IN M-1 ZONING	1.13 AC
PROPOSED ZONING:	URBAN COMMERCIAL (B-2) - CUP REQUIRED
PROPOSED USE:	HOSPITAL (FREE-STANDING EMERGENCY ROOM BUILDING)
BUILDING AREA	
EXISTING BUILDING SQUARE FOOTAGE:	N/A
PROPOSED BUILDING SQUARE FOOTAGE:	13,900 SF
FAR (MAX.):	0.70
FAR PROVIDED:	0.10
ISR (MAX.):	0.75
ISR PROVIDED:	0.45
BUILDING HEIGHT (MAX.):	65'
BUILDING HEIGHT PROVIDED:	30' (ONE-STORY)
PARKING SUMMARY	
PARKING REQUIRED (1 PER 250 SF GROSS FLOOR AREA)	56
STANDARD PARKING SPACES PROVIDED:	52
ADA PARKING SPACES PROVIDED:	4
TOTAL SPACES PROVIDED:	56

FULMER LUCAS

2002 RICHARD JONES RD - SUITE B200 NASHVILLE, TENNESSEE 37215 INFO@FULMERLUCAS.COM - (615) 346-3770



12.202 ACRES PARCEL ID 44-101A (PORTION)

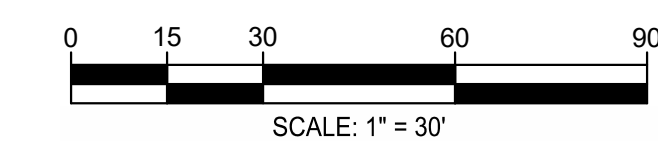


NOTES:

- CONTRACTOR SHALL CHECK ALL FINISHED GRADES AND DIMENSION IN THE FIELD AND REPORT ANY DISCREPANCIES TO THE OWNER'S REPRESENTATIVE PRIOR TO BEGINNING WORK.
- THE CONTRACTOR SHALL CONFORM TO ALL LOCAL CODES AND OBTAIN ALL PERMITS PRIOR TO BEGINNING WORK.
- PROVIDE A SMOOTH TRANSITION BETWEEN EXISTING PAVEMENT AND NEW PAVEMENT. FIELD ADJUSTMENT OF FINAL GRADES MAYBE NECESSARY. INSTALL ALL UTILITIES PRIOR TO INSTALLATION OF FINAL PAVEMENT.
- CONCRETE WALKS AND PADS SHALL HAVE A BROOM FINISH. ALL CONCRETE SHALL BE CLASS "A" (4,000 PSI) UNLESS OTHERWISE NOTED.
- ALL DAMAGE TO EXISTING ASPHALT PAVEMENT TO REMAIN WHICH RESULTS FROM NEW CONSTRUCTION SHALL BE REPLACED WITH LIKE MATERIALS AT THE CONTRACTOR'S EXPENSE.
- DIMENSIONS ARE TO THE FACE OF CURBS, EDGE OF CONCRETE, OR TO THE FACE OF BUILDING, UNLESS OTHERWISE NOTED.
- ALL CURB TURNOUT, EDGE OF PAVEMENT, AND STRIPING RADII ARE FOUR FEET (4') UNLESS OTHERWISE NOTED.
- CONTRACTOR TO VERIFY ALL REQUIRED CLEARANCES FROM OVERHEAD POWER LINES PRIOR TO THE START OF CONSTRUCTION.
- CONTRACTOR SHALL EXERCISE EXTREME CAUTION IN THE USE OF EQUIPMENT IN AND AROUND OVERHEAD OR UNDERGROUND ELECTRICAL WIRES AND SERVICES. IF AT ANY TIME IN THE PURSUIT OF THIS WORK, THE CONTRACTOR MUST WORK IN CLOSE PROXIMITY OF THE ABOVE NOTED WIRES, THE ELECTRICAL COMPANY SHALL BE CONTACTED PRIOR TO SUCH WORK AND THE PROPER SAFETY MEASURES MUST BE TAKEN.
- IN EASEMENTS AND RIGHTS-OF-WAYS, CONTRACTOR SHALL PROTECT AND RESTORE SAID PROPERTY TO A CONDITION SIMILAR OR EQUAL TO THAT EXISTING AT THE COMMENCEMENT OF CONSTRUCTION, EXCEPT AS NOTED.
- THE CONTRACTOR SHALL COMPLY WITH ALL PERTINENT PROVISIONS OF THE "MANUAL OF ACCIDENT PREVENTION IN CONSTRUCTION" ISSUED BY AGC OF AMERICA, INC. AND THE "SAFETY AND HEALTH REGULATIONS FOR CONSTRUCTION" ISSUED BY THE U.S. DEPARTMENT OF LABOR.
- TRAFFIC CONTROL, IF REQUIRED, SHALL BE PROVIDED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE.
- IN THE EVENT OF ANY DISCREPANCY AND/OR ERROR FOUND IN THE DRAWINGS, OR IF PROBLEMS ARE ENCOUNTERED DURING CONSTRUCTION, THE CONTRACTOR SHALL BE REQUIRED TO NOTIFY THE ENGINEER IN WRITING BEFORE PROCEEDING WITH THE WORK. IF THE ENGINEER IS NOT NOTIFIED, THE CONTRACTOR SHALL TAKE RESPONSIBILITY FOR THE COST OF ANY REVISION.
- BUILDING CONTROL POINTS, GRADE AND OFFSET STAKES ARE TO BE SET BY THE CONTRACTOR.
- PROVIDE 24" TAPER ON ENDS OF ALL CURBS THAT TERMINATE.
- ALL CURB RAMPS IN THE PUBLIC ROW ARE TO RECEIVE DETECTABLE WARNINGS PER LOCAL MUNICIPALITY.
- ALL BUILDINGS WITHIN 10' OF THE BIORETENTION AREA ARE TO BE WATERPROOFED. SEE ARCHITECTURAL PLANS.
- ALL SITE RETAINING WALLS SHALL BE DESIGNED BY OTHERS.
- INSTALL CONCRETE JOINTS WHERE SHOWN ON DETAILS. ALIGN ON WALLS, BUILDINGS, RADII, ETC. EVENLY SPACE BETWEEN ELEMENTS AS SHOWN. PROVIDE EXPANSION JOINTS BETWEEN CONCRETE PAVEMENT AND ALL VERTICAL ELEMENTS SUCH AS WALLS, CURBS, ETC.
- ALL LANDSCAPE ISLANDS SHALL BE MOUNDED WITH TOPSOIL 4" ABOVE THE CURB LINE TO PROMOTE POSITIVE DRAINAGE.
- SAW CUT LINES SHALL BE DONE IN A STRAIGHT NEAT LINE A MINIMUM OF 18" FROM THE EXISTING EDGE OF PAVEMENT.
- ALL PAVEMENT MARKINGS SHALL BE 4" WIDE UNLESS OTHERWISE NOTED. ALL PAVEMENT MARKINGS WITHIN THE RIGHT-OF-WAY SHALL BE THERMOPLASTIC AND COMPLY WITH MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) LATEST EDITION. RIGHT-OF-WAY SIGNAGE TO ALSO COMPLY WITH M.U.T.C.D. ON SITE PAVEMENT MARKINGS SHALL BE WHITE PAINT UNLESS NOTED OTHERWISE.

PAVING LEGEND

	HEAVY DUTY ASPHALT
	LIGHT DUTY ASPHALT
	SIDEWALK SECTION
	HEAVY DUTY CONCRETE



SURVEY INFO PROVIDED BY: ACCUPOINT SURVEYING & DESIGN DATUM: VIRGINIA NORTH ZONE (NAD83 & NAVD 88)

SITE DEVELOPMENT PLANS FOR:

STAFFORD FREE-STANDING ER & IMAGING CENTER (CONDITIONAL USE PERMIT & ZONING MAP AMENDMENT)

56 MCWHIRT LOOP FREDERICKSBURG, VIRGINIA 22406

DESCRIPTION: STAFFORD COUNTY GOP SUBMITTAL

DATE: 06/06/2024

SITE LAYOUT PLAN

C1.0

1361-05 STAFFORD FSR



Know what's below.
Call before you dig.

15" RCP INV
IN: 307.12'

FIRE TRUCK ROUTING

IRON PIPE FND

IRON PIPE FND

PASSENGER CAR ROUTING

STMH: 312.45'
15" INV IN: 305.64'
15" INV OUT: 305.51'

WARRENTON ROAD - US ROUTE 17
VARIABLE WIDTH RIGHT-OF-WAY
400' FROM CL TO CL

STMH: 312.03'
15" INV IN: 306.91'
15" INV OUT: 307.11'

STMH: 311.51'
6" INV IN: 307.16'
15" INV OUT: 307.11'

PROPOSED PROPERTY LINE TO BE CREATED ±3.20 ACRES

PROPOSED ADA ACCESSIBLE PATH TO ROW.

CONC HWY MON FND BROKEN

PROPOSED 113,900 SF
FSER BUILDING
FFE# = 318.00

1/2" RBR FND

12.202 ACRES
PARCEL ID 44-101A (PORTION)

PROPOSED AMBULANCE CANOPY

1/2" RBR FND

#829 TIRE SHOP

CV EQUITY I LLC
PARCEL ID 44-100A
INSTR 230006144

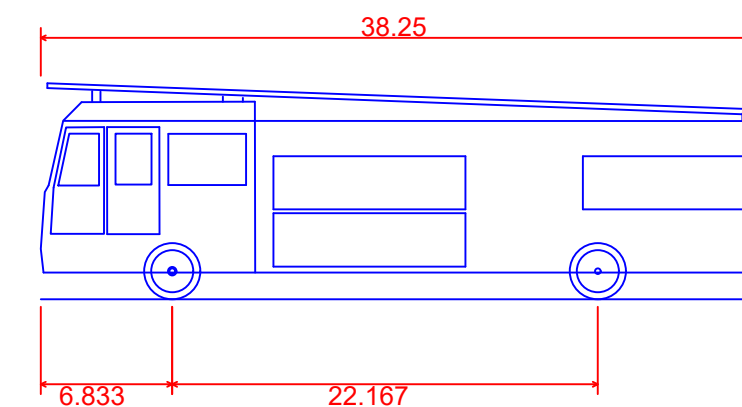
FRONTIER FREDERICKSBURG LLC
PARCEL ID 44-120AB
INSTR 150023103

MCWHIRT LOOP
VARIABLE WIDTH RIGHT-OF-WAY
SEE NOTE 9

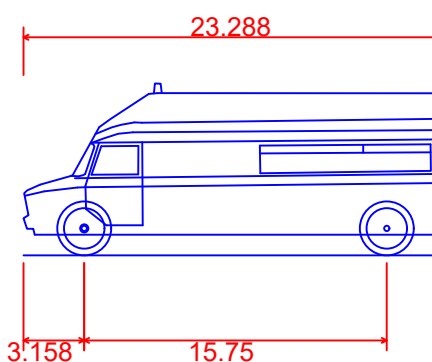
LE WAY DRIVE

LEGEND

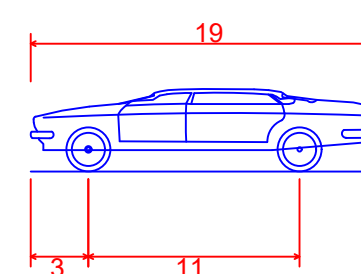
- VEHICLE PATH
- TIRES
- VEHICLE BODY



E-ONE Combination Unit
 Overall Length 38.250ft
 Overall Width 8.333ft
 Overall Body Height 11.250ft
 Min Body Ground Clearance 1.393ft
 Track Width 8.333ft
 Lock-to-lock time 6.00s
 Max Wheel Angle 45.00°



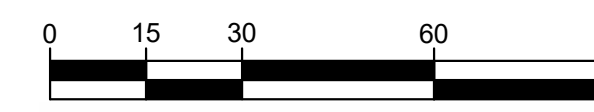
Horton 453 Type I Ford E-Series Ambulance
 Overall Length 23.288ft
 Overall Width 8.021ft
 Overall Body Height 9.000ft
 Min Body Ground Clearance 1.075ft
 Track Width 8.021ft
 Lock-to-lock time 5.00s
 Curb to Curb Turning Radius 27.400ft



P - Passenger Car
 Overall Length 19.000ft
 Overall Width 7.000ft
 Overall Body Height 4.300ft
 Min Body Ground Clearance 1.115ft
 Track Width 6.000ft
 Lock-to-lock time 4.00s
 Curb to Curb Turning Radius 23.800ft

PAVING LEGEND

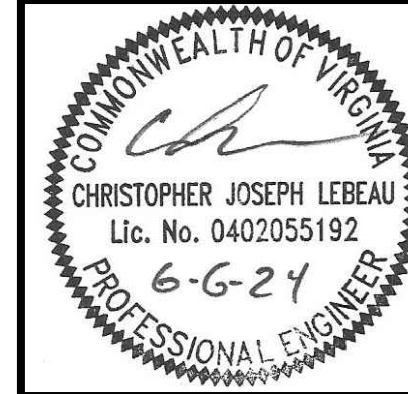
- HEAVY DUTY ASPHALT
- LIGHT DUTY ASPHALT
- PERVIOUS PAVERS
- SIDEWALK SECTION
- HEAVY DUTY CONCRETE



SURVEY INFO
 PROVIDED BY: ACCUPOINT SURVEYING & DESIGN
 DATUM: VIRGINIA NORTH ZONE (NAD83 & NAVD 88)

FULMER LUCAS

2002 RICHARD JONES RD - SUITE B200
 NASHVILLE, TENNESSEE 37215
 INFO@FULMERLUCAS.COM - (615) 346-3770



SITE DEVELOPMENT PLANS FOR:
STAFFORD FREE-STANDING ER & IMAGING CENTER
 (CONDITIONAL USE PERMIT & ZONING MAP AMENDMENT)
 56 MCWHIRT LOOP
 FREDERICKSBURG, VIRGINIA 22406

DATE	DESCRIPTION
06/06/2024	STAFFORD COUNTY GOP SUBMITTAL
AS	

SITE ACCESS & CIRCULATION PLAN

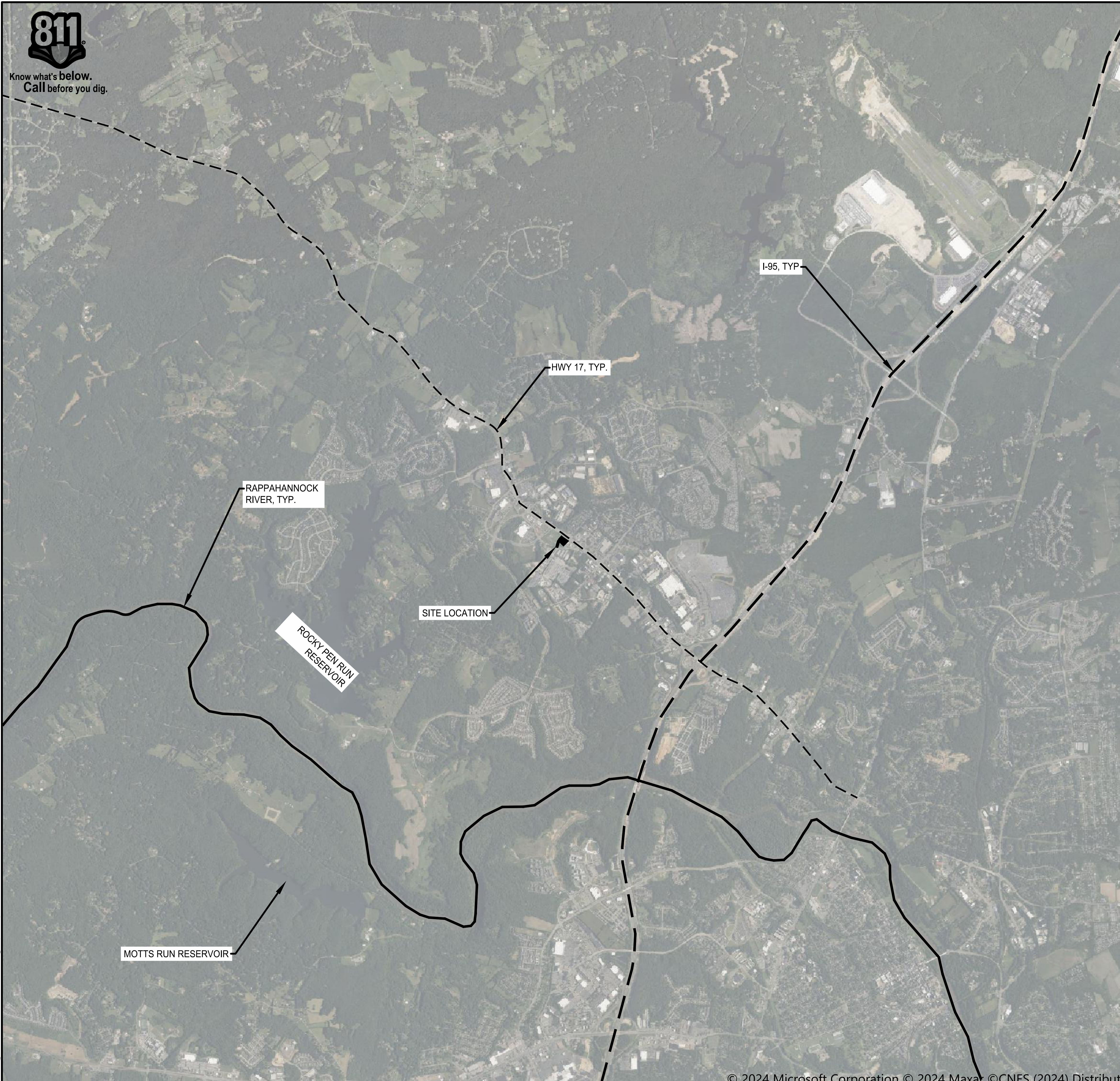
C1.1

Thursday, June 6, 2024 12:20:52 PM
C:\Users\jmlucas\OneDrive\Documents\Stafford FSER\2024-06-06\1361-05_Stafford FSER.dwg

1361-05 STAFFORD FSER

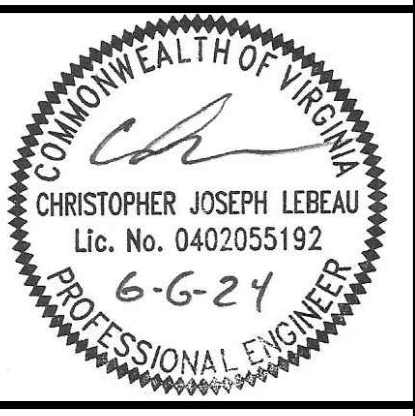


Know what's below.
Call before you dig.



SITE DATA TABLE

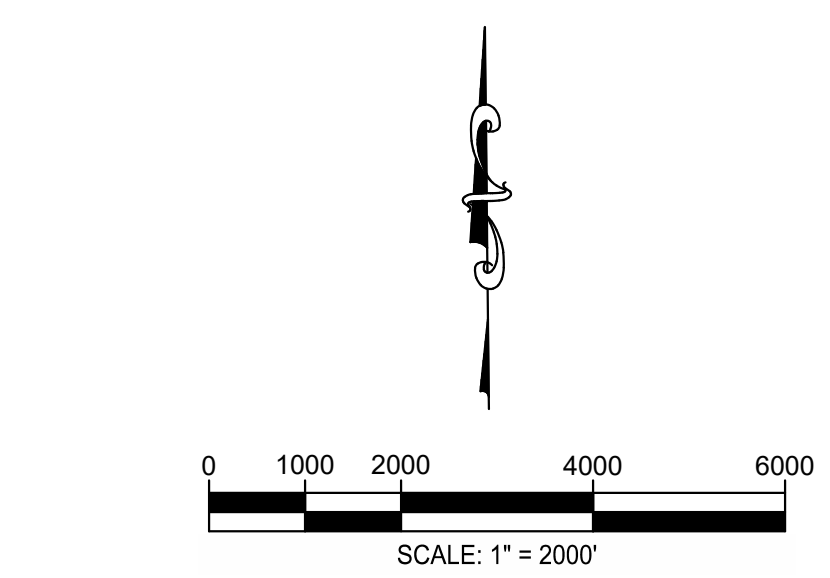
PROPERTY INFORMATION	
ADDRESS:	56 MCWHIRT LOOP (PORTION) 44-101A
PARCEL ID:	3.20 AC
LOT AREA:	STAFFORD
COUNTY:	VIRGINIA
STATE:	40'
STREET SETBACK:	N/A
SIDE SETBACK:	25'
REAR SETBACK:	35'
TRANSITIONAL BUFFER (TB-B)	
ZONING CLASSIFICATION	
JURISDICTION:	STAFFORD COUNTY
EXISTING ZONING:	URBAN COMMERCIAL (B-2) & LIGHT INDUSTRIAL (M-1)
TOTAL SITE ACREAGE IN B-2 ZONING	8.16 AC
PROPOSED PARCEL ACREAGE IN B-2 ZONING	2.07 AC
TOTAL SITE ACREAGE IN M-1 ZONING	4.04 AC
PROPOSED PARCEL ACREAGE IN M-1 ZONING	1.13 AC
PROPOSED ZONING:	URBAN COMMERCIAL (B-2) - CUP REQUIRED
PROPOSED USE:	HOSPITAL (FREE-STANDING EMERGENCY ROOM BUILDING)
BUILDING AREA	
EXISTING BUILDING SQUARE FOOTAGE:	N/A
PROPOSED BUILDING SQUARE FOOTAGE:	13,900 SF
FAR (MAX.):	0.70
FAR PROVIDED:	0.10
ISR (MAX.):	0.75
ISR PROVIDED:	0.45
BUILDING HEIGHT (MAX.):	65'
BUILDING HEIGHT PROVIDED:	30' (ONE-STORY)
PARKING SUMMARY	
PARKING REQUIRED (1 PER 250 SF GROSS FLOOR AREA)	56
STANDARD PARKING SPACES PROVIDED:	52
ADA PARKING SPACES PROVIDED:	4
TOTAL SPACES PROVIDED:	56



SITE DEVELOPMENT PLANS FOR:
STAFFORD FREE-STANDING ER & IMAGING CENTER
(CONDITIONAL USE PERMIT & ZONING MAP AMENDMENT)
56 MCWHIRT LOOP
FREDERICKSBURG, VIRGINIA 22406

DATE	DESCRIPTION
06/06/2024	STAFFORD COUNTY GDP SUBMITTAL

SITE VICINITY MAP
C1.2

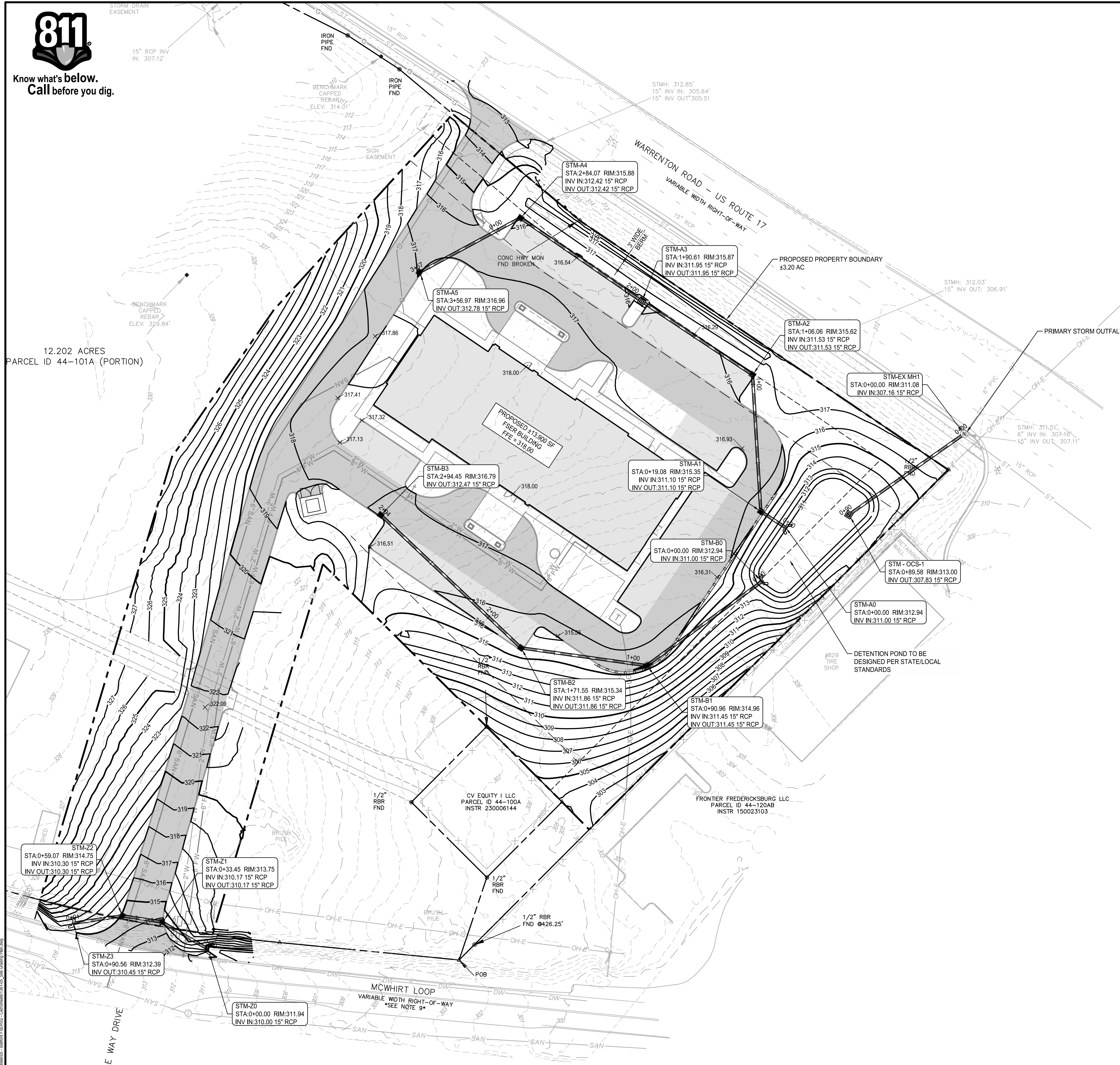


SURVEY INFO
PROVIDED BY: ACCUPOINT SURVEYING & DESIGN
DATUM: VIRGINIA NORTH ZONE (NAD83 & NAVD 88)



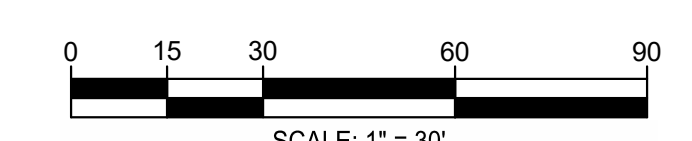
Know what's below.
Call before you dig.

12.202 ACRES
PARCEL ID 44-101A (PORTION)



LEGEND

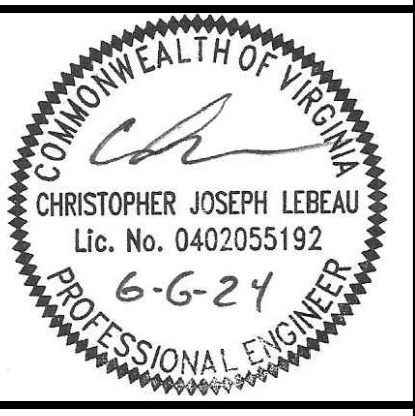
- DOMESTIC WATER SERVICE
- GAS SERVICE
- SANITARY SEWER SERVICE
- OVERHEAD ELECTRIC SERVICE
- OVERHEAD TELEPHONE SERVICE
- PERVIOUS PAVEMENT UNDERDRAIN
- ROOF DRAIN TRUNK LINE
- STORM PIPE (SEE PLANS FOR MATERIAL)
- EXISTING CONTOUR
- PROPOSED CONTOUR
- DRIVEWAY CENTERLINE
- PROPERTY LINE
- SANITARY SEWER MANHOLE
- STORM SEWER MANHOLE
- CURB INLET
- CATCH BASIN
- NYLOPLAST DRAIN BASIN
- ELECTRIC/COMMUNICATION POLE
- TOP OF CURB SPOT ELEVATION
- BOTTOM OF CURB SPOT ELEVATION
- RETAINING WALL
- TOP OF WALL
- FINISHED GRADE AT BOTTOM OF WALL



SURVEY INFO
PROVIDED BY: ACCUPOINT SURVEYING & DESIGN
DATUM: VIRGINIA NORTH ZONE (NAD83 & NAVD 88)

FULMER LUCAS

2002 RICHARD JONES RD - SUITE B200
NASHVILLE, TENNESSEE 37215
INFO@FULMERLUCAS.COM - (615) 346-3770



SITE DEVELOPMENT PLANS FOR:
STAFFORD FREE-STANDING ER & IMAGING CENTER
(CONDITIONAL USE PERMIT & ZONING MAP AMENDMENT)
56 MCWHIRT LOOP
FREDERICKSBURG, VIRGINIA 22406

DATE	DESCRIPTION
06/06/2024	STAFFORD COUNTY GIP SUBMITTAL

SITE GRADING PLAN

C2.0

1361-05 STAFFORD FSR



Know what's below. Call before you dig.

STORM DRAIN EASEMENT

15" RCP INV IN: 307.12'

PROPOSED ±700 LF GAS MAIN EXTENSION

BENCHMARK CAPPED REBAR ELEV: 314.01'

IRON PIPE FND

STMH: 312.85' 15" INV IN: 305.64' 15" INV OUT: 305.51'

BENCHMARK CAPPED REBAR ELEV: 329.84'

PROPOSED 6" SANITARY SEWER SERVICE TO BUILDING

12.202 ACRES PARCEL ID 44-101A (POR)

PROPOSED SANITARY SEWER CLEANOUT, TYP.

PROPOSED GAS SERVICE TO BUILDING

CONC HWY MON FND BROKEN

PROPOSED PRIVATE FIRE HYDRANT

PROPOSED 113,900 SF FSER BUILDING FFE: 318.00'

PROPOSED 2" DOMESTIC WATER SERVICE TO BUILDING

PROPOSED 6" FIRE SERVICE TO BUILDING

UNDERGROUND ELECTRIC ROUTING AND TRANSFORMER LOCATION SHOWN FOR REFERENCE ONLY. CONTRACTOR TO COORDINATE ELECTRICAL DESIGN WITH DOMINION ENERGY.

EXISTING POWER POLE TO BE ADJUSTED WITH PROPOSED GRADE AND REMAIN IN THIS LOCATION.

BRUSH PILE SEE WATER INSET THIS SHEET

CV EQUITY I LLC PARCEL ID 44-100A INSTR 230006144

FRONTIER FREDERICKSBURG LLC PARCEL ID 44-120AB INSTR 150023103

MCWHIRT LOOP VARIABLE WIDTH RIGHT-OF-WAY *SEE NOTE 9*

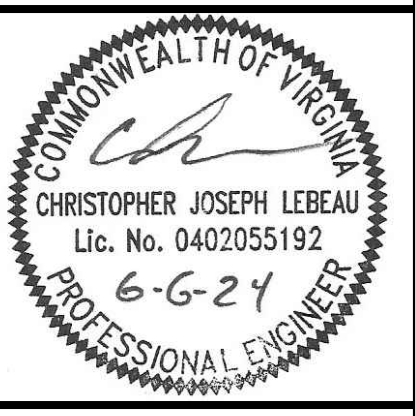
CONNECT TO EXISTING SANITARY SEWER MAIN

LEGEND

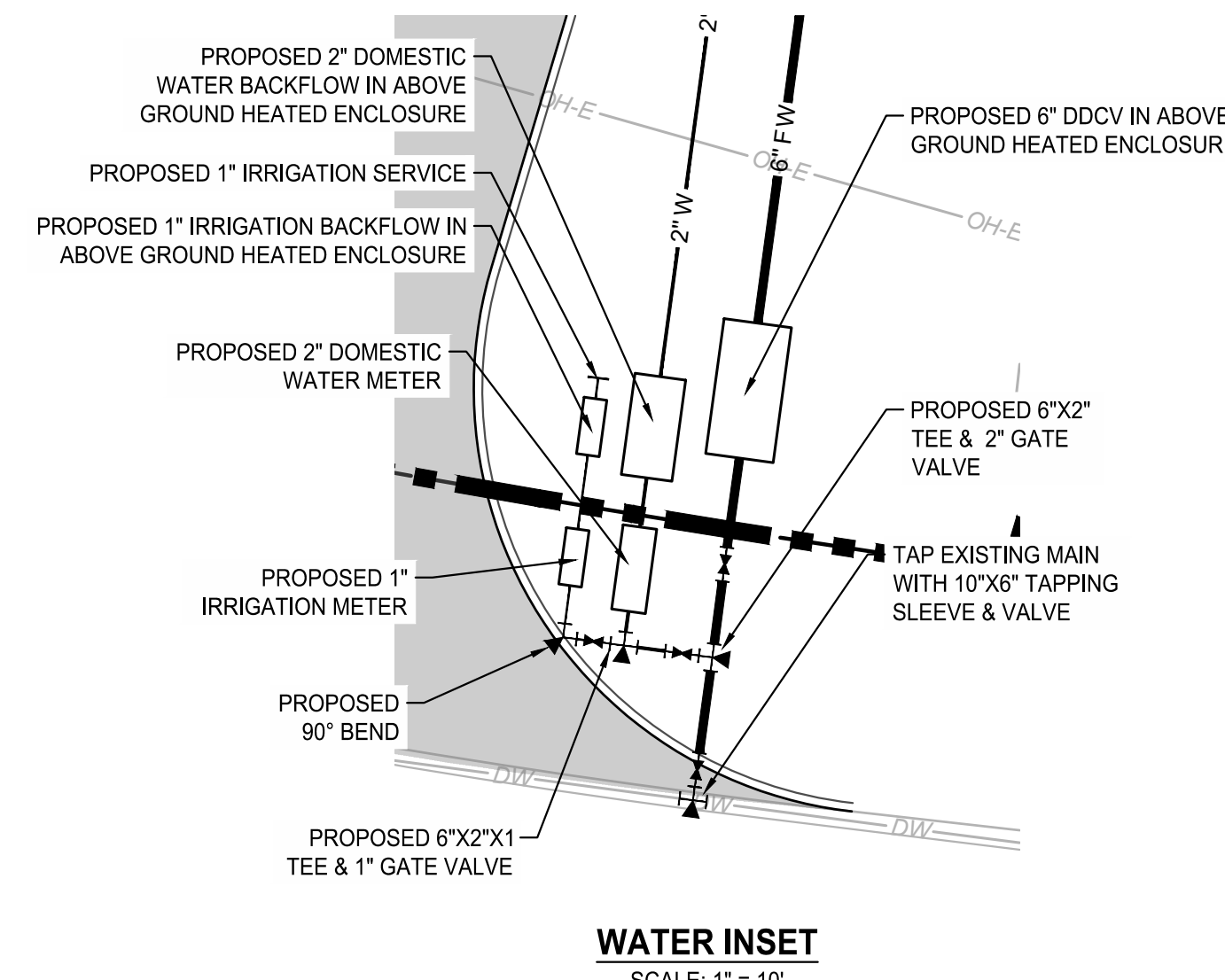
- DW DOMESTIC WATER SERVICE
G GAS SERVICE
SAN SANITARY SEWER SERVICE
OH-E OVERHEAD ELECTRIC SERVICE
OH-T OVERHEAD TELEPHONE SERVICE
UD PERVIOUS PAVEMENT UNDERDRAIN
RD ROOF DRAIN TRUNK LINE
STORM PIPE (SEE PLANS FOR MATERIAL)
562 EXISTING CONTOUR
562 PROPOSED CONTOUR
DRIVEWAY CENTERLINE
PROPERTY LINE
SANITARY SEWER MANHOLE
STORM SEWER MANHOLE
CURB INLET
CATCH BASIN
NYLOPLAST DRAIN BASIN
ELECTRIC/COMMUNICATION POLE
TOP OF CURB SPOT ELEVATION
BOTTOM OF CURB SPOT ELEVATION
RETAINING WALL
TOP OF WALL
FINISHED GRADE AT BOTTOM OF WALL

UTILITY NOTES:

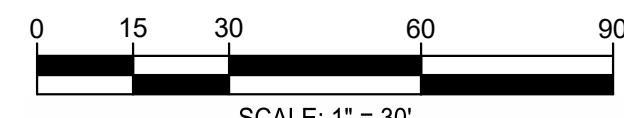
- 1. ALL PIPES UNDER EXISTING PAVED AREAS SHALL BE BACKFILLED TO TOP OF SUBGRADE WITH CRUSHED STONE UNLESS PUBLIC WORKS SPECIFICATIONS REQUIRE FLOWABLE FILL.
2. WHERE SEWER LINES PASS OVER OR WITHIN 2.5' OF WATER MAINS, THE SEWER SHALL BE ENCASED IN CONCRETE.
3. ALL PAVED AREAS SHALL BE CONSTRUCTED TO SUBGRADE AND ALL PROPOSED FILLS SHALL BE MADE AND COMPACTED PRIOR TO CONSTRUCTION OF SANITARY SEWERS.
4. PROPOSED SEWER LINES INSTALLED WITHIN NATURAL EARTH MAY BE SDR 35 PVC. PROPOSED SEWER LINES INSTALLED WITHIN FILL MUST BE DUCTILE IRON PIPE.
5. THE CONTRACTOR IS RESPONSIBLE FOR ALL HORIZONTAL AND VERTICAL BENDS, JOINTS, AND FITTINGS REQUIRED TO CONSTRUCT UTILITIES.
6. THE CONTRACTOR SHALL VERIFY THE EXISTING INVERT ELEVATIONS OF SANITARY SEWERS PRIOR TO CONSTRUCTION.
7. A MINIMUM OF 3' OF GROUND COVER SHALL BE MAINTAINED OVER ALL PROPOSED SANITARY SEWER MAINS.
8. SEE MECHANICAL AND PLUMBING DRAWINGS FOR EXACT LOCATIONS OF SEWER CONNECTIONS, WATER CONNECTIONS, AND GAS CONNECTIONS. THE UTILITY CONTRACTOR IS TO INSTALL PROPOSED UTILITIES TO WITHIN 5' OF THE BUILDING LINE. A LICENSED SPRINKLER CONTRACTOR MUST INSTALL SPRINKLER SYSTEM PIPING FROM POINT OF SERVICE, IF APPLICABLE.
9. ALL UTILITY INSTALLATION IS TO BE DONE IN ACCORDANCE WITH THE LOCAL STANDARDS OR OTHER APPLICABLE CODES.
10. GC SHALL REVIEW DOMINION ENERGY AND STAFFORD COUNTY UTILITIES SPECIFICATIONS PRIOR TO INITIATING WORK.
11. CURRENT SERVICE TO EXISTING STRUCTURES SHALL NOT BE INTERRUPTED WITHOUT ADVANCED WRITTEN PERMISSION FROM THE OWNER.
12. CONTRACTOR SHALL BID AND PERFORM THE WORK IN ACCORDANCE WITH ALL LOCAL, STATE, AND NATIONAL CODES AND THE REQUIREMENTS OF THE LOCAL UTILITY COMPANIES.
13. THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION AND INVERT OF ALL EXISTING UTILITIES AND STORM DRAINAGE. TAKE CARE TO PROTECT UTILITIES THAT ARE TO REMAIN. REPAIR TO CONTRACTOR-CAUSED DAMAGE ACCORDING TO LOCAL STANDARDS AND AT THE CONTRACTOR'S EXPENSE. CONTRACTOR TO COORDINATE ALL CONSTRUCTION WITH THE APPROPRIATE UTILITY COMPANY.



SITE DEVELOPMENT PLANS FOR: STAFFORD FREE-STANDING ER & IMAGING CENTER (CONDITIONAL USE PERMIT & ZONING MAP AMENDMENT) 56 MCWHIRT LOOP FREDERICKSBURG, VIRGINIA 22406



WATER INSET SCALE: 1" = 10'



SURVEY INFO PROVIDED BY: ACCUPOINT SURVEYING & DESIGN DATUM: VIRGINIA NORTH ZONE (NAD83 & NAVD 88)

Table with columns: DATE, DESCRIPTION, and rows for 06/06/2024 STAFFORD COUNTY GDP SUBMITTAL

SITE UTILITY PLAN

C3.0

1361-05 STAFFORD FSER

Section 120.4
Landscaping, Street Trees – NON-RESIDENTIAL

- Variables:
1. Total linear feet of street frontage: 390 feet
2. Linear feet of street frontage used for vehicular access: 30 feet
3. Linear feet of street frontage utilizing IMP: 0 feet
4. Net Linear Feet of Street Frontage: $(\#1^* - \#2^*) - \#3^* = 360$ feet
5. Total Plant Units required: $(\#4 / 100) \times 21 = 75.6$ p.u.
Calculation of Individuals: (percentages are expressed in decimal format)
A. Number of Proposed Large Deciduous Trees: 6 (plants) $\times 10 = 60$ p.u.
B. Number of Proposed Large Evergreen Trees: 0 (plants) $\times 10 = 0$ p.u.
C. Number of Proposed Understory Trees: 3 (plants)
1) Number of Deciduous Understory Trees Required: $(C \times 0.8) = 2.4$ (plants) $\times 7 = 21$ p.u.
2) Number of Evergreen Understory Trees Required: $(C \times 0.2) = 0.6$ (plants) $\times 7 = 0$ p.u.
D. Number of Proposed Large Shrubs: 0 (plants)
1) Number of Deciduous Large Shrubs Required: $(D \times 0.8) = 0$ (plants) $\times 3 = 0$ p.u.
2) Number of Evergreen Large Shrubs Required: $(D \times 0.2) = 0$ (plants) $\times 3 = 0$ p.u.
E. Number of Proposed Small Shrubs/Ornamental Grasses: 0 (plants)
1) Number of Deciduous Small Shrubs/Ornamental Grasses Required: $(E \times 0.8) = 0$ (plants) $= 0$ p.u.
2) Number of Evergreen Small Shrubs Required: $(E \times 0.2) = 0$ (plants) $= 0$ p.u.
F. Total Plant Units proposed: 81 p.u.

Section 120.1

- Parking Lot, Interior
Variables:
1. Total square footage of parking lot: 24,725sq. feet
2. Minimum planting area required: $(\#1^* \times 0.05) = 1,236$ sq. feet
3. Additional square footage required to meet landscape island spacing/placement: 0 sq. feet
4. Amount of planting area utilizing IMP: 2,266 sq. feet
5. Total Planting Area required: $(\#2 + \#3^*) - \#4^* = 1,030$ sq. feet
6. Total Plant Units required: $(\#5 / 150) \times 12 = 82$ p.u.
6a. Total Trees required: $(\#5 / 150) = 7$ trees (minimum 1 tree/ 150 sq. ft. planting area)
Calculation of Individuals: (percentages are expressed in decimal format)
A. Number of Proposed Large Deciduous Trees: 7 (plants) $\times 10 = 70$ p.u.
B. Number of Proposed Large Evergreen Trees: 0 (plants) $\times 10 = 0$ p.u.
C. Number of Proposed Understory Trees: 0 (plants)
1) Number of Deciduous Understory Trees Required: $(C \times 0.8) = 0$ (plants) $\times 7 = 0$ p.u.
2) Number of Evergreen Understory Trees Required: $(C \times 0.2) = 0$ (plants) $\times 7 = 0$ p.u.
D. Number of Proposed Large Shrubs: 0 (plants)
1) Number of Deciduous Large Shrubs Required: $(D \times 0.8) = 0$ (plants) $\times 3 = 0$ p.u.
2) Number of Evergreen Large Shrubs Required: $(D \times 0.2) = 0$ (plants) $\times 3 = 0$ p.u.
E. Number of Proposed Small Shrubs/Ornamental Grasses: 12 (plants)
1) Number of Deciduous Small Shrubs/Ornamental Grasses Required: $(E \times 0.8) = 12$ (plants) $= 12$ p.u.
2) Number of Evergreen Small Shrubs Required: $(E \times 0.2) = 0$ (plants) $= 0$ p.u.
F. Total Plant Units proposed: 82 p.u.

Section 120.2

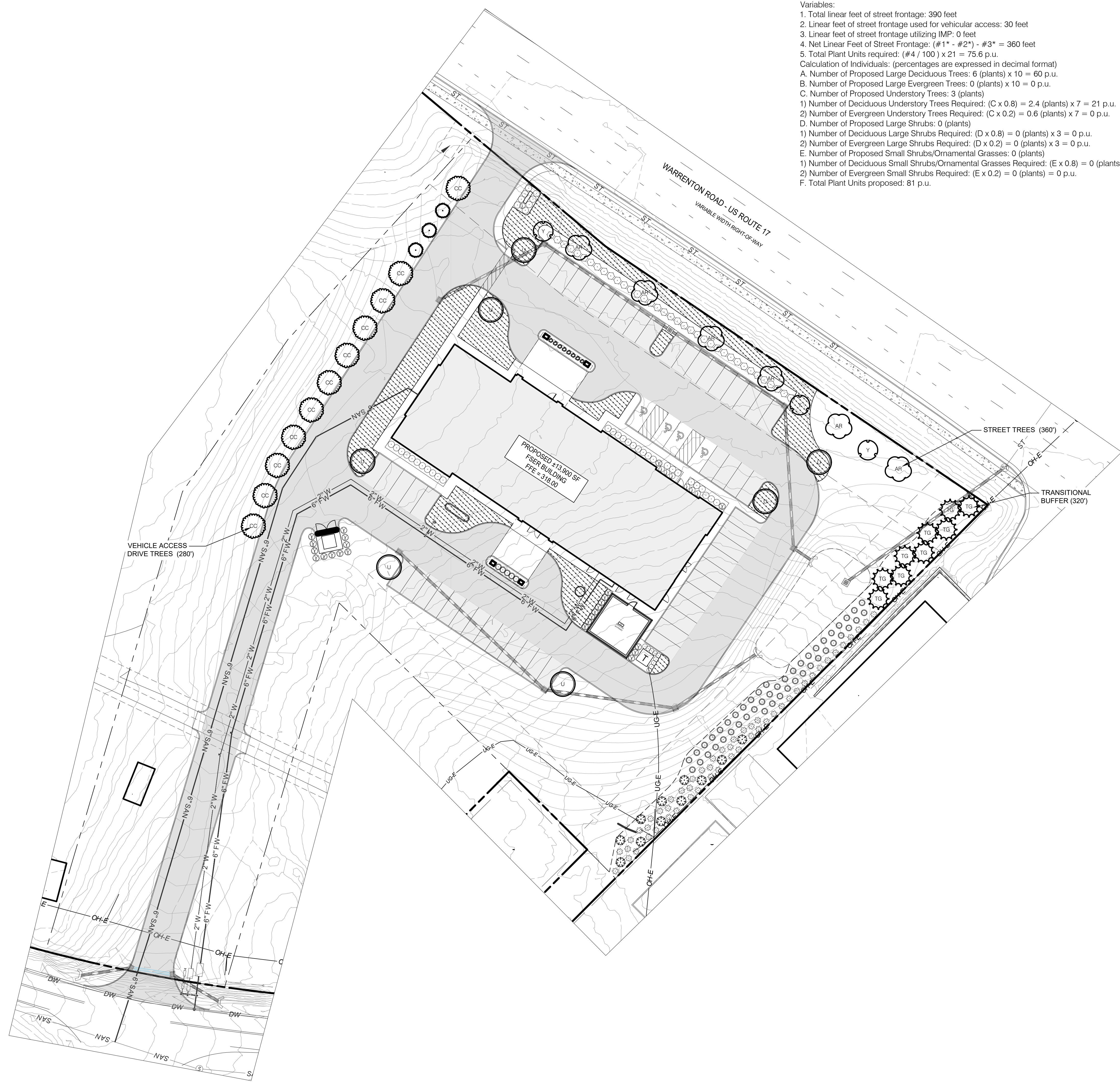
- Parking Lot, Perimeter
Variables:
1. Total linear feet of parking lot perimeter: 944 feet
2. Linear feet of parking lot perimeter used for vehicular access: 644 feet
3. Linear feet of parking lot perimeter utilizing IMP: 0 feet
4. Net Linear Feet of Parking Lot Perimeter: $(\#1^* - \#2^*) - \#3^* = 300$ feet
5. Total Plant Units required: $(\#4 / 100) \times 35 = 105$ p.u.
Calculation of Individuals: (percentages are expressed in decimal format)
A. Number of Proposed Large Deciduous Trees: 0 (plants) $\times 10 = 0$ p.u.
B. Number of Proposed Large Evergreen Trees: 0 (plants) $\times 10 = 0$ p.u.
C. Number of Proposed Understory Trees: 0 (plants)
1) Number of Deciduous Understory Trees Required: $(C \times 0.8) = 0$ (plants) $\times 7 = 0$ p.u.
2) Number of Evergreen Understory Trees Required: $(C \times 0.2) = 0$ (plants) $\times 7 = 0$ p.u.
D. Number of Proposed Large Shrubs: 37 (plants)
1) Number of Deciduous Large Shrubs Required: $(D \times 0.8) = 29$ (plants) $\times 3 = 87$ p.u.
2) Number of Evergreen Large Shrubs Required: $(D \times 0.2) = 8$ (plants) $\times 3 = 24$ p.u.
E. Number of Proposed Small Shrubs/Ornamental Grasses: 0 (plants)
1) Number of Deciduous Small Shrubs/Ornamental Grasses Required: $(E \times 0.8) = 0$ (plants) $= 0$ p.u.
2) Number of Evergreen Small Shrubs Required: $(E \times 0.2) = 0$ (plants) $= 0$ p.u.
F. Total Plant Units proposed: 111 p.u.

Section 120.3

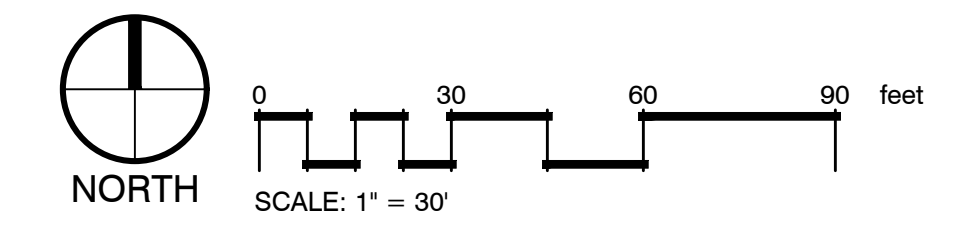
- Parking Lot, Vehicle Access Drive
Variables:
1. Total linear feet of vehicle access drive between buffer yard and parking lot: 280 feet (both sides)
2. Linear feet of vehicle access drive utilizing IMP: 0 feet
3. Net Linear Feet of Vehicle Access Drive: $(\#1^* - \#2^*) = 280$ feet
4. Total Plant Units required: $(\#3 / 100) \times 35 = 98$ p.u.
Calculation of Individuals: (percentages are expressed in decimal format)
A. Number of Proposed Large Deciduous Trees: 0 (plants) $\times 10 = 0$ p.u.
B. Number of Proposed Large Evergreen Trees: 0 (plants) $\times 10 = 0$ p.u.
C. Number of Proposed Understory Trees: 14 (plants)
1) Number of Deciduous Understory Trees Required: $(C \times 0.8) = 11.2$ (plants) $\times 7 = 78.4$ p.u.
2) Number of Evergreen Understory Trees Required: $(C \times 0.2) = 2.8$ (plants) $\times 7 = 19.6$ p.u.
D. Number of Proposed Large Shrubs: 0 (plants)
1) Number of Deciduous Large Shrubs Required: $(D \times 0.8) = 0$ (plants) $\times 3 = 0$ p.u.
2) Number of Evergreen Large Shrubs Required: $(D \times 0.2) = 0$ (plants) $\times 3 = 0$ p.u.
E. Number of Proposed Small Shrubs/Ornamental Grasses: 0 (plants)
1) Number of Deciduous Small Shrubs/Ornamental Grasses Required: $(E \times 0.8) = 0$ (plants) $= 0$ p.u.
2) Number of Evergreen Small Shrubs Required: $(E \times 0.2) = 0$ (plants) $= 0$ p.u.
F. Total Plant Units proposed: 98 p.u.

Section 110.3

- Transitional Buffers
1. Proposed Use per Table 2: Number: 8 Use: MEDICAL
2. Adjacent property which requires a Transitional Buffer: S E
3. Adjacent property use per Table 2: Number: 10 Use: AUTO REPAIR
4. Transitional Buffer required per Table 2: B
5. Linear feet of buffer yard required along property line: 320 feet
6. Plant units required: 115 p.u. / 100 linear feet.
7. Plant units required within entire buffer yard: $(\#5^* \times \#6^*) / 100 = 368$ p.u.
7a. Sec. 110.0 h. – Optional plant unit reduction with 5 ft berm/8 ft wall: $(\#7 / 2) = 0$ p.u.
7b. Sec. 110.0 j. – Optional plant unit reduction with 6 ft fence: $(\#7 / 2) = 0$ p.u.
8. Existing plant units receiving credit per Sec. 140: 0 p.u.
9. Total Plant Units required in buffer yard: $(\#7, \#7A, \text{ or } \#7B) - \#8 = 368$ p.u.
10. Proposed percentage of large evergreen trees (minimum 20%) = X% or 73.6 p.u.
11. Proposed percentage of understory evergreen trees (minimum 20%) = X% or 73.6 p.u.
12. Proposed percentage of evergreen shrubs (minimum 25%) = X% or 92 p.u.
Calculation of Individuals Required: (percentages are expressed in decimal format)
A. Large Deciduous Tree: $(1 - \#10^*) \times (0.5 \times \#9^*) = 0$ p.u.
B. Large Evergreen Tree: $\#10^* \times (0.5 \times \#9^*) = 90$ p.u.
C. Deciduous Understory Tree: $(1 - \#11^*) \times (0.3 \times \#9^*) = 0$ p.u.
D. Evergreen Understory Tree: $\#11^* \times (0.3 \times \#9^*) = 77$ p.u.
E. Deciduous Large Shrub: $(1 - \#12^*) \times (0.1 \times \#9^*) = 0$ p.u.
F. Evergreen Large Shrub: $\#12^* \times (0.1 \times \#9^*) = 51$ p.u.
G. Deciduous Small Shrub/Ornamental Grass: $(1 - \#12^*) \times (0.1 \times \#9^*) = 0$ p.u.
H. Evergreen Small Shrub: $\#12^* \times (0.1 \times \#9^*) = 0$ p.u.
I. Total Plant Units proposed: 368 p.u.



SEE SHEET L1.1 FOR
PLANT SCHEDULE,
NOTES AND DETAILS



LANDSCAPING SPECIFICATIONS:

- 1. ALL TOPSOIL SHALL BE A MINIMUM 4" IN ALL SOD AREAS AND 10" - 12" IN TREE, SHRUB AND GROUND COVER BEDS.
2. PLANTING BEHIND PERPENDICULAR PARKING IS TO BE LOCATED A MINIMUM OF 2' BEHIND THE CURB LINE.
3. ALL LANDSCAPE AND GRASS AREAS ARE TO BE HAND RAKED AND LEFT CLEAR OF ALL STONES, ROCK, CONSTRUCTION DEBRIS AND ANY UNSUITABLE SOIL.
4. LANDSCAPE CONTRACTOR WILL LOCATE ALL UNDERGROUND UTILITIES PRIOR TO ANY EXCAVATION AND PLANTING INSTALLATION.
5. LANDSCAPED AREAS SPECIFIED FOR MULCH MUST BE TREATED WITH A PRE-EMERGENCE HERBICIDE (SURFLAN, DACTAL OR APPROVED EQUAL) IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE REGULATIONS AND THE MANUFACTURER'S INSTRUCTIONS.
6. HARROW OR PINE STRAW MULCH BEDS ARE TO BE DELINEATED WITH HAND OR MACHINE DUG SHOVEL EDGING.
7. STONE MULCH BEDS ARE TO BE DELINEATED WITH 1/2" PLASTIC LANDSCAPE EDGING, STAKED AT 9' INTERVALS. FOLLOW MANUFACTURERS INSTALLATION DIRECTIONS.
8. LANDSCAPE CONTRACTOR TO SUPPLY AND INSTALL A PERVIOUS WEED BARRIER (DEWITT, DUPONT OR APPROVED EQUAL) IN ACCORDANCE WITH MANUFACTURERS INSTRUCTIONS WITHIN ALL MULCH BEDS.
9. ALL PROPOSED LANDSCAPING TO BE NURSERY GROWN, TYPICAL OF THEIR SPECIES OR VARIETY. THEY ARE TO HAVE NORMAL VIGOROUS ROOT SYSTEMS, FREE FROM DEFECTS AND INFECTIONS AND IN ACCORDANCE WITH ANSI Z60.1
10. ALL PROPOSED PLANTINGS SHOULD BE INSTALLED PER STANDARDS OF THE "AMERICAN ASSOCIATION OF NURSERYMEN" AND STATE NURSERY/ LANDSCAPE ASSOCIATIONS WITH REGARD TO PLANTING, PIT SIZE, AND BACKFILL MIXTURE.
11. ALL PLANTING CONTAINERS AND BASKETS SHALL BE REMOVED DURING PLANTING. ALL PLANTS SHALL BE SET PLUMB AND POSITIONED SO THAT THE TOP OF THE ROOT COLLAR MATCHES OR IS NO MORE THAN TWO (2") INCHES ABOVE, FINISHED GRADE. REPLACE AMENDED BACKFILL IN 6-INCH LAYERS AND COMPACT BACKFILL TO ELIMINATE VOIDS. CONTRACTOR SHALL PROVIDE A FOUR INCH HIGH EARTHEN WATERING SAUCER ALONG THE PERIMETER OF EACH PLANTING PIT. CONTRACTOR SHALL WATER NEWLY PLANTED VEGETATION PRIOR TO MULCHING PLANTING PIT. ALL VOIDS SHALL BE FILLED AND SETTUNG MITIGATED AS REQUIRED.
12. AFTER INITIAL WATERING AND PRIOR TO MULCHING, CONTRACTOR SHALL APPLY HERBICIDES AND PRE-EMERGENT HERBICIDES AS REQUIRED TO ELIMINATE ANY WEED SEEDS OR PLANTS PRESENT ON ROOT BALL.
13. ALL PLANTING BEDS AND PITS SHALL BE MULCH AT A MINIMUM DEPTH OF 3"
14. TURF SPECIFICATION AND SEEDBED PREPARATION
A. UNLESS REQUIRED FOR PARTICULAR BMP AREAS, ALL TURF PREMISES IS TO BE SOD. WHEN REQUIRED FOR BMPs, SEED MIX IS TO MEET LOCAL REQUIREMENTS. SOD SHALL BE TURF TYPE
TALL FESCUE AND INSTALLED ON A MINIMUM OF 4" OF TOPSOIL.
B. LIME/STONE AND FERTILIZER ACCORDING TO SOIL TESTS OR FERTILIZER MAY BE APPLIED AT THE RATE OF 260 POUNDS PER ACRE OR 6 POUNDS PER 1000 SQUARE FEET USING 10-20-10 OR EQUIVALENT. IN ADDITION, 300 POUNDS 4-1-2 PER ACRE OR EQUIVALENT OF SLOW-RELEASE NITROGEN MAY BE USED IN LIEU OF TOPDRESSING.
C. WORK LIME AND FERTILIZER INTO THE SOIL AS PRACTICAL TO A DEPTH OF 4-INCHES WITH A DISC, SPRING TOOTH HARROW OR OTHER SUITABLE EQUIPMENT. THE FINAL HARROWING OR DISKING OPERATION SHOULD PARALLEL TO THE GENERAL CONTOUR. CONTINUE TILLAGE UNTIL A REASONABLE UNIFORM, FINE SEEDBED IS PREPARED. ALL BUT CLAY OR SILTY SOILS AND COARSE SANDS SHOULD BE ROLLED TO FIRM THE SEEDBED WHEREVER FEASIBLE.
D. INSPECT SEEDBED JUST BEFORE SEEDING. IF TRAFFIC HAS LEFT THE SOIL COMPACTED, THE AREA MUST BE RETILLED AND FIRMED AS OUTLINED BELOW.
15. SOD TO BE DELIVERED FRESH (CUT LESS THAN 24 HOURS PRIOR TO ARRIVING ON SITE), LAID IMMEDIATELY, ROLLED, AND WATERED THOROUGHLY IMMEDIATELY AFTER PLANTING. EDGE OF SOD ADJACENT TO MULCH BEDS TO BE SHOVEL CUT. ALL SOD TO BE DELIVERED IN LARGEST ROLLS AVAILABLE. THERE SHALL BE NO GAPS BETWEEN SOD JOINTS. LAWNS SHALL BE SEED BY HYDROSEEDING METHOD; APPLICATION FERTILIZER SHALL BE PLACED AT A MINIMUM OF 80 POUNDS PER ACRE, HYDROMULCH AT 1200 POUNDS PER ACRE, WATER AT 500 GALLONS PER ACRE AND SEED AT A MINIMUM OF 220 POUNDS PER ACRE. SLOPE PROTECTION SHALL BE PROVIDED IN SEEDBED AREAS WITH SLOPES THREE (3) FEET HORIZONTAL TO ONE (1) FOOT VERTICAL (I.E. 3H:1V) OR GREATER.
16. THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL PLANTS INSTALLED FOR ONE FULL YEAR FROM DATE OF ACCEPTANCE. ALL PLANTS SHALL BE ALIVE AND AT A VIGOROUS RATE OF GROWTH AT THE END OF THE GUARANTEE PERIOD. THE LANDSCAPE CONTRACTOR SHALL NOT BE RESPONSIBLE FOR ACTS OF GOD OR VANDALISM.
17. ANY PLANT THAT IS DETERMINED DEAD, IN AN UNHEALTHY OR UNSIGHTLY CONDITION, LOST ITS SHAPE DUE TO DEAD BRANCHES OR OTHER SYMPTOMS OF POOR, NON-VIGOROUS GROWTH, AS DETERMINED BY THE OWNERS REP. SHALL BE REPLACED BY THE LANDSCAPE CONTRACTOR AT NO COST TO OWNER. WATER ALL PLANT MATERIAL THAT ARE NEWLY PLANTED THOROUGHLY TWICE IN FIRST 24 HOURS AND APPLY MULCH IMMEDIATELY.
18. ALL TREES AND SHRUBS SHALL BE COORDINATED WITH LIGHTING PLAN PRIOR TO INSTALLATION.
19. UTILITY STRUCTURE, LIGHT POLES, SIGN, OR OTHER FEATURE MAY NOT BE ADDED TO ANY REQUIRED LANDSCAPE ISLAND IN SUCH A MANNER THAT WOULD DISPLACE THE REQUIRED ELEMENT(S) (TREES, SHRUBS, ETC.)
TO AVOID OVERHEAD UTILITY CONFLICTS:
In the event proposed canopy trees are in conflict (within 25') with proposed or existing overhead utility locations, the landscape contractor shall stop work and contact Heibert + Ball Land Design immediately for coordination and field adjustment.
TO AVOID OVERHEAD LIGHT POLE CONFLICTS:
In the event proposed canopy trees are in conflict (within 15') with proposed or existing light pole locations, the landscape contractor shall stop work and contact Heibert + Ball Land Design immediately for coordination and field adjustment

PLANTING NOTES:
1. Refer to all written specifications; adhere to Plans and Specifications for all phases of work.
2. Verify all utility locations in the field before work begins. Repair damaged utilities to owners satisfaction at no additional cost.
3. Verify all material quantities on the drawing during bidding and pricing. In the event of a discrepancy, the quantities drawn on the plan will take precedence over the material schedule.
4. All materials are subject to the approval of the Landscape Architect, City, and Owner.
5. Once unloaded from truck, immediately stand all trees up. DO NOT lie the trees down. This will reduce the risk of sunscald.
6. Plants shall meet specifications. Root balls shall meet or exceed size standards as set forth by 'American Standards for Nursery Stock'. Main leaders of all trees shall remain intact.
7. Mulch plant pits and planting beds with specified mulch to the depth indicated on drawings.
8. Prepare all topsoil used in tree, shrub, and seed mixes in accordance with the specifications
9. Discard any material which turns brown or delimitates within 5 days after planting. Replace immediately with approved specified material at no additional cost.
10. Maintain all plant material and lawns until project is accepted in full by the City.
11. Guarantee all workmanship and materials for a period of 1 calendar year.
12. Install all plant material in accordance with all local codes and ordinances. Obtain any required permits necessary to complete the work.
13. Trees shall be first quality representatives of their species and shall meet all requirements otherwise stipulated. The Landscape Architect reserves the right to reject plant materials in the field, at the growing location, or at the job site at any time during the project.
14. Test all tree pits for drainage. Any tree pit that holds water for more than 24 hours shall be installed using filter fabric wrapped perforated drainage tube (sloped to low point) and a washed pea gravel pit well drain
15. Trees are not to be planted within 5' of any water or sewer lines

PLANT STANDARDS

The standards set forth in "American Standard for Nursery Stock" represent general guideline specifications only and will constitute minimum quality requirements for plant material. All plants must meet minimum size noted at the materials schedule. And meet the characteristics stated on this drawing. All material installed on the site MUST meet or exceed these specifications. Any trees or shrubs not meeting these standards can be rejected at time of inspection.

TREE SPECIFICATIONS: ALL TREES SHALL HAVE THE FOLLOWING CHARACTERISTICS:

- 1. Deciduous trees shall have one dominant single straight trunk with the tip of the leader on the main trunk left intact and the terminal bud on the central leader as at the highest point on the tree.
2. Trees with forked trunks are acceptable if all the following conditions are met:
a. The fork occurs in the upper 1/3 of the tree.
b. One fork is less than 2/3 the diameter of the dominant fork.
c. The top 1/3 of the smaller fork is removed at the point of planting.
3. No branch is greater than 2/3 the diameter of the trunk directly above the branch.
4. The trunk and/or major branches shall not touch
5. Several branches are larger in diameter and obviously more dominant.
6. Branching habit is more horizontal than vertical, and no branches are oriented nearly vertical to the trunk.
7. Branches are evenly distributed around the trunk with no more than one major branch located directly above another and the crown is full of foliage evenly distributed around the tree
8. Crown spread shall look proportional to the tree.
9. NO flush cuts or open trunk wounds or other bark injury
10. Root ball meets all ANSI standards and is appropriately sized
DEFICIENCIES NOT ACCEPTED:
1. Tip dieback on 5% of branches
2. Crown thin/irregularly foliated
3. Included bark
4. Major Branches touching
5. Asymmetrical branching

SUBSTITUTION NOTE:

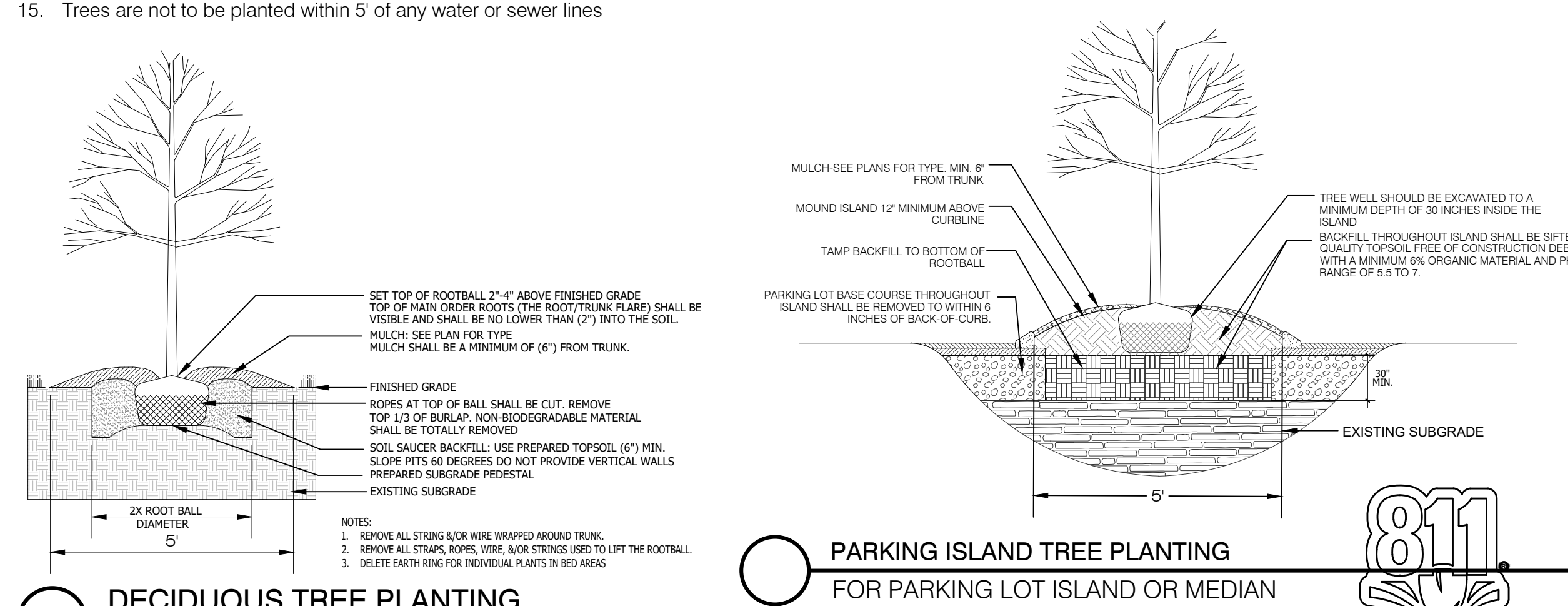
- 1. Requirements shown are per the City Zoning Ordinance. Substitutions are not allowed unless approved by the City and Heibert + Ball Land Design

CITY NOTES:

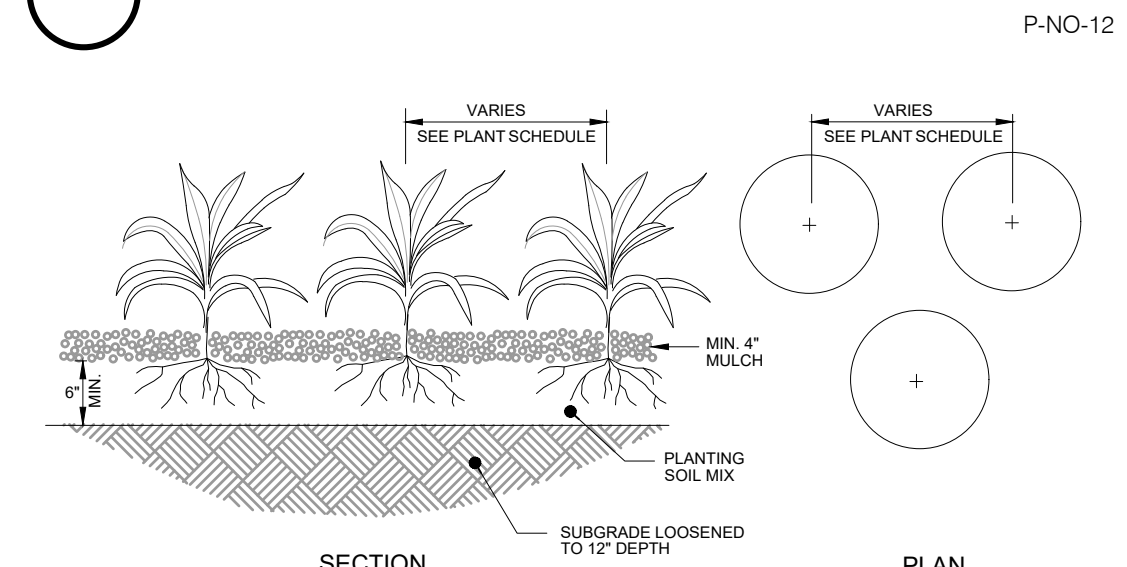
- 1) Contractor shall furnish and install all plants as shown on the approved landscape plan, in accordance with the type, sizes, quantities, and specifications listed in the plant schedule.
2) Total number of plants shall be drawn on the landscape plan. If the actual total is different from the approved landscape plan, the Contractor shall notify the Owner and/or Owners Representative and approved by The County.
3) All plants shall be nursery grown and shall be hardy under climate conditions in the locality of the project.
4) Plant dimensions shall be in accordance with the most recent edition of the Standardized Landscape Specifications for the Commonwealth of Virginia, which references the American Standard for Nursery Stock (ASNS).
5) Balled and burlapped plants shall be dug with firm, natural balls of earth and shall be pruned, stored, and dug in accordance with current ASNS standards. No balled and burlapped plants shall be planted if the ball is either cracked or broken during the process of planting.
6) All plants shall have a normal habit of growth and shall be sound, healthy, vigorous, well rooted, and free from disease and insect infestation. Any tree with weak, thin trunks not capable of supporting itself will not be acceptable. The minimum acceptable size of all plants measured before pruning with the branches in normal position shall conform to dimensions as shown on the approved landscape plan. Larger plants of equal quality may be accepted at no additional cost to the Owner.
7) Substitution of plants shall not be permitted unless authorized by the Owner and/or Owner's Representative and approved by the County.
8) The Contractor shall lay out, with identifiable stakes, the location of all trees, outlines of planting beds, and underground utilities as indicated on the approved landscape plan. In the event that rock, utility lines, or any underground obstructions are encountered during these operations, or in the excavation of any plant pits, alternate locations may be selected by the Owner and/or Owner's Representative and approved by County with no additional cost to the Owner.
9) Planting soil shall be amended with soil conditioner.
10) Mulch shall be applied immediately after planting operations. Mulch shall be hardwood pine bark, free of debris, weeds, spores or other foreign material, well rotted and of such character as to not be easily removed by the elements.
11) Prior to installation, the Contractor shall notify the Owner and/or Owners Representative of all soil or drainage conditions that are detrimental to the growth of plants. The Contractor shall state the conditions and submit a proposal, in writing, correcting the conditions, including any change in cost, for review and acceptance by the Owner.
12) A container grown plant shall be defined as a plant transplanted into a container and grown in that container sufficiently long for the new fibrous roots to have developed so that the container mass will retain its shape and hold together when removed from the container. All container grown plants shall be sound, healthy, vigorous, well rooted, free from disease and insect infestation, and established in the container in which they are sold. They shall have tops that are of good quality and are in healthy condition. No root bound container grown plants will be permitted. No container grown plant shall be planted if the root mass is broken either before or during the process of planting.
13) All plant pits shall be circular in outline. All excavations shall have vertical sides. The depths and widths for excavation of plant pits shall be the depths and widths as specified in the landscape plan. Loosen subgrade 6" below bottom of the pit. Subgrade soils shall be separated from the upper topsoil portions and removed immediately wherever encountered during planting operations. Excess soils shall be removed and legally disposed.
14) In general, set plants at same relation to finished grade as the bore to the ground from which they were dug. Prepare planting pits as specified and as shown on the landscape plan, prior to inserting plants. Use topsoil mixture to backfill approximately 2/3 full. Water thoroughly before installing remainder of the soil to the top of the pit. Set trees plumb and brace rigidly in position until the planting soil has been tamped solidly around the ball and the roots.
15) Guying and staking shall be required for all trees in accordance with the landscape plan and must be completed within 24 hours after planting.
16) Maintenance of new plants shall consist of pruning, watering, cultivating, weeding, mulching, lightening, and resetting plants to proper grades or upright position. Restoration of the planting saucer and furnishing and applying such sprays are necessary to keep the plant free from disease and insect infestation. Maintenance shall be provided until time of provisional acceptance.
17) Plantings and planting areas shall be protected at all times against trespassing and damage of any kind for the duration of the maintenance period. If any plants become damaged, they shall be treated or replaced by the Contractor at no additional cost to the Owner. No work shall be done within, adjacent to, or over any plant or planting area without proper safeguards and protection.
18) All plants shall be guaranteed by the Contractor for a period of one year from the date of provisional acceptance. The Contractor shall provide, in writing, specific maintenance recommendations to the Owner for all plants to remain in good, healthy, and flourishing condition.
19) For plants that have been properly maintained by the Owner during the one-year guarantee period, the Contractor shall replace, without cost to the Owner, all dead or severely damaged plants as determined by a certified agent. The replacement plants shall be sound, healthy, vigorous, well rooted, free from disease and insect infestation, and shall closely match surrounding plants of the same size and species. Requirements shall be subject to all requirements stated in this specification.
20) The guarantee of all replacement plants shall extend for an additional period of one year from the date of their acceptance after replacement. In the event that a replacement is not acceptable during or at the end of the said extended guarantee period, the Owner may elect a substitution or a credit for each item.
21) No plants shall impede the sight distance for ingress & egress to the site.
22) Performance bond may be required by Stafford County [Ord. 28-86(C)(5)].

PLANT SCHEDULE

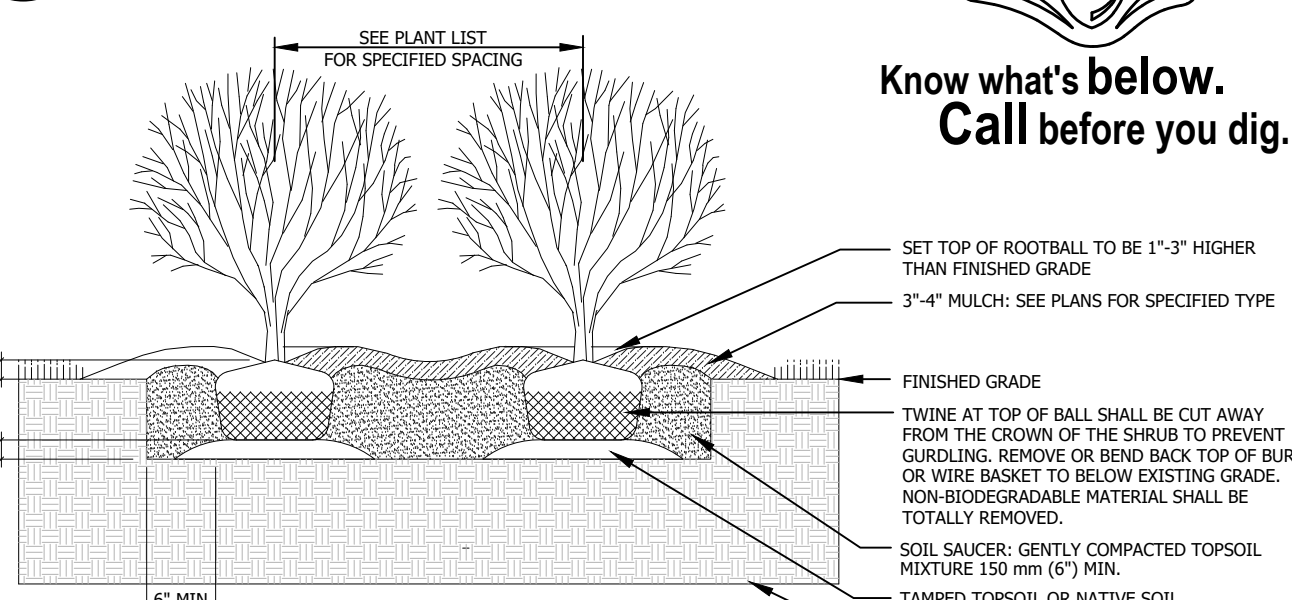
Table with columns: SYMBOL, QTY, COMMON / BOTANICAL NAME, CONT, CAL, SIZE. Rows include BUFFER TREES, INTERIOR TREES, STREET TREES, VEHICLE ACCESS DRIVE TREES, SHRUBS, FOUNDATION SHRUBS, GRASSES, and GROUND COVERS.



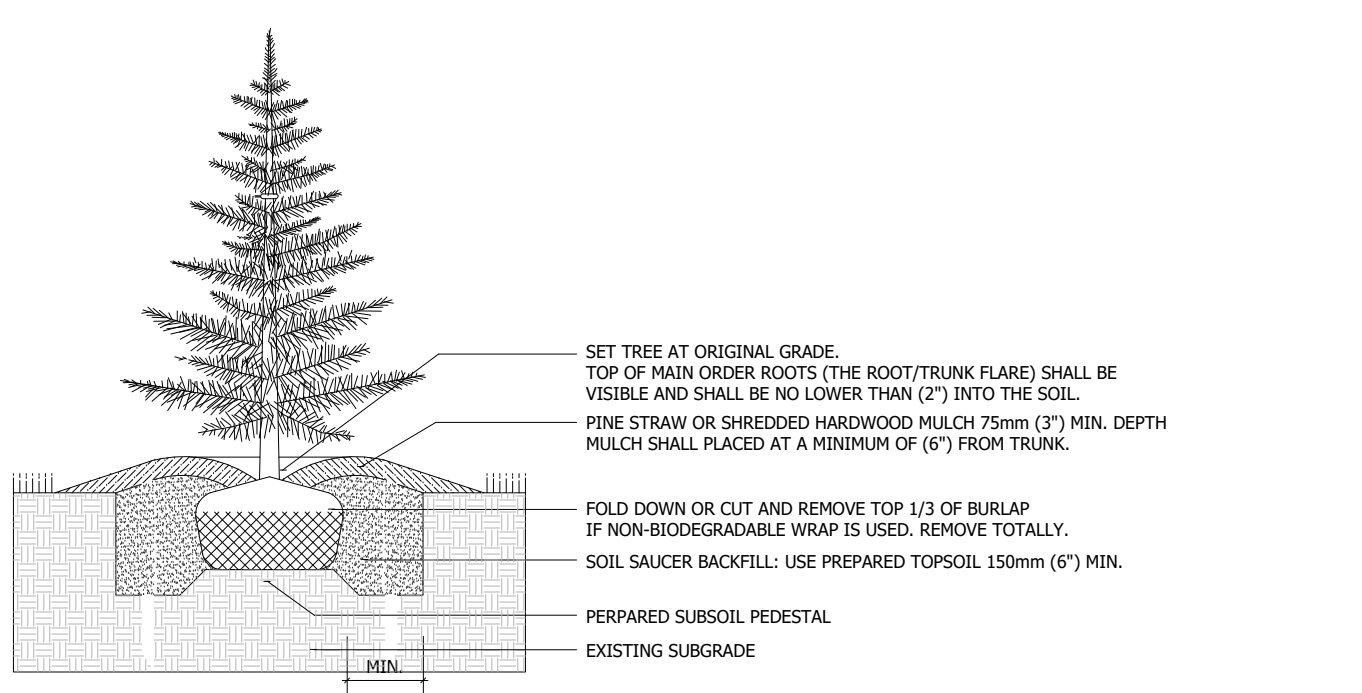
DECIDUOUS TREE PLANTING P-NO-12



GROUND COVER PLANTINGS GROUND COVER, GRASSES, AND PERENNIALS



SHRUB BED PLANTING



EVERGREEN TREE PLANTING



JOB # - 24181 BY: cb

6/4/2024 3:20:23 PM
THIS DRAWING IS THE PROPERTY OF HEREFORD DOOLEY ARCHITECTS. IT IS NOT TO BE REPRODUCED IN WHOLE OR IN PART. IT IS NOT TO BE USED ON ANY OTHER PROJECT. IT SHALL BE RETURNED UPON REQUEST. COPYRIGHT AS DATED HEREFORD DOOLEY ARCHITECTS. NOT VALID UNLESS SIGNED AND SEALED.



EXTERIOR PERSPECTIVE 01
EMERGENCY DROP-OFF CANOPY



EXTERIOR PERSPECTIVE 02
EXTERIOR ACCESS TO MEDICAL GAS STORAGE,
VACUUM PUMP ROOM, AND GENERATOR ENCLOSURE



HEREFORD · DOOLEY
ARCHITECTS

205 17TH AVE NORTH · SUITE 203
NASHVILLE · TENNESSEE · 37203
P · 615 · 244 · 7399
F · 615 · 244 · 6697
WWW.HDARCHITECTS.COM

PROJECT # **224013.00**
CLIENT #123456789

STAFFORD EMERGENCY

56 MCWHIRT LOOP, FREDERICKSBURG, VIRGINIA 22406

HCA VIRGINIA RESTON HOSPITAL CENTER
1850 TOWN CENTER PARKWAY, RESTON, VIRGINIA 20190

STATUS **PLANNING**

AHCA #12/345678-900

William E. Hereford, III
AR # 0401013279

06/04/2024

DATES OF ISSUANCE

TITLE **EXTERIOR PERSPECTIVES**

SHEET **A003**

6/4/2024 3:20:49 PM
THIS DRAWING IS THE PROPERTY OF HEREFORD DOOLEY ARCHITECTS. IT IS NOT TO BE REPRODUCED IN WHOLE OR IN PART. IT IS NOT TO BE USED ON ANY OTHER PROJECT. IT SHALL BE RETURNED UPON REQUEST. COPYRIGHT AS DATED HEREFORD DOOLEY ARCHITECTS. NOT VALID UNLESS SIGNED AND SEALED.



EXTERIOR PERSPECTIVE 03
AMBULANCE DROP-OFF CANOPY



EXTERIOR PERSPECTIVE 04
EMERGENCY DROP-OFF CANOPY & IMAGING SUITE
ENTRANCE



HEREFORD · DOOLEY
ARCHITECTS

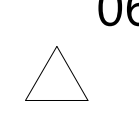
205 17TH AVE NORTH · SUITE 203
NASHVILLE · TENNESSEE · 37203
P · 615 · 244 · 7399
F · 615 · 244 · 6697
WWW.HDARCHITECTS.COM

PROJECT # **224013.00**
CLIENT #123456789

STAFFORD EMERGENCY
56 MCWHIRT LOOP, FREDERICKSBURG, VIRGINIA 22406
HCA VIRGINIA RESTON HOSPITAL CENTER
1850 TOWN CENTER PARKWAY, RESTON, VIRGINIA 20190

STATUS
PLANNING
AHCA #12/345678-900

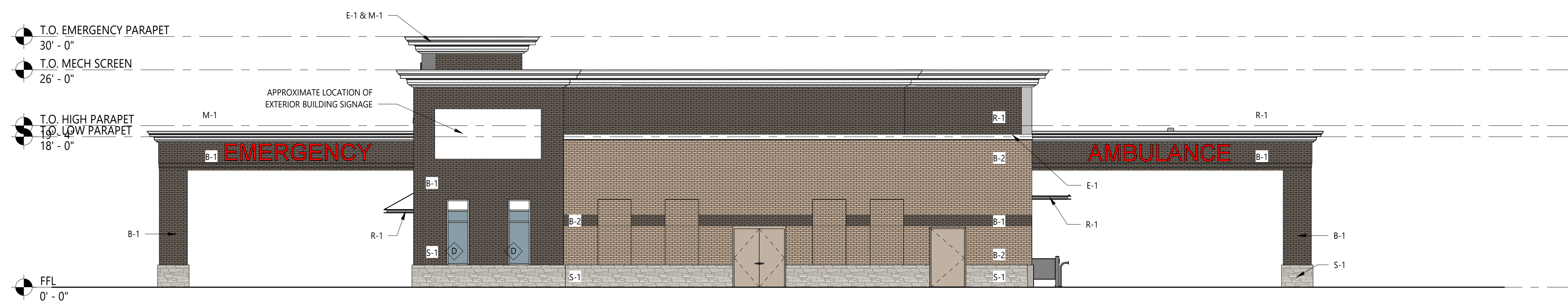
William E. Hereford, III
AR # 0401013279
06/04/2024



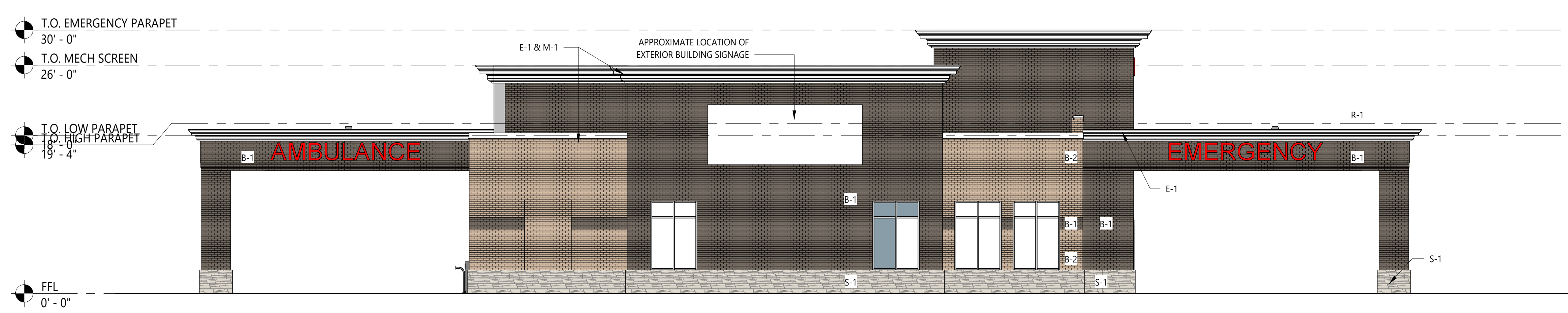
TITLE
**EXTERIOR
PERSPECTIVES**

SHEET
A004

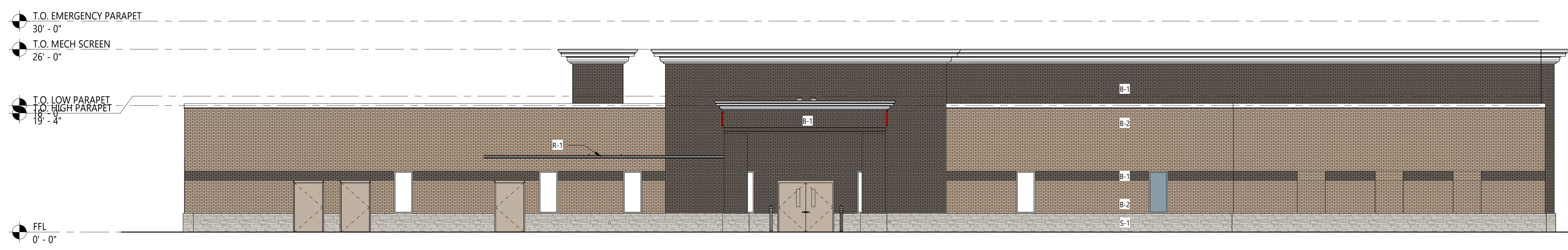
6/4/2024 3:15:30 PM THIS DRAWING IS THE PROPERTY OF HEREFORD DOOLEY ARCHITECTS. IT IS NOT TO BE REPRODUCED IN WHOLE OR IN PART. IT SHALL BE RETURNED UPON REQUEST. COPYRIGHT AS DATED HEREFORD DOOLEY ARCHITECTS. NOT VALID UNLESS SIGNED AND SEALED.



6 EXTERIOR ELEVATION - EAST
SCALE: 1/8" = 1'-0"



5 EXTERIOR ELEVATION - WEST
SCALE: 1/8" = 1'-0"



3 EXTERIOR ELEVATION - SOUTH
SCALE: 1/8" = 1'-0"



1 EXTERIOR ELEVATION - NORTH
SCALE: 1/8" = 1'-0"

ELEVATION LEGEND		
PATTERN & MARKER	PRODUCT	COLOR / FINISH
	BRICK VENEER	EQUAL TO PALMETTO BRICK COMPANY - WALNUT; GROUT EQUAL TO CANYON BROWN
	BRICK VENEER	EQUAL TO PALMETTO BRICK COMPANY - 0.75 GREYSTONE
	STONE VENEER	COLOR TO MATCH SW6102 - PORTABELLO
	EIFS EXTERIOR FINISH SYSTEM	COLOR TO MATCH METAL ERA - STONE WHITE
	PREFINISHED METAL COPING	COLOR TO MATCH METAL ERA - STONE WHITE
	ALUMINUM WINDOW FRAMES	CLEAR ANODIZED
	GLAZING	GUARDIAN SUNGAURD SNX 51/23
	SPANDREL GLAZING	
	EXTERIOR HM DOORS, FRAMES AND LOUVERS	ALL COMPONENTS U.N.O. COLOR TO MATCH SW6100 - PRACTICAL BEIGE
* REFER TO SPECS FOR MANUFACTURERS		

KEYNOTE SCHEDULE
 DENOTED BY A NUMBER ENCLOSED INSIDE A HEXAGON. ONLY NOTES APPLICABLE TO THIS SHEET ARE SHOWN.



HEREFORD · DOOLEY
 ARCHITECTS
 205 17TH AVE NORTH · SUITE 203
 NASHVILLE · TENNESSEE · 37203
 P · 615 · 244 · 7399
 F · 615 · 244 · 6697
 WWW.HDARCHITECTS.COM

PROJECT # **224013.00**
 CLIENT #123456789

STATUS **PLANNING**
 AHCA #12/345678-900

William E. Hereford, III
 AR # 0401013279

DATE OF ISSUANCE **06/04/2024**

TITLE **EXTERIOR ELEVATIONS**

SHEET **A200**

PROJECT # 224013.00
 CLIENT #123456789
 STATUS PLANNING
 AHCA #12/345678-900
 William E. Hereford, III
 AR # 0401013279
 DATE OF ISSUANCE 06/04/2024
 TITLE EXTERIOR ELEVATIONS
 SHEET A200