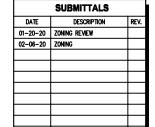


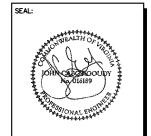
verizon^v

WIDEWATER 134 DEN RICH ROAD STAFFORD COURTHOUSE, VA 22554





6600 Rockledge Drive, Suite 550 BETHESDA, MD 20817 PHONE: (202)408-0960 FAX: (202)408-0961





Milestone

M.M.

WIDEWATER

134 DEN RICH ROAD

STAFFORD COURTHOUSE. VA 22554

TITLE SHEET

PROJECT NO: 1050.287

FNGINFFR:

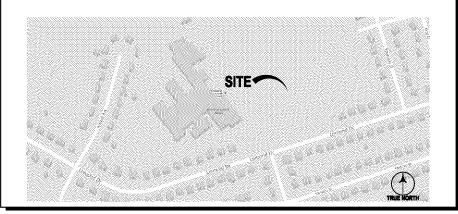
THE CONTRACTOR SHALL GIVE ALL NOTICES AND COMPLY WITH ALL LAWS, ORDINANCES, RULES, REGULATIONS AND LAWFUL ORDERS OF ANY PUBLIC AUTHORITY, MUNICIPAL AND UTILITY COMPANY SPECIFICATIONS, AND LOCAL AND STATE JURISDICTIONAL CODES BEARING ON THE PERFORMANCE OF THE WORK. THE WORK PERFORMED ON THE PROJECT AND THE MATERIALS INSTALLED SHALL BE IN STRICT ACCORDANCE WITH ALL APPLICABLE CODES, REGULATIONS AND ORDINANCES.

- THE ARCHITECT/ENGINEER HAS MADE EVERY EFFORT TO SET FORTH IN THE CONSTRUCTION AND CONTRACT DOCUMENTS THE COMPLETE THE ARCHIEC/SZEMERER HAS MADE EVERY EFFORT IN SET FORTH IN THE CONSTITUTION AND CONTRACT DECOMENTS THE COMPRESS SCOPE OF WORK. THE CONTRACTOR BIDDING THE JOB IS INEVERTHELESS CAUTIONED THAT MINOR OXIGNS OR ERRORS IN THE DRAWNIGS AND OR SPECIFICATIONS SHALL NOT EXCUSE SAID CONTRACTOR FROM COMPLETING THE PROJECT AND IMPROVEMENTS IN ACCORDANCE WITH THE INTENT OF THESE DOCUMENTS.
- 3. THE CONTRACTOR OR BIDDER SHALL BEAR THE RESPONSIBILITY OF NOTIFYING (IN WRITING) THE CONSTRUCTION MANAGER OF ANY CONFLICTS, ERRORS, OR OMISSIONS PRIOR TO THE SUBMISSION OF CONTRACTOR'S PROPOSAL OR PERFORMANCE OF WORK. IN THE EVENT OF DISCREPANCIES THE CONTRACTOR SHALL PRICE THE MORE COSTLY OR EXTENSIVE WORK,
- 4. THE SCOPE OF WORK SHALL INCLUDE FURNISHING ALL MATERIALS, EQUIPMENT, LABOR AND ALL OTHER MATERIALS AND LABOR DEEMED NECESSARY TO COMPLETE THE WORK/PROJECT AS DESCRIBED HEREIN.
- 5. THE CONTRACTOR SHALL VISIT THE JOB SITE PRIOR TO THE SUBMISSION OF BIDS OR PERFORMING WORK TO FAMILIARIZE HIMSELF WITH THE FIELD CONDITIONS AND TO VERIFY THAT THE PROJECT CAN BE CONSTRUCTED IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
- 6. THE CONTRACTOR SHALL OBTAIN AUTHORIZATION TO PROCEED WITH CONSTRUCTION PRIOR TO STARTING WORK ON ANY ITEM NOT CLEARLY DEFINED BY THE CONSTRUCTION DRAWING/CONTRACT DOCUMENTS.
- THE CONTRACTOR SHALL INSTALL ALL EQUIPMENT AND MATERIALS ACCORDING TO THE MANUFACTURER'S/VENDOR'S SPECIFICATION
 UNLESS NOTED OTHERWISE OR WHERE LOCAL CODES OR ORDINANCES TAKE PRECEDENCE.
- 8. THE CONTRACTOR SHALL PROVIDE A FULL SET OF CONSTRUCTION DOCUMENTS AT THE SITE UPDATED WITH THE LATEST REVISIONS AND ADDENDA OR CLARIFICATIONS AVAILABLE FOR THE USE BY ALL PERSONNEL INVOLVED WITH THE PROJECT.
- THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE PROJECT DESCRIBED HEREIN. THE CONTRACTOR SHALL BE SOLELY
 RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES AND FOR COORDINATING
 ALL PORTIONS OF THE WORK UNDER THE CONTRACT.
- 10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS AND INSPECTIONS WHICH MAY BE REQUIRED FOR THE BY THE ARCHITECT/ENGINEER, THE STATE, COUNTY OR LOCAL GOVERNMENT AUTHORITY.
- ETC. DURING CONSTRUCTION. UPON COMPLETION OF WORK, THE CONTRACTOR SHALL REPAIR ANY DAMAGE THAT MAY HAVE OCCURRED DUE TO CONSTRUCTION ON OR ABOUT THE PROPERTY.
- 12. THE CONTRACTOR SHALL KEEP THE GENERAL WORK AREA CLEAN AND HAZARD FREE DURING CONSTRUCTION AND DISPOSE OF ALL DIRT, DEBRIS, RUBBISH AND REMOVE EQUIPMENT NOT SPECIFIED AS REMAINING ON THE PROPERTY. PREMISES SHALL BE LEFT IN CLEAN CONDITION AND FREE FROM PAINT SPOTS, DUST, OR SMUDGES OF ANY NATURE.
- 13. THE CONTRACTOR SHALL COMPLY WITH ALL OSHA REQUIREMENTS AS THEY APPLY TO THIS PROJECT.
- 14. THE CONTRACTOR SHALL NOTIFY THE CONSTRUCTION MANAGER WHERE A CONFLICT OCCURS ON ANY OF THE CONTRACT DOCUMENTS.
 THE CONTRACTOR IS NOT TO ORDER MATERIAL OR CONSTRUCT ANY PORTION OF THE WORK THAT IS IN CONFLICT UNTIL
 THE CONFLICT IS RESOLVED BY THE CONSTRUCTION MANAGER.
- 15. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, ELEVATIONS, PROPERTY LINES, ETC. ON THE PROJECT.

APPROVALS MILESTONE COMMUNICATIONS: OWNER REPRESENTATIVE:

VICINITY MAP

FROM 12110 SUNSET HILLS ROAD RESTON, VA.: PROCEED WEST ON SUNSET HILLS RD, TURN RIGHT ONTO THE RAMP TO FAIRFAX COUNTY PKWY, TURN RIGHT ONTO FAIRFAX COUNTY PKWY, TAKE RAMP RIGHT TO 1-66 WEST TOWARD FRONT ROYAL AT EXIT 478 TAKE RAMP RIGHT FOR VA-234 SOUTH. KEEP TURN LEFT ONTO LOMOND DRIVE. ARRIVE AT 10100 LOMOND DRIVE ON THE LEFT.



SYMBOLS AND ABBREVIATIONS

| | A I IIIDAEA VIID VADIVE IIVII AIIA | | | | |
|--------|------------------------------------|------|------------------------|------------------------------|--|
| ADJ | ADJUSTABLE | MECH | MECHANICAL | • | SPOT ELEVATION |
| APPROX | APPROXIMATE | MFR | MANUFACTURER | • | |
| CAB | CABINET | MGB | MAIN GROUND BAR | c | CENTERLINE |
| CLG | CEILING | MIN | MINIMUM | Ę | CENTERLINE |
| CONC | CONCRETE | MTL | METAL | R | PLATE |
| CONT | CONTINUOUS | NIC | NOT IN CONTRACT | | FLAIL |
| CJ | CONSTRUCTION JOINT | NTS | NOT TO SCALE | | |
| DIA | DIAMETER | OC | ON CENTER | No. | DETAIL NUMBER |
| DWG | DRAWING | OPP | OPPOSITE | SHT | SHEET NUMBER |
| EGB | EQUIPMENT GROUND BAR | SF | SQUARE FOOT | _ | |
| EΑ | EACH | SHT | SHEET | —-с— | - GROUND WIRE |
| ELEC | ELECTRICAL | SIM | SIMILAR | · · | GROOME WINE |
| EL | ELEVATION | SS | STAINLESS STEEL | | |
| EQ | EQUAL | STL | STEEL | | ANTENNA |
| EQUIP | EQUIPMENT | TOC | TOP OF CONCRETE | | |
| EXT | EXTERIOR | TOM | TOP OF MASONRY | | |
| FF | FINISHED FLOOR | TOS | TOP OF STEEL | | |
| GA | GAGE | TYP | TYPICAL | | |
| GALV | GALVANIZED | VIF | VERIFY IN FIELD | | |
| GB | GROUND BAR | UON | UNLESS OTHERWISE NOTED | | |
| GC | GENERAL CONTRACTOR | WWF | WELDED WIRE FABRIC | Crisis and Ochani Decumental | High Papar Part Decements (1918) (Jugo gli |
| GRND | GROUND | W/ | WITH | | |
| LG | LONG | & | AND | | |
| LLH | LONG LEG HORIZONTAL | • | AT | | |
| MAX | MAXIMUM | | | | |

SHEET INDEX

NOTE: MONOPOLES AND COMMUNICATION TOWERS SHALL BE INSTALLED IN CONFORMANCE WITH ANS/EIA/TIA-222, STRUCTURAL STANDARDS FOR STEEL ANTENNA TOWERS AND ANTENNA SUPPORTING STRUCTURES.

- TITLE SHEET
- SITE PLAN
- **ADJOINERS**
- **EROSION AND SEDIMENT CONTROL PLAN AND DETAILS**
- COMPOUND PLAN **Z-3**
- MONOPOLE ELEVATION
- SITE DETAILS
- **VZW ANTENNA SCHEDULE AND DETAILS**
- **VZW RRH AND DISTRIBUTION BOX DETAILS**
- **VZW EQUIPMENT LAYOUT PLAN AND DETAILS**
- **VZW EQUIPMENT CABINET DETAILS**

PROJECT DESCRIPTION

- 1. INSTALL TEMPORARY CONSTRUCTION ENTRANCE.

- 1. Install ismporary construction entrance.
 2. Install sediment and erosion controls and tree protection fence.
 3. Clear and grade site to final subgrade elevation.
 4. Install a new monopole foundation and 130' high monopole.
 5. Install utility frame, mesa base, site grounding, compound subgrade.
 6. Install electrical and telephone conduit and hand holes.
 7. Install fence and site improvements.

- INSTALL CARRIER PANEL ANTENNAS ON THE MONOPOLE.
 INSTALL CARRIER F CABLES INSIDE THE MONOPOLE.
 INSTALL CARRIER EQUIPMENT.

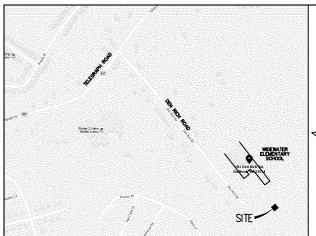
PROJECT INFORMATION

PROPERTY OWNER: POTOMAC-STAFFORD CO LL PO BOX 2648 STAFFORD, VA 22555 MILESTONE COMMUNICATIONS 12110 SUNSET HILLS ROAD, SUITE 100 RESTON, VA 20190 MR. LEN FORKAS

LONGITUDE: W 77" 22" 09 194" GROUND ELEVATION: 159.5' AMSL JURISDICTION: STAFFORD COUNTY

SHEET NUMBER:

TITLE:







SITE PLAN NOTES

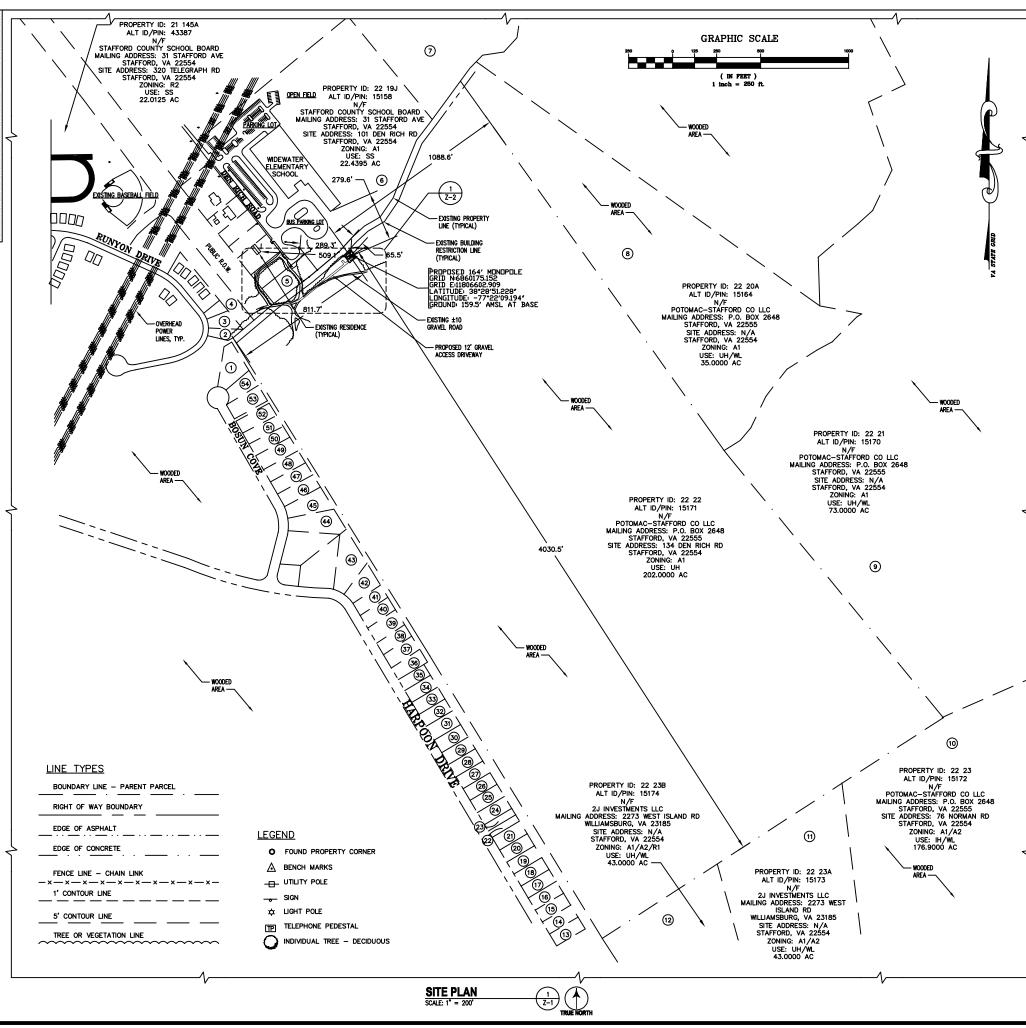
- 1.) SITE NAME: WIDEWATER
- 2.) THIS IS NOT A BOUNDARY SURVEY AND IS NOT TO BE USED FOR THE TRANSFER OF PROPERTY.
- 3.) THE SUBJECT PARCEL INFORMATION;
 OWNER: POTOMAC-STAFFORD CO LLC
 PREMISES ADDRESS: 134 DEN RICH RD
 STAFFORD, VA 22554
 MAILING ADDRESS: P.O. BOX 2648
 JURISDICTION: STAFFORD COUNTY
 PROPERTY ID: 22 22
 ALTERNATE ID/PIN: 15171
 ZONING: A1 USE: UH
- 4.) THE RECORDED REFERENCES FOR THE SUBJECT PARCEL ARE AS FOLLOWS:
 DOCUMENT NUM: 130027630X
 AREA: 202.0 AC
- 5.) THE DATUM'S ARE NAD 83 AND NAVD 88, AND THE BEARING BASE IS STATE GRID.
- NO UNDERGROUND UTILITIES HAVE BEEN LOCATED, THE PRESENCE OF ANY SUCH UTILITIES MUST BE CONFIRMED BY THE CONTRACTOR BEFORE CONSTRUCTION.
- 7.) NO WETLANDS HAVE BEEN DEFINED AND ANY AREAS SHOWN AS MARSH, PONDS OR DITCHES ARE DONE SO FROM VISIBLE SURFACE FEATURES AND IN NO WAY CONSTITUTE A DEFINED WETLAND.
- 8.) THE FLOOD ZONE OF THE PROPOSED MONOPOLE IS AS FOLLOWS; FLOOD ZONE X, AREA OF MINIMUM FLOODING. SOURCE, FEMA FLOOD MAP FOR STAFFORD COUNTY, VA. COMMUNITY PAREL NUMBER 51179C 0151F. REVISED, FEBRUARY 18, 2015.
- 9.) A TITLE REPORT WAS REVIEWED FOR THIS SURVEY.
- 10.) THE DATA COLLECTED AND SHOWN ON THIS DRAWING ARE FOR THE PURPOSES OF CONSTRUCTION OF A CELLULAR MONOPOLE, ANY NECESSARY ANCILLARY EQUIPMENT AND ALL APPROPRIATE EASEMENTS.
- 11.) NO UNRECORDED EASEMENTS ARE SHOWN ON THIS SURVEY AND IT IS POSSIBLE THAT SUCH EASEMENTS IMPACT THE SITE.
- 12.) THIS PROPERTY IS SUBJECT TO ALL MATTERS OF PUBLIC RECORD.
- 13.) THE LOCATION OF THE PROPOSED MONOPOLE IS AS FOLLOWS; THE VALUES LISTED BELOW ARE WITHIN ±50' HORIZONTAL AND ±20' VERTICAL.

 LATITUDE: N 38' 28' 51.228"

 LONGITUDE: W 77' 22' 09.194"

 ELEVATION: 159.5' AMSL AT BASE

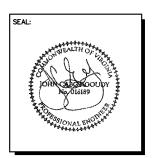
| MONOPOLE SETBACKS | | | |
|----------------------------|----------|----------|--|
| ZONING R-1 | REQUIRED | PROPOSED | |
| FRONT YARD (NORTH) | N/A | 65.5' | |
| REAR YARD (SOUTH) | N/A | 4,030.5' | |
| SIDE YARD (EAST) | N/A | 1,088.6' | |
| SIDE YARD (WEST) | N/A | 811.7' | |
| CLOSEST OFF SITE RESIDENCE | N/A | 509.1' | |
| CLOSEST OFF SITE BUILDING | N/A | 279.6' | |
| CLOSEST ROAD | N/A | 289.3' | |





6600 Rockledge Drive, Suite 550 BETHESDA, MD 20817 PHONE: (202)408-0960 FAX: (202)408-0961

| SUBMITTALS | | |
|----------------------|---------------|------|
| DATE | DESCRIPTION | REV. |
| 01-20-20 02-06-20 | ZONING REVIEW | |
| 02-06-20 | ZONING | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |





| PROJECT NO: DESIGNER: | 1050.287 R.S. |
|--------------------------|---|
| ENGINEER: | M.M. |
| SCALE: 0 1/2 | |
| GRAPHIC : | SCALE IN INCHES |
| 134 DEN | DEWATER N RICH ROAD D COURTHOUSE, |
| VA | A 22554 |
| V,∕ ⊓⊓LE: | • |
| TITLE: | • |
| TITLE: | A 22554 |

```
SUBJECT PARCEL
OWNER: POTOMAC STAFFORD CO LLC
         MAILING ADDRESS: P.O. BOX 2648
STAFFORD, VA 22554
     PREMISES ADDRESS: 134 DEN RICH ROAD
               STAFFORD, VA 22554
             COUNTY: STAFFORD COUNTY
                PROPERTY ID: 22 22
                PIN: 15171
AREA: 202.0 ACRES
                     ZONING: A1
    1.
OWNER: HENNINSEN DAVID W AND DEBERIA
MAILING ADDRESS: 229 BOSUN COVE
                STAFFORD, VA 22554
PREMISES ADDRESS: SAME
              COUNTY: STAFFORD COUNTY
PROPERTY ID: 21B 1521
                  PIN: 12674
AREA: 0.6589 ACRES
                      ZONING: R1
OWNER: CARR DENNIS WESLEY AND PAMELA JEAN
            MAILING ADDRESS: 33 EGRET CT
               STAFFORD, VA 22554
PREMISES ADDRESS: SAME
               COUNTY: STAFFORD COUNTY
                PROPERTY ID: 21X 2 148
                 PIN: 48663
AREA: 0.2540 ACRES
      OWNER: PERRY PATRICK II AND TAKA N
             MAILING ADDRESS: 31 EGRET CT
STAFFORD, VA 22554
                PREMISES ADDRESS: SAME
                 PROPERTY ID: 21X 2 147
                 PIN: 48662
AREA: 0.2645 ACRES
OWNER: BRENTSMILLL II HOMEOWNERS ASSOCIATION
         MAILING ADDRESS: 85 MINE ROAD 115
STAFFORD, VA 22554
                PREMISES ADDRESS: SAME
               COUNTY: STAFFORD COUNTY
                  PROPERTY ID: 21X 2L
                  PIN: 48682
AREA: 2.4217 ACRES
ZONING: R1
     OWNER: MCCLEVERY KENNETH MICHAEL &
         MAILING ADDRESS: 19 DEN RICH ROAD
STAFFORD, VA 22554
               COUNTY: STAFFORD COUNTY
                    PROPERTY ID: 22 19
                AREA: 115.9639 ACRES
ZONING: R5
   6.
OWNER: STAFFORD COUNTY SCHOOL BOARD
MAILING ADDRESS: 31 STAFFORD AVE
                  STAFFORD, VA 22554
        PREMISES ADDRESS: 101 DEN RICH ROAD
               STAFFORD, VA 22554
COUNTY: STAFFORD COUNTY
                  PROPERTY ID: 22 19J
                PIN: 15158
AREA: 22.4395 ACRES
     OWNER: MCCLEVERY KENNETH MICHAEL &
           MAILING ADDRESS: 19 DEN RICH RD
STAFFORD, VA 22554
              PREMISES ADDRESS: SAME
COUNTY: STAFFORD COUNTY
                PROPERTY ID: 22 19
PIN: 15149
AREA: 115.9639 ACRES
                      ZONING: A1
       8.
OWNER: POTOMAC STAFFORD CO LLC
                STAFFORD VA 22555
                PREMISES ADDRESS: N/A
               COUNTY: STAFFORD COUNTY
                  PROPERTY ID: 22 20A
                   PIN: 15164
AREA: 35.0 ACRES
                       ZONING: A1
```

OWNER: POTOMAC-STAFFORD LAND COMPANY LLC
MAILING ADDRESS: P.O.BOX 2648

PREMISES ADDRESS: N/A COUNTY: STAFFORD COUNTY

PROPERTY ID: 22 21 PIN: 15170 AREA: 73.0 ACRES ZONING: A1

```
10.
OWNER: POTOMAC -STAFFORD CO LLC
MAILING ADDRESS: P.O.BOX 2648
              STAFFORD, VA 22555
PREMISES ADDRESS: 76 NORMAN RD
                    STAFFORD, VA 22554
COUNTY: STAFFORD COUNTY
                         PROPERTY ID: 22 23
                       PIN: 15172
AREA: 176,90 ACRES
        11.
Owner: 2J investments LLC
Mailing address: 2273 West Island Road
Williamsburg, VA 23185
                   PREMISES ADDRESS: N/A
COUNTY: STAFFORD COUNTY
                        PROPERTY ID: 22 23A
                             PIN: 15173
                        AREA: 43.0 ACRES
                           ZONING: A1
        OWNER: 2J INVESTMENTS LLC
MAILING ADDRESS: 2273 WEST ISLAND ROAD
                      PREMISES ADDRESS N/A
                        PROPERTY ID: 22 23B
                        PIN: 15174
AREA: 43.0 ACRES
       13.
OWNER: ELLIOTT MICHAEL A AND KELLEY C
              MAILING ADDRESS: CMR 402 BOX 554
            APO AE 09067
PREMISES ADDRESS: 2220 HARPOON DR
STAFFORD COURTHOUSE, VA 22554
                   COUNTY: STAFFORD COUNTY
PROPERTY ID: 21B 2091
                       PIN: 13202
AREA: 0.3117 ACRES
          14.
OWNER: SPINELLI CAROL M.
MAILING ADDRESS: 2218 HARPOON DRIVE
                     STAFFORD, VA 22554
PREMISES ADDRESS: SAME
                    COUNTY: STAFFORD COUNTY
PROPERTY ID: 21B 2090
                       PIN: 13201
AREA: 0.3114 ACRES
                            ZONING: R1
        15.
OWNER: JONES WINSTON C AND ANNIE R
           MAILING ADDRESS: 2216 HARPOON DRIVE
STAFFORD, VA 22554
PREMISES ADDRESS: SAME
                      PROPERTY ID: 21B 2089
                       PIN: 13200
AREA: 0.3112 ACRES
16.
OWNER: BUCZEK BRENDA AND WILLIAM MCCLAFFERTY
            MAILING ADDRESS: 2214 HARPOON DRIVE
STAFFORD, VA 22554
                    PREMISES ADDRESS: SAME
COUNTY: STAFFORD COUNTY
                     PROPERTY ID: 21B 2088
PIN: 13199
AREA: 0.3109 ACRES
ZONING: R1
       17.
OWNER: GARNESKI ERIC AND CATHERINE A
            MAILING ADDRESS: 2212 HARPOON DRIVE
STAFFORD, VA 22554
                    PREMISES ADDRESS: SAME
COUNTY: STAFFORD COUNTY
```

PROPERTY ID: 21B 2087

PIN: 13198 AREA: 0.3107 ACRES

OWNER: SEMEJA SAMANTHA J MAILING ADDRESS: 2210 HARPOON DRIVE

STAFFORD, VA 22554

COUNTY: STAFFORD COUNTY PROPERTY ID: 21B 2086

PIN: 13197 AREA: 0.3104 ACRES

PREMISES ADDRESS: SAME

ZONING: R1

```
19.
OWNER: ANDREWS JACK O AND DEANNA J
MAILING ADDRESS: 2208 HARPOON DRIVE
                    STAFFORD, VA 22554
PREMISES ADDRESS: SAME
                 COUNTY: STAFFORD COUNTY
PROPERTY ID: 21B 2085
                           PIN: 13196
                     AREA: 0.3101 ACRES
                         70NING: R1
         OWNER: OSBURN JAMES D
MAILING ADDRESS: 4950 LANDSWNE ROAD
        FREDERICKSBURG VA 22408
PREMISES ADDRESS: 2206 HARPOON DRIVE
                 STAFFORD, VA 22554
COUNTY: STAFFORD COUNTY
                     PROPERTY ID: 21B 2084
                     PIN: 13195
AREA: 0.3098 ACRES
ZONING: R1
         21.
OWNER: COOPER JASON AND MAUREEN
          MAILING ADDRESS: 2204 HARPOON DRIVE
                  STAFFORD, VA 22555
PREMISES ADDRESS: SAME
                  COUNTY: STAFFORD COUNTY
                     PROPERTY ID: 21B 2083
                           PIN: 13194
                     AREA: 0.4640 ACRES
                         70NING: R1
        22.
OWNER: COOPER JASON AND MAUREEN
MAILING ADDRESS: 2204 HARPOON DRIVE
                   STAFFORD VA 22555
                    PREMISES ADDRESS: SAME
                 COUNTY: STAFFORD COUNTY
PROPERTY ID: 21B 2083
                     PIN: 13194
AREA: 0.4640 ACRES
                         ZONING: R1
23.
OWNER: YOUNG DAVID WILLIAM SR AND PRIMILLA BA
MAILING ADDRESS: 2200 HARPOON DRIVE
                  STAFFORD, VA 23185
PREMISES ADDRESS: SAME
                 COUNTY: STAFFORD COUNTY
PROPERTY ID: 21B 2081
                     PIN: 13193
AREA: 0.4640 ACRES
24.
OWNER: YOUNG DAVID WILLIAM SR AND PRIMILLA BA
          MAILING ADDRESS: 2200 HARPOON DRIVE
STAFFORD, VA 23185
                    PREMISES ADDRESS SAME
                 COUNTY: STAFFORD COUNTY
PROPERTY ID: 21B 2081
                     PIN: 13193
AREA: 0.4640 ACRES
              25.
Owner: Ewing Sherri Lynn
         MAILING ADDRESS: 2192 HARPOON DRIVE
STAFFORD, VA 22554
                 PREMISES ADDRESS: SAME
COUNTY: STAFFORD COUNTY
                    PROPERTY ID: 2B 2080
PIN: 13192
AREA: 0.3088 ACRES
ZONING: R1
        26.
OWNER: WATSON PAUL C AND STAR W
                     BLUFFTON SC 29909
                  COUNTY: STAFFORD COUNTY
                     PROPERTY ID: 21B 2079
                           PIN: 13191
                     AREA: 0.3085 ACRES
ZONING: R1
                 27.
OWNER: HARE RALPH
MAILING ADDRESS: 54 NAPLES
        STAFFORD, VA 22554
PREMISES ADDRESS: 2186 HARPOON DRIVE
                 STAFFORD, VA 22554
COUNTY: STAFFORD COUNTY
PROPERTY ID: 21B 2078
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PIN: 13190 AREA: 0.3083 ACRES

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28.
OWNER: DELICE FABIOLA DUVERGER
MAILING ADDRESS: 2186 HARPOON DRIVE
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STAFFORD, VA 22554
PREMISES ADDRESS: SAME
                    COUNTY: STAFFORD COUNTY
                      PROPERTY ID: 21B 2077
                             PIN: 13189
                       AREA: 0.3080 ACRES
                           ZONING: R1
          29.
OWNER: BAKER JOHN
MAILING ADDRESS: 2184 HARPOON DRIVE
STAFFORD, VA 22554
PREMISES ADDRESS: SAME
                   COUNTY: STAFFORD COUNTY
PROPERTY ID: 21B 2076
                       PIN: 13188
AREA: 0.3078 ACRES
           30.
OWNER: MOTLEY DAVID AND LINDA
MAILING ADDRESS: 2182 HARPOON DRIVE
STAFFORD, VA 22554
                     PREMISES ADDRESS: SAME
                      PROPERTY ID: 21B 2075
                       PIN: 13187
AREA: 0.3075 ACRES
          31.
OWNER: COX DAVID M AND BONNIE J
           MAILING ADDRESS: 2180 HARPOON DRIVE
STAFFORD, VA 22554
                   PREMISES ADDRESS: SAME COUNTY: STAFFORD COUNTY
                     PROPERTY ID: 21B 2074
PIN: 13186
AREA: 0.3072 ACRES
ZONING: R1
         32.
OWNER: JEFFERS BRADLEY AND VICKI F
             MAILING ADDRESS: 2178 HARPOON DRIVE
                     STAFFORD, VA 22554
                   PREMISES ADDRESS: SAME
COUNTY: STAFFORD COUNTY
                       PROPERTY ID: 21B 2073
                             PIN: 13185
                       AREA: 0.3070 ACRES
ZONING: R1
        OWNER: JOHNSTONE DANIEL AND MARGOT
MAILING ADDRESS: 2176 HARPOON DRIVE
                     STAFFORD, VA 22555
                    PREMISES ADDRESS: SAME
COUNTY: STAFFORD COUNTY
                       PROPERTY ID: 21B 2072
                       PIN: 13184
AREA: 0.3067 ACRES
                           ZONING: R1
34.
OWNER: NORTON JOHN ANDREW AND TARA ELIZABETH
MAILING ADDRESS: 2174 HARPOON DRIVE
                    STAFFORD, VA 22555
PREMISES ADDRESS: SAME
                   COUNTY: STAFFORD COUNTY
PROPERTY ID: 21B 2071
                       PIN: 13183
AREA: 0.3065 ACRES
       35.
OWNER: LOHMEYER JOHN O AND EUNICE R
            MAILING ADDRESS: 2172 HARPOON DRIVE
STAFFORD, VA 23185
                     PREMISES ADDRESS: SAME
                    COUNTY: STAFFORD COUNTY
PROPERTY ID: 21B 2070
                       PIN: 13182
AREA: 0.3062 ACRES
      36.
OWNER: MIKEAL WILLIAM R JR AND MIKYUNG
            MAILING ADDRESS: 2170 HARPOON DRIVE
STAFFORD, VA 22554
                   PREMISES ADDRESS: SAME
COUNTY: STAFFORD COUNTY
                      PROPERTY ID: 21B 2069
                       PIN: 13181
AREA: 0.3556 ACRES
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37.
OWNER: JIMENEZ JOE R AND ENJOLI J
MAILING ADDRESS: 2168 HARPOON DRIVE
                         STAFFORD, VA 22554
PREMISES ADDRESS: SAME
                      COUNTY: STAFFORD COUNT
                         PROPERTY ID: 21B 2068
                                PIN: 13180
                           AREA: 0.3550 ACRES
                              ZONING: R1
38.
OWNER: CASQUERO ARANDA MAYRA A AND BRYAN D GA
MAILING ADDRESS: 2166 HARPOON DRIVE
                        STAFFORD, VA 22554
PREMISES ADDRESS: SAME
                      COUNTY: STAFFORD COUNTY
PROPERTY ID: 21B 2067
                         PIN: 13179
AREA: 0.3544 ACRES
       39.
OWNER: MCALEESE JAMES M AND DEBORAH K
MAILING ADDRESS: 2164 HARPOON DRIVE
STAFFORD, VA 22554
                      PREMISES ADDRESS: SAME
COUNTY: STAFFORD COUNTY
PROPERTY ID: 21B 2066
                          PIN: 13178
AREA: 0.4421 ACRES
                   40.
OWNER: WILSON FREDERICK
             MAILING ADDRESS: 2162 HARPOON DRIVE
STAFFORD, VA 22554
                      PREMISES ADDRESS: SAME COUNTY: STAFFORD COUNTY
                        PROPERTY ID: 21B 1570
PIN: 12694
AREA: 0.3530 ACRES
ZONING: R1
41.
OWNER: WENTWORTH JEANNETTE N AND GEORGE A POP
              MAILING ADDRESS: 2160 HARPOON DRIVE
STAFFORD, VA 22554
                      PREMISES ADDRESS: SAME
COUNTY: STAFFORD COUNTY
                         PROPERTY ID: 21B 1569
                               PIN: 12693
                           AREA: 0.3524 ACRES
                              ZONING: R1
   42.
OWNER: JOHNSON KARL P AND KAREN L TRUSTEES
MAILING ADDRESS: 2158 HARPOON DRIVE
                          STAFFORD, VA 22554
                         PREMISES ADDRESS: SAME
                      COUNTY: STAFFORD COUNTY
                                PIN: 12692
                           AREA: 0.5309 ACRES
                              ZONING: R1
              OWNER: KIRIN ALEXANDRA
MAILING ADDRESS: 2156 HARPOON DRIVE
                        STAFFORD, VA 22554
PREMISES ADDRESS: SAME
                      COUNTY: STAFFORD COUNTY
PROPERTY ID: 21B 1567
                          PIN: 12691
AREA: 0.7394 ACRES
                              70NING: R1
             44.
OWNER: HABERKOST PETER AND ERIN
MAILING ADDRESS: 207 BOSUN COVE
                        STAFFORD, VA 22554
PREMISES ADDRESS: SAME
                      COUNTY: STAFFORD COUNTY
PROPERTY ID: 21B 1561
                          PIN: 12685
AREA: 0.7092 ACRES
       45.
OWNER: ZOLLNER MICHAEL A JR AND JULIE A
MAILING ADDRESS: 209 BOSUN CV
STAFFORD, VA 22555
                                                                                     54.
OWNER: THORNE RANDALL JR AND LARCHENKO OKSANA A
MAILING ADDRESS: 225 BOSUN CV
```

PREMISES ADDRESS: SAME COUNTY: STAFFORD COUNTY

PROPERTY ID: 21B 1560 PIN: 12684 AREA: 0.5758 ACRES

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46.
OWNER: ALYEA BRUCE
MAILING ADDRESS: 211 BOSUN CV
              STAFFORD, VA 22555
PREMISES ADDRESS: SAME
             COUNTY: STAFFORD COUNTY
                PROPERTY ID: 21B 1559
                     PIN: 12683
                 AREA: 0.00 ACRES
                     ZONING: R1
   OWNER: ORTIZ TOMAS A AND FRANCES
MAILING ADDRESS: 213 BOSUN CV
              STAFFORD, VA 23185
PREMISES ADDRESS: SAME
             COUNTY: STAFFORD COUNTY
PROPERTY ID: 21B 1558
                PIN: 12682
AREA: 0.4128 ACRES
         48.
OWNER: SNEDEKER ROBERT N
MAILING ADDRESS: 215 BOSUN CV
STAFFORD, VA 22554
              PREMISES ADDRESS: SAME
             COUNTY: STAFFORD COUNTY
PROPERTY ID: 21B 1557
                PIN: 12681
AREA: 0.4088 ACRES
    49.
Owner: Terrell Artaisha Chatell
        MAILING ADDRESS: 217 BOSUN CV
STAFFORD, VA 22554
             PREMISES ADDRESS: SAME
COUNTY: STAFFORD COUNTY
               PROPERTY ID: 21B 1556
PIN: 12680
AREA: 0.4049 ACRES
ZONING: R1
50.
OWNER: VANNEMAN THOMAS J AND AKEMI K
         MAILING ADDRESS: 1019 23RD ST S
               ARLINGTON, VA 22202
        PREMISES ADDRESS: 219 BOSUN CV
               STAFFORD, VA 22554
            COUNTY: STAFFORD COUNTY
PROPERTY ID: 21B 1555
                PIN: 12679
AREA: 0.4010 ACRES
    51.
OWNER: CLAY ANDEREA AND ROBERT
        MAILING ADDRESS: 221 BOSUN CV
STAFFORD, VA 22554
PREMISES ADDRESS: SAME
             COUNTY: STAFFORD COUNTY
PROPERTY ID: 21B 1554
                PIN: 12678
AREA: 0.3970 ACRES
           52.
OWNER: TAYLOR KEVIN J
        MAILING ADDRESS: 223 BOSUN CV
STAFFORD, VA 22554
             PREMISES ADDRESS: SAME
COUNTY: STAFFORD COUNTY
                PROPERTY ID: 21B 1553
PIN: 12677
AREA: 0.3931 ACRES
                     ZONING: R1
            53.
OWNER: FISHER SHANE
         MAILING ADDRESS: 225 BOSUN CV
                STAFFORD VA 22554
             COUNTY: STAFFORD COUNTY
                PROPERTY ID: 21B 1523
                PIN: 12676
AREA: 0.3882 ACRES
ZONING: R1
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STAFFORD, VA 22554 PREMISES ADDRESS: SAME

PROPERTY ID: 21B 1523

COUNTY: STAFFORD COUNTY

PIN: 12676

AREA: 0.3882 ACRES

70NING: R1



6600 Rockledge Drive, Suite 550 BETHESDA, MD 20817 PHONE: (202)408-0960 FAX: (202)408-0961

| SUBMITTALS | | | |
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DDO IECT NO: 1050 287

| PROJECT NO: | 1050.287 |
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| DESIGNER: | M.A. |
| ENGINEER: | M.M. |
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| SCALE: | |
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| | SCALE IN INCHES |
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| 134 DEN | N RICH ROAD COURTHOUSE, |
| 134 DEN | N RICH ROAD |
| 134 DEN | N RICH ROAD COURTHOUSE, |
| 134 DEI STAFFORD V <i>i</i> | N RICH ROAD COURTHOUSE, |
| 134 DEN | N RICH ROAD COURTHOUSE, |

ADJOINERS

SHEET NUMBER:

Z-1A

AREA TABULATION

 SITE AREA:
 202 AC

 IMPERVIOUS AREA:
 7,982 SF.

 DISTURBED AREA:
 18,211 SF.

<u>NOTE</u>

LANDSCAPE BUFFER NOT SHOWN FOR CLARITY.

LINE TYPES

PROP. 5' CONTOUR LINE

LIMITS OF DISTURBANCE

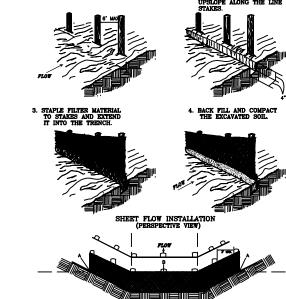
TREE PROTECTION FENCE

210

VIRGINIA UNIFORM CODING SYSTEM FOR EROSION AND SEDIMENT CONTROL PRACTICES

- 3.02 (E) TEMPORARY STONE CONSTRUCTION ENTRANCE
- 3.05 SF LIMITS OF DISTURBANCE/SILT FENCE

 LOD/SF LOD/SF LOD/SF LOD/SF LOD/SF
 - SP) STOCKPILE AREA



POINTS A SHOULD BE HIGHER THAN POINT B.

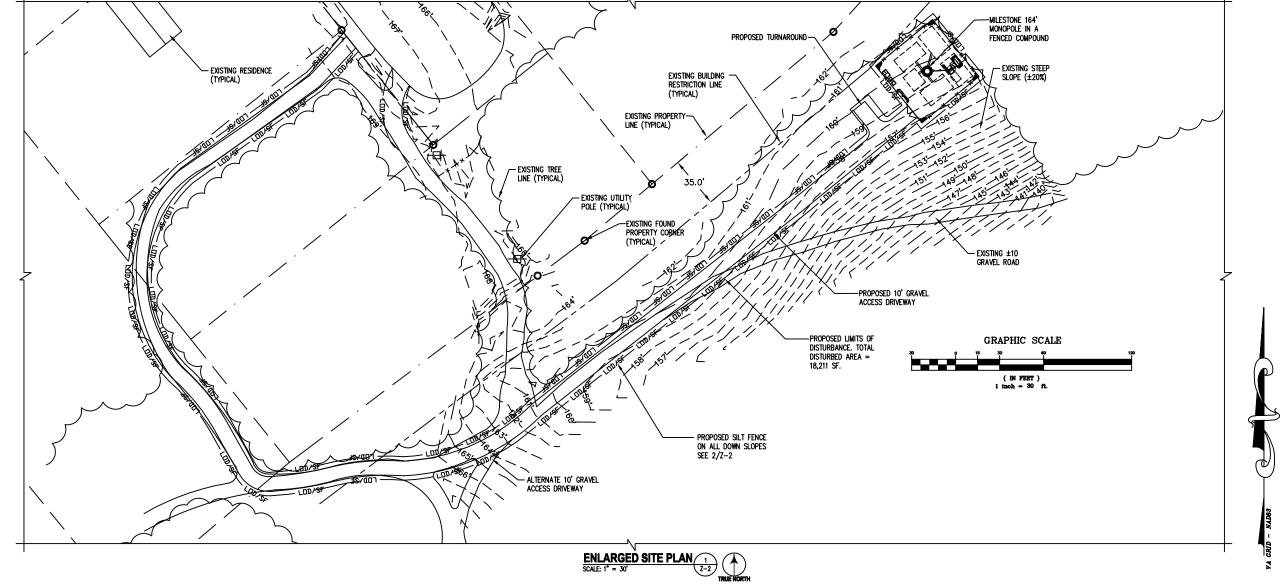
DRAINAGE WAY INSTALLATION (FRONT ELEVATION)

CONSTRUCTION OF A SILT FENCE (WITHOUT WIRE SUPPORT)

NOTES:

- 1. SILT FENCES SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REQUIRED REPAIRS SHALL BE MADE IMMEDIATELY.
- CLOSE ATTENTION SHALL BE PAID TO THE REPAIR OF DAMAGED SILT FENCE RESULTING FROM END RUNS AND UNDERCUTTING.
- 3. SHOULD THE FABRIC ON A SILT FENCE DECOMPOSE OR BECOME INEFFECTIVE PRIOR TO THE END OF TIME EXPECTED USABLE LIFE AND THE BARRIER STILL BE NECESSARY, THE FABRIC SHALL BE REPLACED PROMPTLY.
- 4. SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH STORM EVENT. THEY MUST BE REMOVED WHEN DEPOSITS REACH APPROXIMATELY ONE—HALF THE HEIGHT OF THE BARRIER.
- 5. ANY SEDIMENT DEPOSITS REMAINING IN PLACE AFTER THE SILT FENCE IS NO LONGER REQUIRED SHALL BE DRESSED TO CONFORM WITH THE EXISTING GRADE, PREPARED AND SEEDED.

SILT FENCE 2
SCALE N.T.S. 2
7-2





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PROJECT NO: 1050.287

R.S. M.M.

DESIGNER:

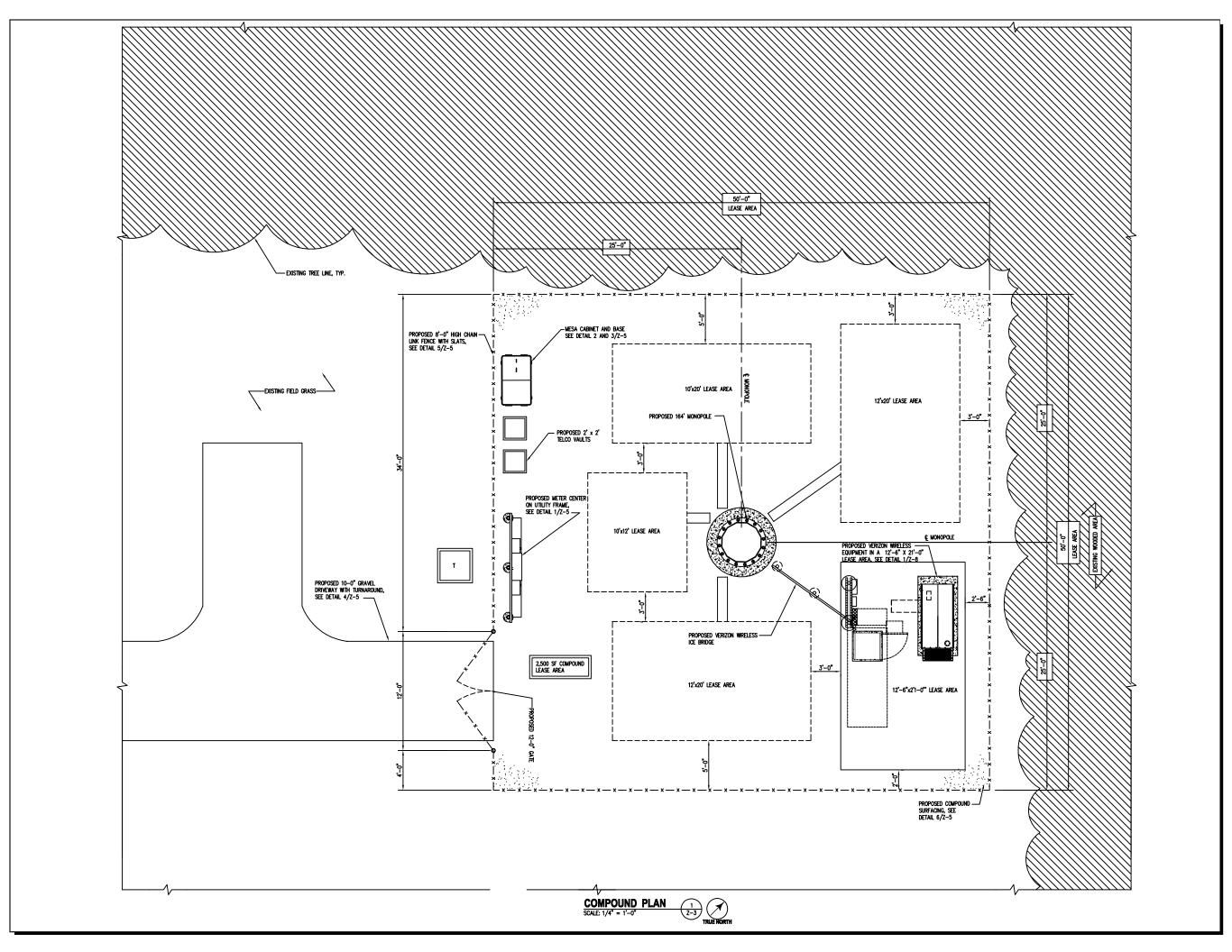
ENGINEER:

| SCALE: |
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| TITLE: |
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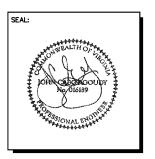
Z-2

SITE PLAN



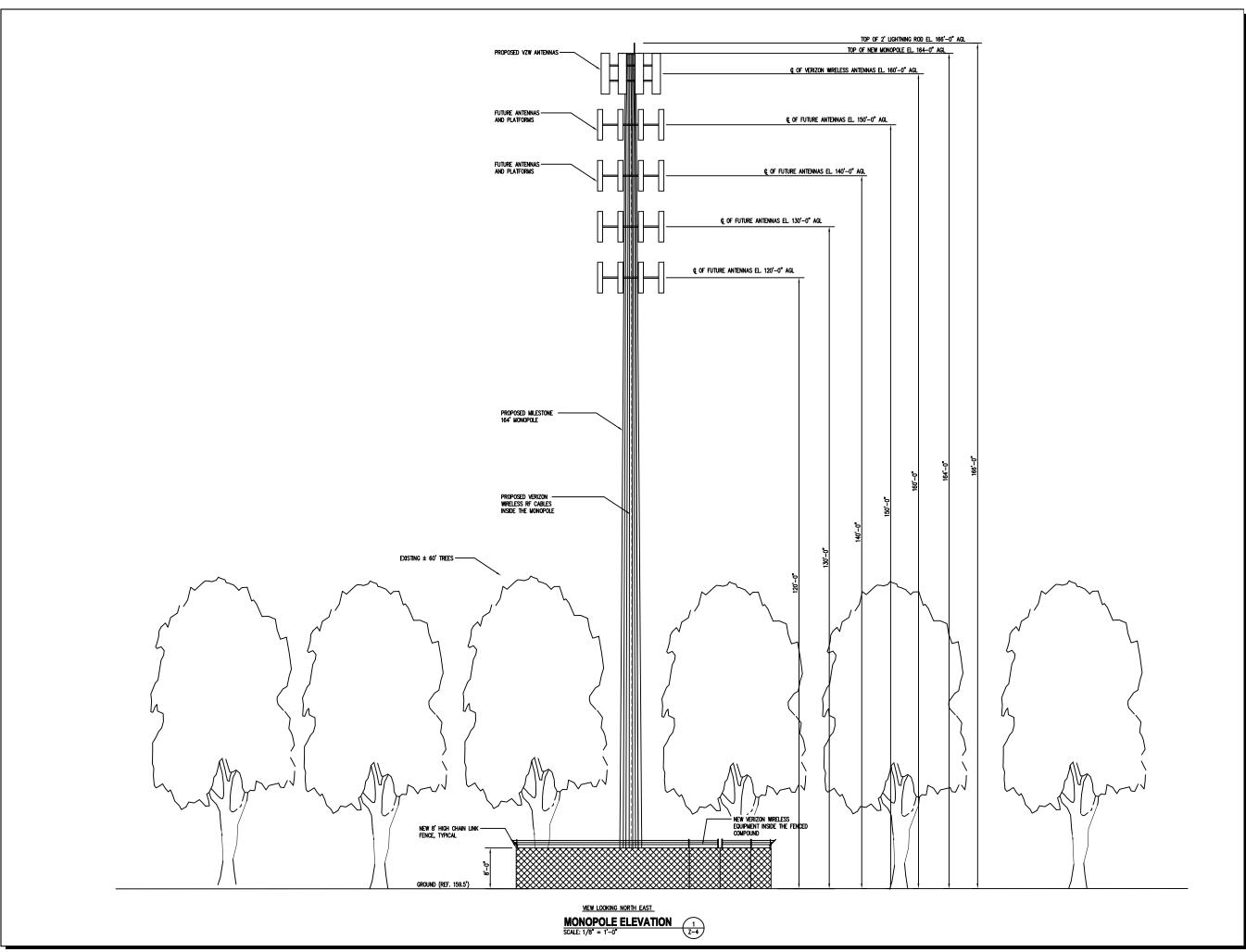


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| ENGINEER: | M.M. |
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| PROJECT NO: | 1050.287 |
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| DESIGNER: | R.S. |
| ENGINEER: | M.M. |
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| SCALE: | |

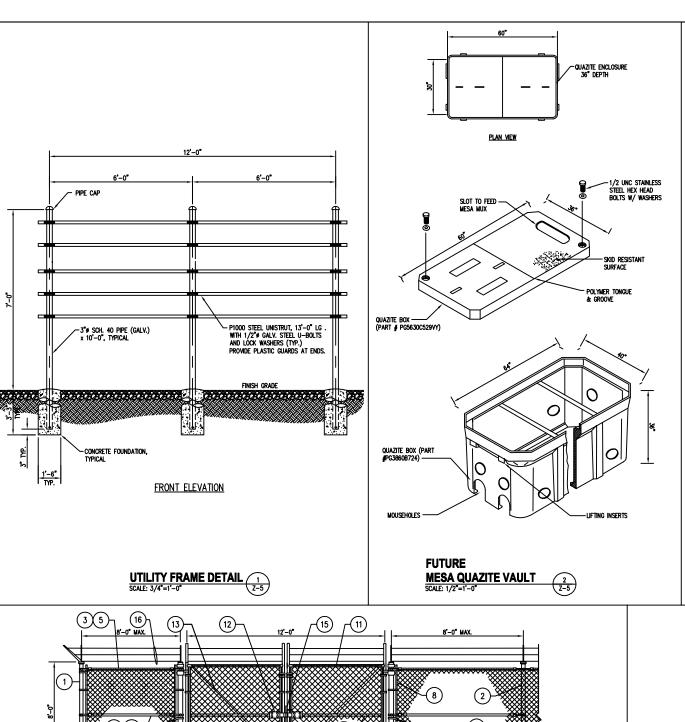
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GRAPHIC SCALE IN INCHES

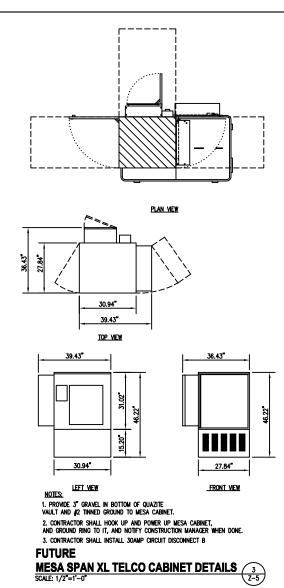
WIDEWATER
134 DEN RICH ROAD
STAFFORD COURTHOUSE,
VA 22554

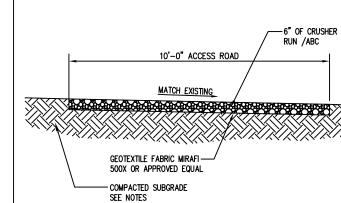
TITLE:

MONOPOLE ELEVATION

SHEET NUMBER:







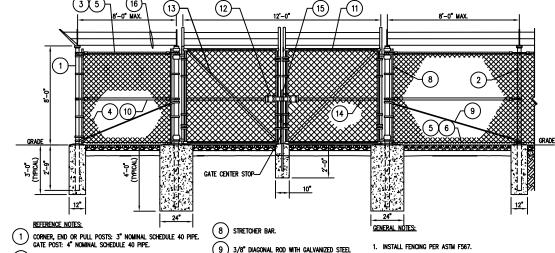
ACCESS ROAD:

FILL, UNDERCUT AND COMPACT TEMPORARY ACCESS ROAD UP TO 6" BELOW FINISH GRADE. PLACE MIRAFI, 500X STABILIZATION FABRIC ON SUBGRADE. PULL TIGHT AND STAKE IN PLACE. PLACE AND COMPACT 6" DEPTH OF CRUSHER RUN/ABC TO FINISH GRADE

COMPACTION NOTES:

1. SURFACE COURSE AND BASE COURSE SHALL BE COMPACTED TO 98% MAX. DRY DENSITY 2. SUBGRADE SOIL SHALL BE COMPACTED TO 95% MAX. DRY DENSITY STANDARD PROCTOR.

GRAVEL ACCESS ROAD DETAIL (2-5)



- 2 LINE POST: 2" NOMINAL SCHEDULE 40 PIPE LINE POSTS SHALL BE EQUALLY SPACED AT MAXIMUM 8"-0" O.C.
- 3 TOP RAIL & BRACE RAIL: 1 1/2" PIPE
- 4 FABRIC: 9 GA CORE WIRE SIZE 2" MESH WITH BLACK VINYL COATING
- TIE WIRE: MINIMUM 11 GA GALVANIZED STEEL AT POSTS AND RAILS A SINGLE WRAP OF FABRIC TIE AND AT TENSION WIRE BY HOG RINGS SPACED MAX. 24" INTERVALS.
- 6) TENSION WIRE: 9 GA. GALVANIZED STEEL.
- 7 NOT USED

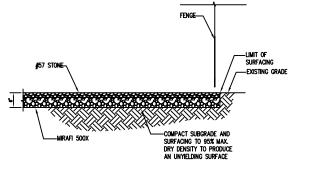
- 9 3/8" DIAGONAL ROD WITH GALVANIZED STEEL TURNBUCKLE OR DIAGONAL THREADED ROD.
- 10 FENCE CORNER POST BRACE: 1 5/8" DIA. EACH CORNER EACH WAY.
- (11) GATE FRAME: 1 1/2" PIPE, PER ASTM-F1083.
- (12) STYMIE MULTI-LOCKING DEVICE BY MILESTONE
- (13) GATE DIAGONAL GALVANIZED STEEL 1 1/2" PIPE.
- (14) GATE FRAME BRACE: 1 5/8" DIAMETER.
- (15) CENTER GATE STOP; FURNISH GATE STOPS TO HOLD GATES IN OPEN POSITION.



2. INSTALL SWING GATES PER ASTM F900.

- CHAIN LINK FENCE STEEL PIPE (GALVANIZED) SHALL CONFORM TO ASTM F1083.
 PVC COATED PIPE AND COMPONENTS SHALL CONFORM TO ASTM F1043.
 CHAIN LINK FENCE FABRIC (GALVANIZED) SHALL CONFORM TO ASTM-F392.
 PVC COATED CHAIN LINK FENCE FABRIC SHALL CONFORM TO ASTM-F668.
- 5. CHAIN LINK TENSION WIRE (CALVANIZED) SHALL CONFORM TO ASTM-F817.
 PVC COATED TENSION WIRE SHALL CONFORM TO ASTM-F1664. GATE FRAMES SHALL BE WELDED. WELDS SHALL BE COATED WITH (3) COATS OF COLD GALV. (OR EQUAL).
- ALL CHAIN LINK FENCE COMPONENTS SHALL BE VINYL COATED. THE COLOR SHALL BE BLACK.

VINYL COATED FENCE AND GATE DETAIL 5 SCALE: 3/8"=1'-0" Z-5



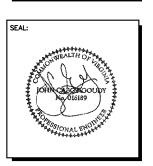
MOTE: COMPOUND AREA SHALL BE CLEARED AND GRUBBED. REMOVE UNSUITABLE LOOSE OR SOFT SOIL, ORGANIC MATERIAL OR RUBBLE TO FIRM GRADE. FILL UNDERCUT AND COMPACT UP TO 6" BELOW FINISH GRADE. PLACE A MIRAFI 500X SOIL STABILIZATION FABRIC ON SUBGRADE. FILL WITH 6" OF AASHTO 3" STONE TO FINISH GRADE.

COMPOUND SURFACING DETAIL 6 (2-5)



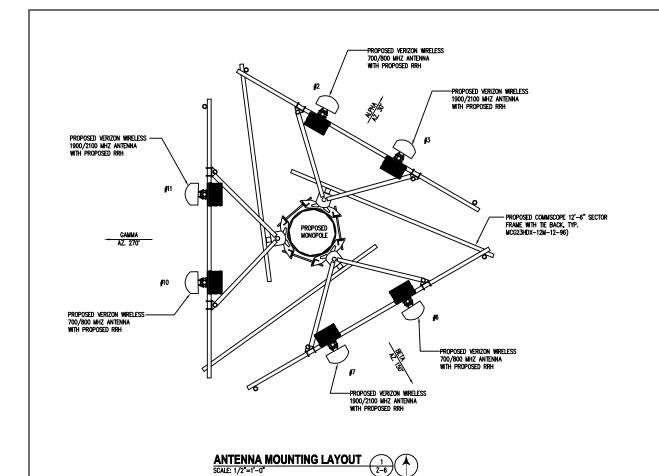
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| I RICH ROAD Courthouse, |
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| 22554 |
| DETAILS |
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| | | | ANTENNA AND | CABLE S | SCHEDU | LE | | | |
|---|-------------|--------------------|--|---------------------------|-----------------------|------------------|----------------------|------------------|----------------------|
| | | MECHANICAL DOWN | AZIMUTH | CABLE LENGTH NOTE 5 | COAXIAL CABLE SIZE | COLOR CODE | FREQUENCY | | |
| | # 1 | | | - | - | - | - | - | - |
| # 2 160' NHH-85C-R28 (96.0" H x 11.9" W x 7.1" D) SE | | SEE NOTE 6 | 30° | 185' | 1 1/4"ø Hybriflex | G/R/G R | 700 MHZ 850 MHZ | | |
| ALPHA # 3 160' NHH-85C-R28 (96.0" H x 11.9" W x 7.1" D) | | - | 30° | 185' | Shared Hybriflex | Br/R/Br 0/R/0 | 1900 MHZ 2100 MHZ | | |
| | #4 | - | - | - | - | | - | - | - |
| | # 5 | - | - | - | - | - | - | - | - |
| BETA | # 6 | 160' | NHH-85C-R2B (96.0" H x 11.9" W x 7.1" D) | - | 150° | 185' | 1 1/4"ø HYBRIFLEX | G/B/G B | 700 MHZ 850 MHZ |
| DEIA | # 7 | 160' | NHH-85C-R2B (96.0° H x 11.9° W x 7.1° D) | - | 150° | 185' | Shared Hybriflex | Br/B/Br 0/B/0 | 1900 MHZ 2100 MHZ |
| | | | - | - | | - | - | - | |
| | # 9 | - | - | | - | - | - | - | - |
| | # 10 | 160' | NHH-85C-R2B (96.0" H x 11.9" W x 7.1" D) | - | 270° | 185' | 1 1/4"ø Hybriflex | G/Y/G Y | 700 MHZ 850 MHZ |
| GAMMA | # 11 | 160' | NHH-85C-R2B (96.0° H x 11.9° W x 7.1° D) | - | 270° | 185' | Shared Hybriflex | Br/Y/Br 0/Y/0 | 1900 MHZ 2100 MHZ |
| | # 12 | ı | - | - | - | | - | - | - |
| GPS | - | - | MAXRAD GPS-TMG-HR26NMSCLA (2) REQUIRED | - | - | | 1/2"# | - | - |

NOTES:

- ALL ANTENNAS SHALL BE FURNISHED WITH DOWNTILT BRACKETS. CONTRACTOR SHALL COORDINATE REQUIRED MECHANICAL DOWNTILT FOR EACH ANTENNA WITH RF ENGINEER. ANTENNA DOWNTILT SHALL BE SET AND VERIFIED BY A SMART LEVEL.
- 2. ANTENNA CENTERLINE HEIGHT IS IN REFERENCE TO ELEVATION 0.0'.
- 3. FINAL CABLE LENGTHS SHALL BE DETERMINED AFTER INSTALLATION.
- 4. COORDINATE THE ANTENNA DOWNTILT WITH THE RF ENGINEER.
- 5. THE CABLE LENGTHS SHOWN ARE THE ACTUAL COMPUTED LENGTHS WITH NO OVERAGE ALLOWANCE.
- 6. REFER TO THE APS FOR THE ANTENNA DOWNTILT REQUIREMENTS.

| | CABLE MIN | NIMUM BEN | ID RADIUS | |
|-------------------|---------------------|---------------------|------------|-----------------|
| 7/8 * ∮ RF | 1–1/4 ° ø RF | 1–5/8 ° ø RF | 2-1/4"ø RF | 1.1"ø Hybriflex |
| 10" | 15" | 20° | 22* | 10" |





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SUBMITTALS DATE DESCRIPTION 01-20-20 ZONING REVIEW 02-06-20 ZONING

| DESIGNER: | M.A. |
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| ENGINEER: | M.M. |
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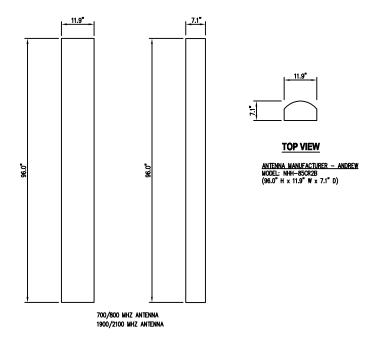
VZW ANTENNA SCHEDULE **AND DETAILS**

SHEET NUMBER:

Z-6

PROPOSED VERIZON WIRELESS -ANTENNA, SEE SCHEDULE PROPOSED ANTENNA MOUNT PIPE TOP OF MONOPOLE - PROPOSED 12'-6" SECTOR FRAME (COMMSCOPE MCG23HDX-12M-12-96) WITH MC-RM1550-3 RING MOUNTS, TYPICAL PROPOSED VERIZON WIRELESS RRH TYP. ANTENNA RAD CENTER HYBRIFLEX CABLE,— TO RACAP OPV UNIT JUMPER CABLES, — TYPICAL PROPOSED CABLE EXIT PORT -- PROPOSED MONOPOLE ANTENNA MOUNTING SECTION
SCALE: 3/4"=1"-0"

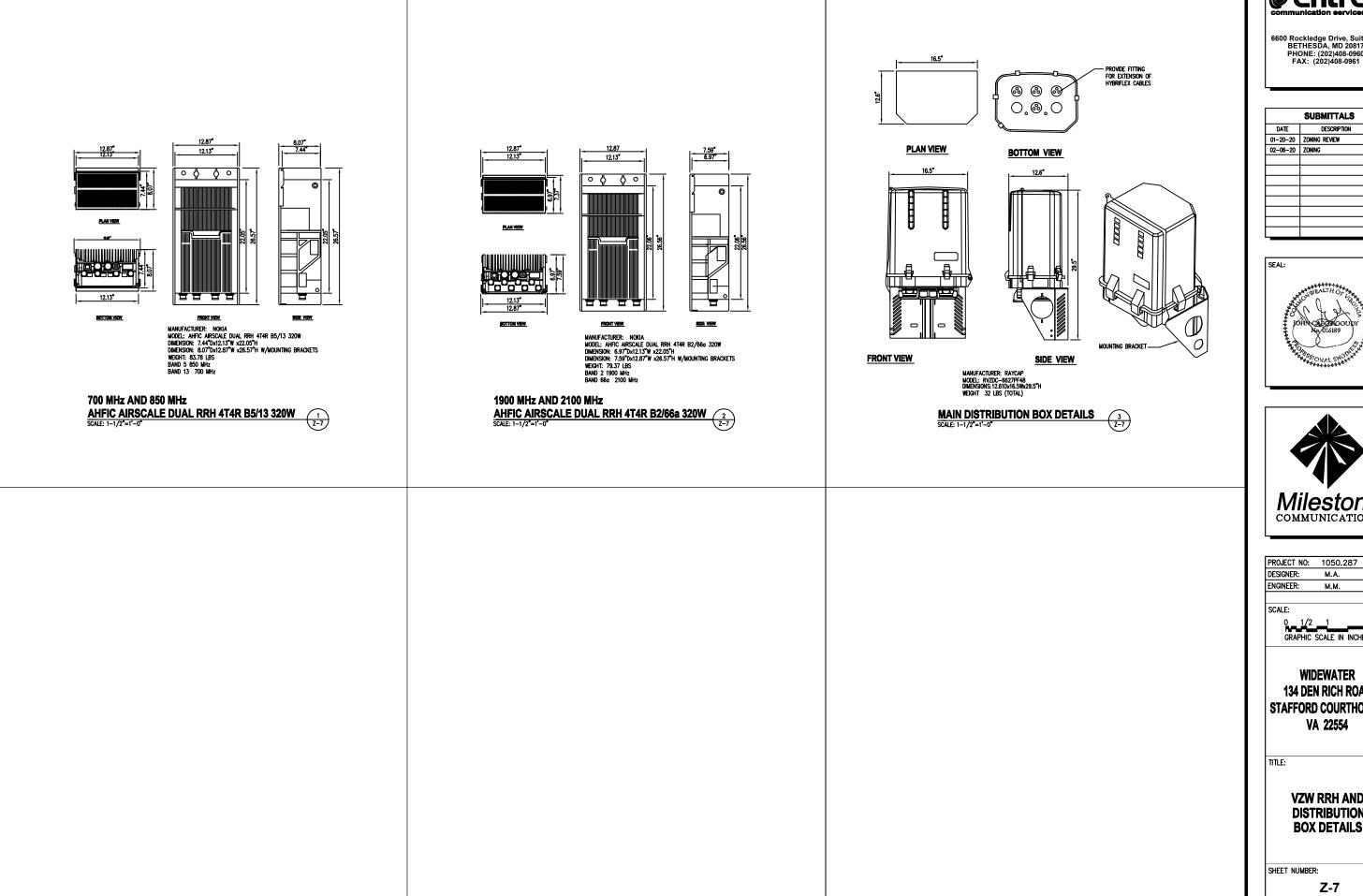
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Z-6



FRONT VIEW

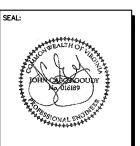
SIDE VIEW

ANTENNA DETAILS
SCALE: 3/4=1'-0"





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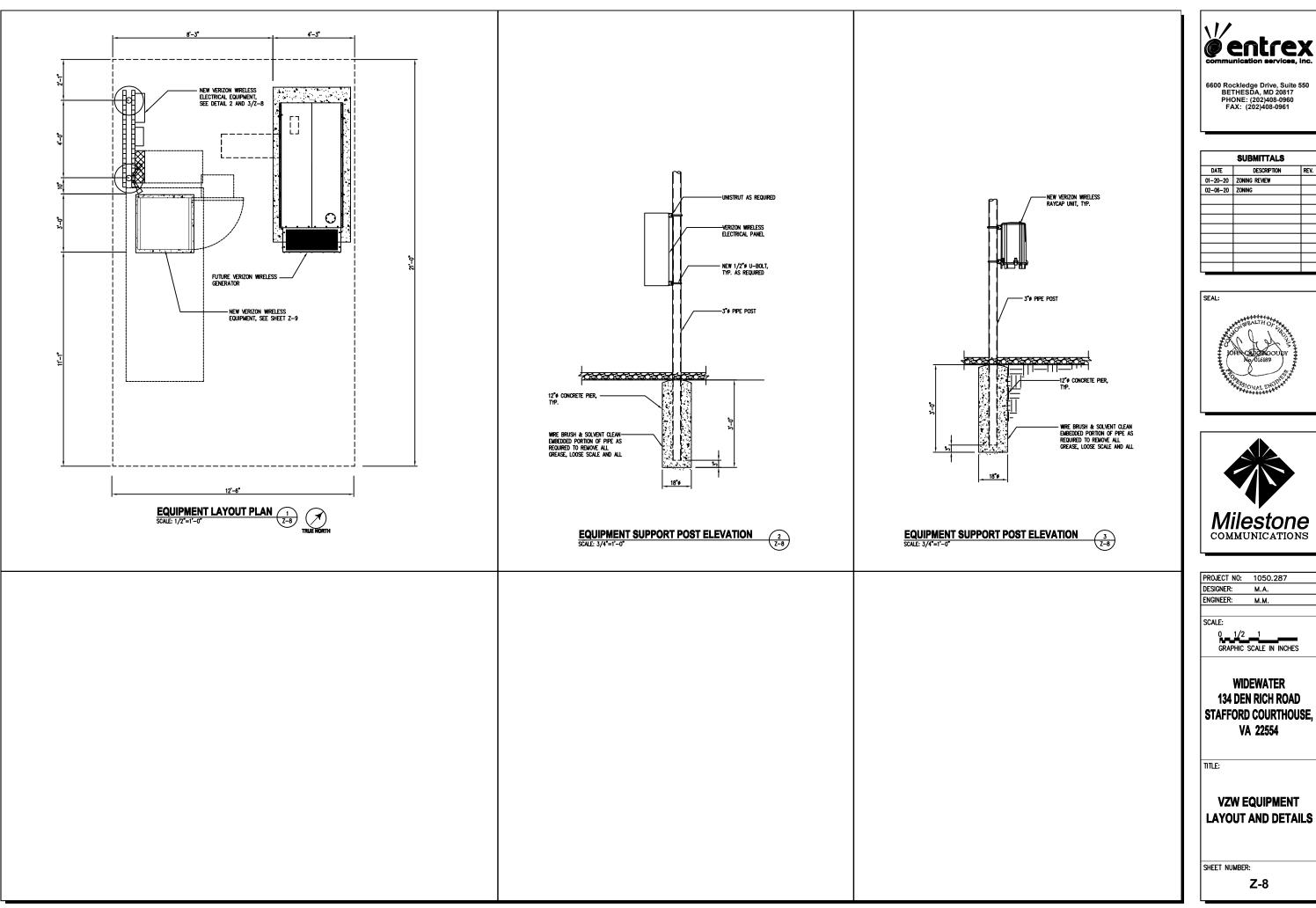
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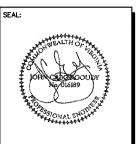
VZW RRH AND DISTRIBUTION **BOX DETAILS**

SHEET NUMBER:





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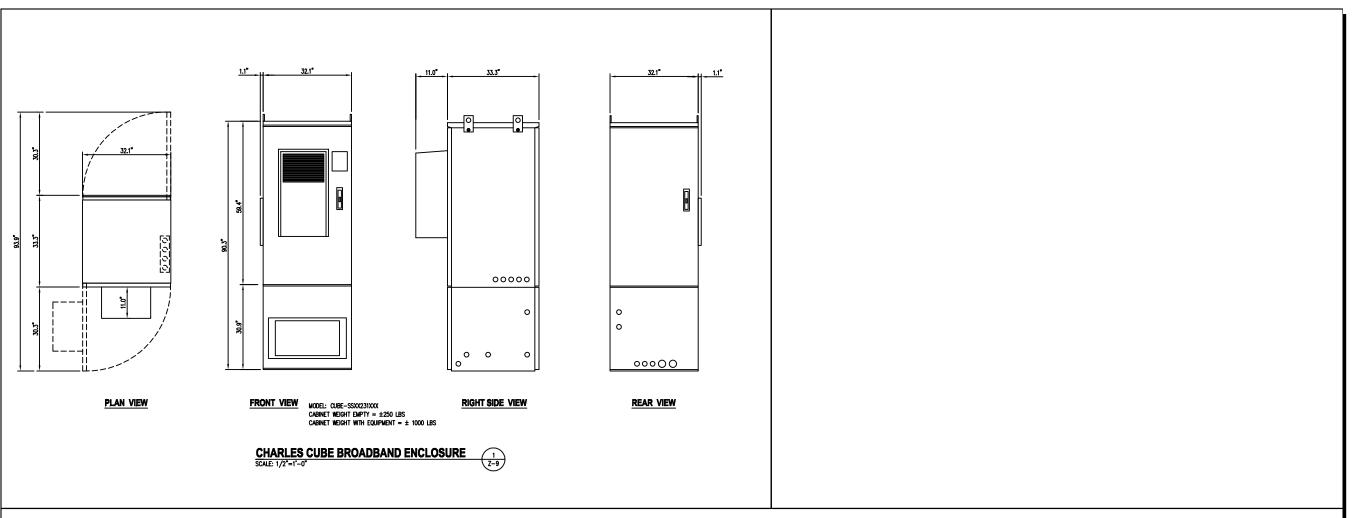


M.A.

M.M.

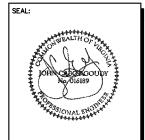
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| VZW EQUIPMENT |

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| ENGINEER: | M.M. |
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| GRAPHIC | SCALE IN INCHES |

PROJECT NO: 1050.287

DESIGNER:

WIDEWATER
134 DEN RICH ROAD
STAFFORD COURTHOUSE,
VA 22554

TITLE:

VZW EQUIPMENT CABINET DETAILS

SHEET NUMBER: