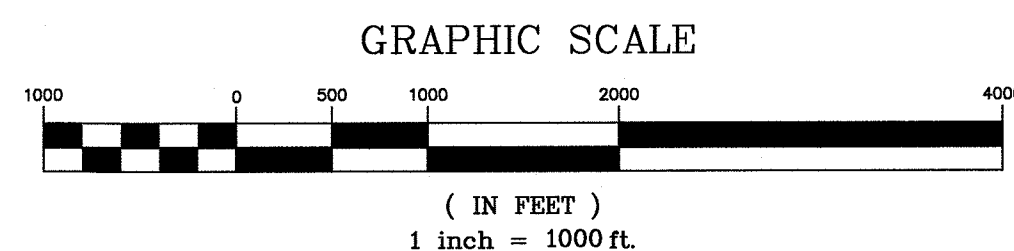


GENERAL DEVELOPMENT PLAN WHITSON WOODS

PCA# TBD

GARRISONVILLE ELECTION DISTRICT
STAFFORD COUNTY, VIRGINIA

VICINITY MAP
SCALE: 1" = 1,000'



VICINITY MAP LEGEND

SUBDIVISION KEY

1 BRENTWOOD ESTATES	11 HUNTER TRAIL AT STAFFORD	21 TALL OAKS	31 DOCKSTONE WOODS	41 SHADOW WOODS
2 KING JAMES VILLAGE	12 PARKRIDGE	22 STAFFORD MEADOWS	32 SUNNINGDALE MEADOWS	42 AUSTIN RIDGE
3 COUNTRY RIDGE	13 EMBREY MILL	23 DEVON GREEN	33 STAFFORDBOROUGH	
4 OAK RIDGE	14 HAMPTON OAKS	24 WEST HAMPTON VILLAGE	34 WOODSTREAM	
5 ELIZABETH PARK	15 SETTLERS LANDING	25 BARRETT HEIGHTS	35 PATRIOTS LANDING	
6 SHENANDOAH	16 MEADOW WOOD PARK	26 GLENWOOD FOREST	36 HAMPTON RUN	
7 CABIN CREEK WOOD	17 OAKBROOKE	27 STAFFORD MEWS	37 HIGHPOINTE	
8 COLONIAL TERRACE	18 WHITSONS RUN	28 SKY TERRACE	38 SPRING HILL	
9 PARK RIDGE	19 STONEHILL ESTATES	29 ONVILLE HEIGHTS	39 HOLLYMEAD	
10 WHITSON RIDGE	20 LIBERTY PLACE	30 PERRY FARMS	40 COURTS AT STAFFORD	

NOTES:

- SUBDIVISIONS ARE IDENTIFIED BY SHADING ON THE VICINITY MAP ON THIS SHEET.
- SUBDIVISION LIST OBTAINED FROM STAFFORD COUNTY GIS RECORDS AS OF OCTOBER 5, 2015. SUBDIVISIONS MAY OR MAY NOT BE RECORDED.

NOTES:

- NO LIBRARIES ARE LOCATED WITHIN ONE MILE OF THE SITE.
- NO PARKS ARE LOCATED WITHIN ONE MILE OF THE SITE.
- SUBJECT PROPERTY IS LOCATED IN THE GARRISONVILLE SUPERVISOR DISTRICT A.

SYMBOLS LEGEND

PR	PRIVATE STREET
PL	PLAT HAS BEEN RECORDED, THE ROADS ARE BEING BUILT TO STATE STANDARDS AND WILL BE TURNED OVER TO THE STATE AT A LATER DATE.
	SCHOOL LOCATED WITHIN ONE MILE OF THE SITE
	MAGISTERIAL DISTRICT LINE

PROPERTY OWNER / APPLICANT

WAKEFIELD DEVELOPMENT, LLC
ATTN: MATTHEW MURPHY
5314 WAKEFIELD ROAD
BETHESDA, MD 20816
PH: (240) 441-8106

LAND USE ATTORNEY

HIRSCHLER FLEISCHER
725 JACKSON STREET
FREDERICKSBURG, VA 22401

CIVIL ENGINEER / LAND PLANNING

BOWMAN CONSULTING GROUP
ATTN: JUSTIN R. TROIDL, P.E.
650-A NELMS CIRCLE
FREDERICKSBURG, VA 22406
PH: (540) 371-0268

SHEET INDEX

NO.	DESCRIPTION
1.	COVER SHEET
2.	LEGEND, NOTES & TABULATIONS
3.	EXISTING CONDITIONS PLAN
4.	GENERAL DEVELOPMENT PLAN
5.	CONCEPTUAL LANDSCAPING PLAN
6.	BOUNDARY PLAT
6 SHEETS IN TOTAL	

APPROVAL

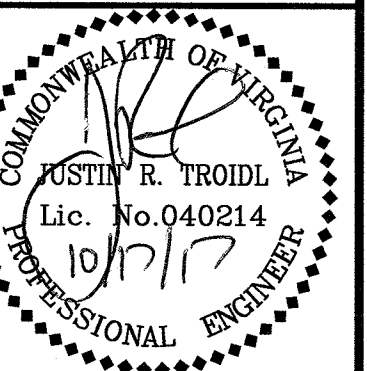
AGENT, BOARD OF SUPERVISORS DATE

Bowman
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COVER SHEET
WHITSON WOODS
GARRISONVILLE ELECTION DISTRICT
STAFFORD COUNTY, VIRGINIA

TBD
COUNTY PROJECT NUMBER



PLAN STATUS
10/18/17 1st SUBMISSION

DATE	DESCRIPTION
BO	SG
DESIGN	DRAWN
SCALE	H: N/A
	V: N/A

JOB No. 100097-01-001
DATE : OCTOBER 2017
FILE No. 100097-D-ZP-001

SHEET 1 OF 6

EXISTING	LEGEND DESCRIPTION	PROPOSED
	INDEX CONTOUR	
	INTERMEDIATE CONTOUR	
	EDGE OF PAVEMENT	
	CURB AND GUTTER	
	TRANSITION FROM CG-6 TO CG-6R	
	PROPOSED HEADER CURB	
	DEPARTING PROPERTY LINE	
	LOT LINE	
	RIGHT-OF-WAY	
	CENTERLINE	
	FLOOD PLAIN	
	CLEARING AND GRADING	
	TREE LINE	
	FLOW LINE OF SWALE	
	STREAM	
	OVERLAND RELIEF PATHWAY	
	FENCE LINE	
	EASEMENT	
	WATER LINE	
	WATER VALVE	
	REDUCER	
	SANITARY SEWER	
	STORM SEWER	
	CABLE TV	
	ELECTRIC SERVICE	
	TELEPHONE SERVICE	
	GAS LINE	
	SPOT ELEVATION	
	UTILITY POLE	
	SIGN	
	SANITARY SEWER IDENTIFIER	
	STORM DRAIN IDENTIFIER	
	EASEMENT IDENTIFIER	
	WATER METER	
	FIRE HYDRANT	
	PARKING INDICATOR INDICATES THE NUMBER OF TYPICAL PARKING SPACES	
	STREET LIGHT	
	VEHICLES PER DAY (TRAFFIC COUNT)	
	TEST PIT LOCATION RECOMMENDED/REQUIRED	
	CRITICAL SLOPE SLOPES TO BE STABILIZED PURSUANT TO VIRGINIA EROSION AND SEDIMENT CONTROL HANDBOOK	
	HANDICAP RAMP (CG-12) DENOTES LOCATION OF STD VDOT CG-12 AND/OR JURISDICTIONAL STANDARD RAMP CONSTRUCTION	
	DENOTES CLEAR SIGHT TRIANGLE	
	TREE	
	BENCHMARK	
	ASPHALT TRAIL	
	CONCRETE SIDEWALK	
	END WALLS	
	END SECTIONS	
	STOP SIGN	
	STREET SIGN	
	OVERHEAD ELECTRIC	
	OVERHEAD TELEPHONE	
	HANDICAP PARKING SPACE (VAN)	
	RIP RAP	
	CROSSWALK	

Cad file name : P:\100097 - Whitson Woods\100097-01-001 (ENG)\Engineering\Engineering Plans\100097-D-ZP-001\002-100097-D-ZP-001-LGD.dwg

ABBREVIATIONS

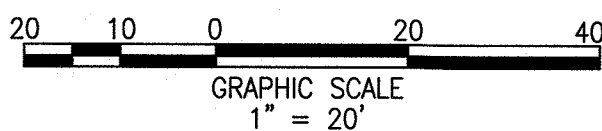
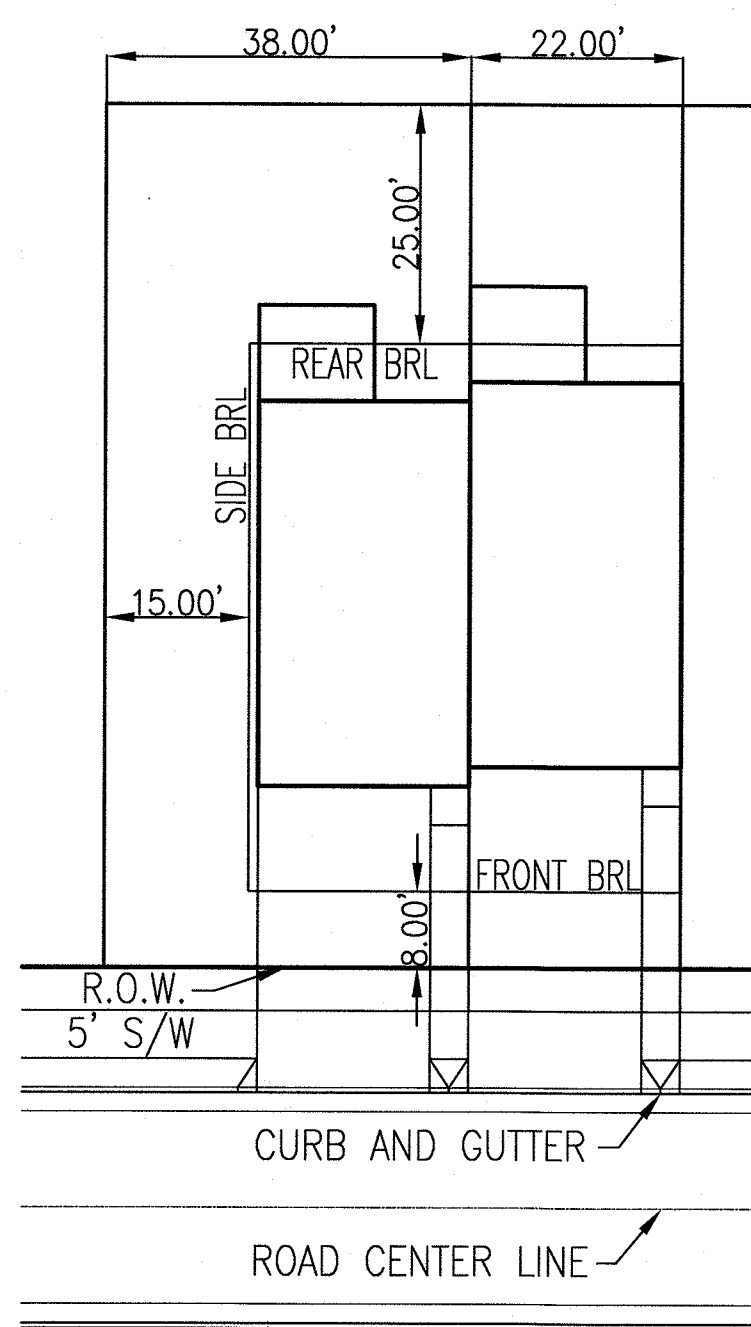
A	AREA OF ARC	JB	JUNCTION BOX
AD	ALGEBRAIC DIFFERENCE	K	SIGHT DISTANCE COEFFICIENT
AASHTO	AMERICAN ASSOCIATION OF STATE HWY. & TRANSP. OFFICIALS	Ke	CULVERT ENTRANCE LOSS COEFFICIENT
ASTM	AMERICAN SOCIETY FOR TESTING AND MATERIALS	L	LENGTH
AC	ACRE	LAT.	LATERAL
ACGR	AGGREGATE	LF	LINEAR FOOT
ANSI	AMERICAN NATIONAL STANDARDS INSTITUTE	LL	LOWER LEVEL
ASPH	ASPHALT	LOS	LINE OF SIGHT
AWWA	AMERICAN WATER WORKS ASSOCIATION	LP	LOW POINT
		LS	LOADING SPACE
		LCG	LIMITS OF CLEARING & GRADING
		LT	LEFT
B	BREADTH	M	MONUMENT FOUND
BC	BOTTOM OF CURB	MECH.	MECHANICAL
BF	BASEMENT FLOOR	MH	MANHOLE
BLDG	BUILDING	MI	MILE
BM	BENCHMARK	MPH	MILES PER HOUR
BMP	BEST MANAGEMENT PRACTICES (WATER QUALITY)	MS	MEDIAN STRIP
BOV	BLOW OFF VALVE	MSL	MEAN SEA LEVEL
BRL	BUILDING RESTRICTION LINE	MIN	MINIMUM
BVCS	BEGINNING VERTICAL CURVE STATION	MAX	MAXIMUM
BVCE	BEGINNING VERTICAL CURVE ELEVATION	N	NOW OR FORMERLY
BW	BOTTOM OF WALL	N/F	NET FLOOR AREA
		NO.#	NUMBER
C	CENTER CORRECTION ON VERTICAL CURVE	NBL	NORTH BOUND LANE
C	COEFFICIENT OF RUNOFF	N/A	NOT APPLICABLE
CATV	CABLE TELEVISION	OC	ON CENTER
CB	CATCH BASIN OR CHORD BEARING	OD	OUTSIDE DIAMETER
CC	CENTER TO CENTER	OH	OVERHANG
CFS (Q)	CUBIC FEET PER SECOND	O/H	OVERHEAD
CH	CHORD	P	PERIMETER
CG	CURB AND GUTTER	PC	POINT OF CURVATURE
CIP	CAST IRON PIPE	PCC	POINT OF COMPOUND CURVE
C	CENTERLINE	PCEP	POINT OF CURVE EDGE OF PAVEMENT
CLASS	CLASS	PCTC	POINT OF CURVATURE TOP OF CURB
CMP	CORRUGATED METAL PIPE	PFM	PUBLIC FACILITIES MANUAL
CONC.	CONCRETE	PG.	PAGE
CO	CLEAN OUT	PGL	POINT OF GRADE LINE
CONT.	CONTINUATION	PI	POINT OF INTERSECTION
CS	CURB STOP	PL	PROPERTY LINE
CT	COURT	PL	POINT OF REVERSE CURVES
C/L	CENTERLINE	PRELIM.	PRELIMINARY
		PROP.	PROPOSED
D	DEPTH	PT	POINT OF TANGENCY
DA	DRAINAGE AREA	PVC	POINT OF VERTICAL CURVATURE
DB	DEED BOOK	PVC	POLY VINYL CHLORIDE
DEQ	VA. DEPARTMENT OF ENVIRONMENTAL QUALITY	PVI	POINT OF VERTICAL INTERSECTION
DET.	DETAIL	PVM/T	PAVEMENT
DI	DROP INLET	PVRC	POINT OF VERTICAL REVERSE CURVE
DIA.	DIAMETER	PVT	POINT OF VERTICAL TANGENT
DIP	DUCTILE IRON PIPE	P&P	PLAN AND PROFILE
DM	DROP MANHOLE	Q	Q(C.F.S.) AMOUNT OF RUNOFF
DR.	DRIVE		
DRNG	DRAINAGE	R	RADIUS
DRWG.	DRAWING	R.r	REQUIRED
D/W	DRIVE WAY	REQD	REQUIRED
DU	DELTA	RCP	REINFORCED CONCRETE PIPE
DU	DWELLING UNITS	RD.	ROAD
DOM	DOMESTIC	RET.	RETAINING
		REV.	REVISION
E	RATE OF SUPER ELEVATION IN FEET PER FOOT	RR	RAILROAD
e	EROSION CONTROL	ROUTE	ROUTE
EGL	ENERGY GRADIENT LINE	R/W	RIGHT OF WAY
EQC	ENVIRONMENTAL QUALITY CORRIDOR	RGP	ROUGH GRADING PLAN
ESM/T	EASEMENT	ROM	REMOTE OUTSIDE MONITOR
EG	EDGE OF GUTTER	RMA	RESOURCE MANAGEMENT AREA
ELEV.	ELEVATION	RPA	RESOURCE PROTECTION AREA
ENT.	ENTRANCE	RT	RIGHT
EP	EDGE OF PAVEMENT		
ES	END SECTION	S	SPEED OR SLOPE
EVCS	ENDING VERTICAL CURVE STATION	SAN.	SANITARY
EVCE	ENDING VERTICAL CURVE ELEVATION	SBL	SOUTH BOUND LANE
EW	END WALL	SD	SIGHT DISTANCE
EX.	EXISTING	SECT.	SECTION
ELEC.	ELECTRICAL	SEW.	SEWER
EBL	EAST BOUND LANE	SH.	SHOULDER
		SF	SQUARE FEET
F	FIRE LINE	SP	SPACE
FAR	FLOOR AREA RATIO	SP	SITE PLAN
FC	FACE OF CURB	SPEC.	SPECIFICATION
FF	FIRST FLOOR	STA.	STATION
FG	FINISHED GRADE	STD.	STANDARD
FH	FIRE HYDRANT	STK.	STACK
FL	FLOW LINE	STM.	STORM
FP	FLOOD PLAIN	SVC.	SERVICE
FS	FACTOR OF SAFETY	SWM	STORM WATER MANAGEMENT
FT.	FOOT	S/W	SIDE WALK
FOY.	FOYER	Sx	CROSS SLOPE
FPS	FEET PER SECOND		
		I	TANGENT
G	GRAVITY	TB	TEST BORE
G	GAS	TC	TOP OF CURB
GFA	GROSS FLOOR AREA	Tc	TIME OF CONCENTRATION
Gr.	GRADE	TEL	TELEPHONE
GR	GUARD RAIL	TP	TEST PIT
GAR	GARAGE	TP	TREE PROTECTION
		TW	TOP OF BANK
H	HEIGHT	TW	TOP OF WALL
H	HEAD	TW	TAILWATER
HC	HANDICAPPED PARKING SPACE		
HGL	HYDRAULIC GRADIENT LINE	UD	UNDERDRAIN
HP	HIGH POINT	UG	UNDERGROUND
HR	HAND RAIL	UL	UPPER LEVEL
HT.	HEIGHT	UP	UTILITY POLE
HW	HEADWATER	VAN	HANDICAPPED VAN PARKING SPACE
		V	VELOCITY
I	RAINFALL INTENSITY	V	VOLUME
ID	INSIDE DIAMETER	VA	VIRGINIA
IN.	INCH	VC	VERTICAL CURVE
INV.	INVERT	VDOT	VA. DEPT. OF TRANSPORTATION
IP	IRON PIPE	VF	VERTICAL FOOT
IPF	IRON PIPE FOUND		
IPS	IRON PIPE SET	W	WEIGHT OR WIDTH
		W/M	WATER MAIN
		WBL	WEST BOUND LANE
		WOA	WATER QUALITY IMPACT ASSESSMENT
		XF	TRANSFORMER
		YI	YARD INLET
		YR	YEAR
		Z	SIDE SLOPES

NOTES

- THE APPLICANT REQUESTS A MINOR MODIFICATION TO THE APPROVED PROFFER STATEMENT, DATED JUNE 4, 2013, ASSOCIATED WITH APPLICATION RC1100212 (ORDINANCE 013-26, APPROVED JUNE 18, 2013) WHICH RECLASSIFIED THE SUBJECT PROPERTY FROM R-1, SUBURBAN RESIDENTIAL ZONING DISTRICT TO R-3 URBAN RESIDENTIAL - HIGH DENSITY.
- BOUNDARY INFORMATION AS SHOWN HEREON IS COMPILED FROM EXISTING LAND RECORDS OF STAFFORD COUNTY AND A FIELD SURVEY PERFORMED BY THE ENGINEERING GROUP ON FEBRUARY 16, 2011. TOPOGRAPHIC INFORMATION IS COMPILED FROM A FIELD SURVEY COMPLETED IN OCTOBER, 2013. THE CONTOUR INTERVAL IS 2 FEET. A TITLE REPORT HAS NOT BEEN PROVIDED AT THIS TIME AND ALL EASEMENTS/ENCUMBRANCES MAY NOT BE SHOWN.
- THE SURVEYED PROPERTIES CURRENTLY STAND IN THE NAME OF WAKEFIELD DEVELOPMENT LLC, AS RECORDED IN INSTRUMENT NUMBER LR170017521 AMONG THE LAND RECORDS OF STAFFORD COUNTY, VIRGINIA. THE PROPERTY IS IDENTIFIED BY THE STAFFORD COUNTY ASSESSOR AS TAX MAP 20-125.
- THE PROPERTY SHOWN HEREON LIES WITHIN FLOOD ZONE "AE" (SPECIAL FLOOD HAZARD AREAS SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD) WITH BASE FLOOD ELEVATIONS DETERMINED; AND ZONE "X" (OTHER FLOOD AREAS) AREA OF 0.2% ANNUAL CHANCE FLOOD, AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE, AND AREAS PROTECTED BY LEVES FROM 1% ANNUAL CHANCE FLOOD; AND ZONE "X" (OTHER AREAS) AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN, ALL AS SCALED FROM THE FLOOD INSURANCE RATE MAP, MAP NUMBER 510154 0133E, EFFECTIVE DATE: FEBRUARY 4, 2005.
- RESOURCE PROTECTION AREA (RPA) AND ASSOCIATED WETLANDS SHOWN ON THIS PLAN WERE DELINEATED BY ANGLER ENVIRONMENTAL AND SHOWN ON PREVIOUSLY SUBMITTED CONSTRUCTION PLANS FOR WHITSON WOODS (SUB 231373).
- THERE ARE NO KNOWN SOLID WASTE DUMPS OR SANITARY LANDFILLS ON SITE AT THE TIME OF SURVEY.
- THERE ARE NO KNOWN CEMETERIES OR HISTORICAL SITES LOCATED ON THE SUBJECT PROPERTY. THERE ARE NO EXISTING STRUCTURES LOCATED ON THE SUBJECT PROPERTY.
- PROPOSED DEVELOPMENT TO BE SERVED BY PUBLIC WATER AND SEWER. AVAILABILITY AND CAPACITY TO BE VERIFIED AT TIME OF FINAL SITE PLAN.
- STORMWATER MANAGEMENT TO BE PROVIDED IN ACCORDANCE WITH THE REQUIREMENTS OF THE STAFFORD COUNTY STORMWATER MANAGEMENT DESIGN MANUAL, THE VIRGINIA STORMWATER MANAGEMENT HANDBOOK, AND OTHER RELEVANT STATE/FEDERAL REGULATIONS. COMPLIANCE SHALL BE DEMONSTRATED WITH THE FINAL SITE PLAN.
- IMPACTS TO WETLANDS AND OTHER ENVIRONMENTALLY SENSITIVE AREAS SHALL BE PERMITTED PRIOR TO CONSTRUCTION. COMPLIANCE WITH ALL RELEVANT REGULATIONS SHALL BE DEMONSTRATED WITH THE FINAL SITE PLAN.

DETAILS - TYPICAL LOTS

SCALE: 1"=20'



TABULATIONS

SUBJECT PROPERTY INFORMATION	
PROPERTY ID:	20-125
SIZE:	±17.6367 ACRES
CURRENT ZONING:	R-3, URBAN RESIDENTIAL-HIGH DENSITY
OWNER:	WAKEFIELD DEVELOPMENT LLC

PROPOSED DEVELOPMENT TABULATIONS	
PROPOSED ZONING:	R-3 (NO CHANGE) - MINOR PROFFER AMENDMENT
PROPOSED LOT TYPES:	TOWNHOUSE (SINGLE-FAMILY ATTACHED)
PROPOSED NO. OF LOTS:	55
MAXIMUM DENSITY ALLOWED:	7.0 DU / ACRE = 123 UNITS
PROPOSED DENSITY:	3.12 DU / ACRE
MINIMUM OPEN SPACE RATIO:	0.25 (OR ±4.41 ACRES)
OPEN SPACE PROVIDED:	0.70 (OR ±12.50 ACRES)

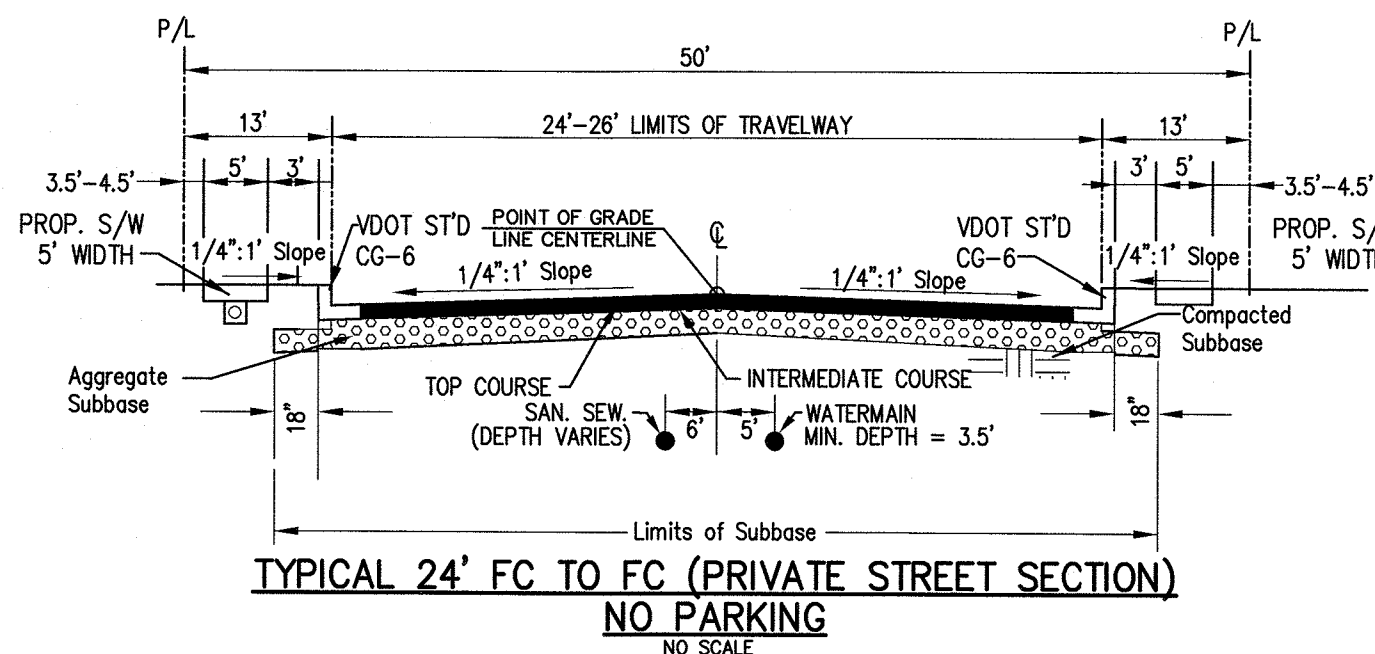
BULK REQUIREMENTS:	
MINIMUM LOT SIZE	TOWNHOUSE LOT
MINIMUM LOT WIDTH	NO REQUIREMENT
MINIMUM YARDS	20 FEET
FRONT	8 FEET
SIDE	15 FEET (END UNITS)
BACK	25 FEET
MAXIMUM HEIGHT:	40 FEET

PARKING REQUIREMENTS:	
REQUIREMENT	2.2 SPACES PER UNIT = 121 SPACES
PROVIDED	2 SPACES PER UNIT + 12 GUEST SPACES = 122 SPACES

NOTE: TABULATIONS ARE PRELIMINARY AND SUBJECT TO MINOR REVISION WITH FINAL ENGINEERING.

DETAILS - STREET SECTION

SCALE: NONE



LEGEND, NOTES & TABULATIONS

WHITSON WOODS

GARRISONVILLE ELECTION DISTRICT

Bowman Consulting Group, Ltd.

650-A Nemo Circle

Friedrichsburg, Virginia 22405

Phone: (540) 371-0268

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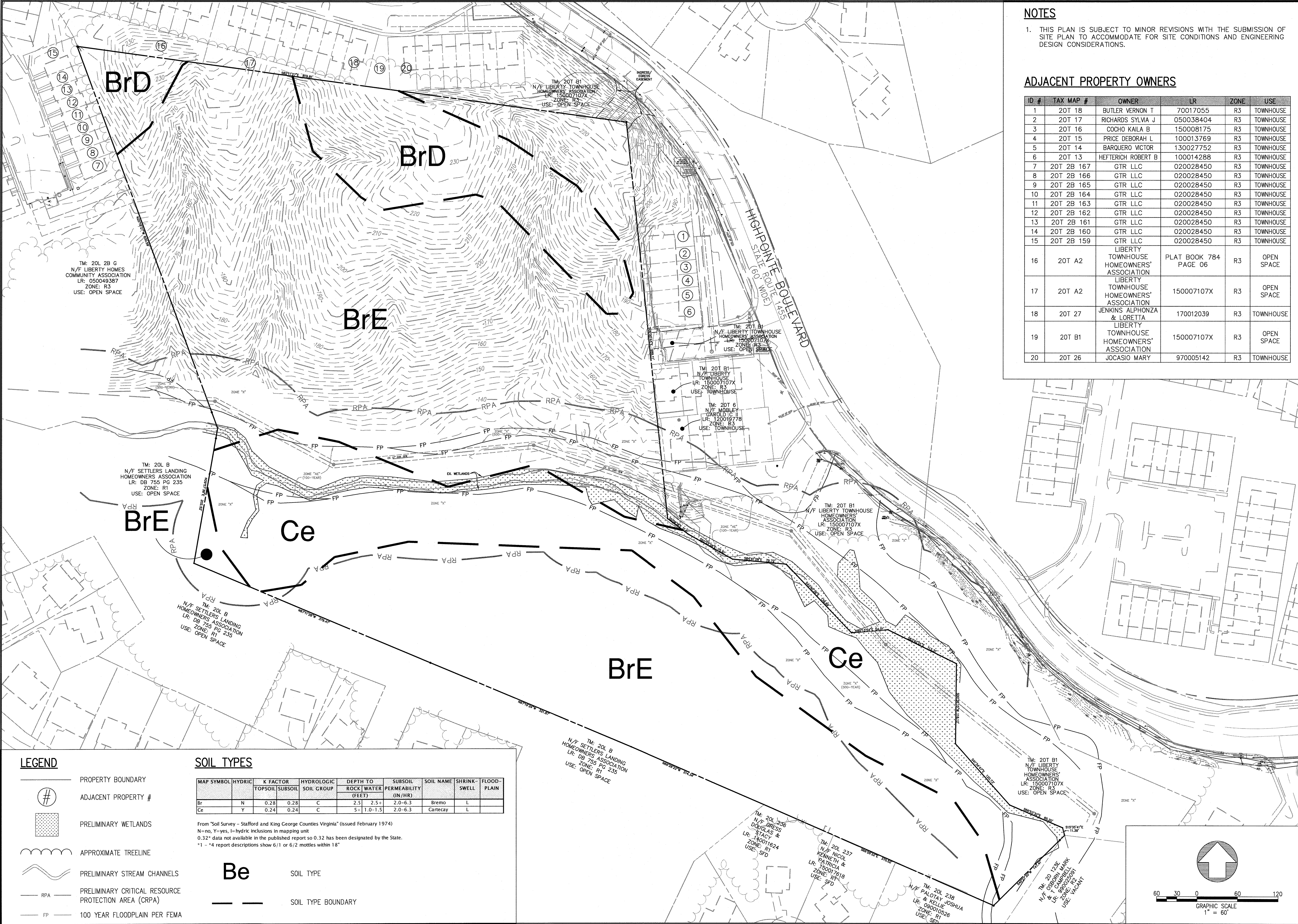
TBD
COUNTY PROJECT NUMBER



PLAN STATUS
10/18/17 1st SUBMISSION

DATE	DESCRIPTION
BO	SG
DESIGN	JRT
DRAWN	CHKD
SCALE	H: N/A
	V: N/A
JOB No.	100097-01-001
DATE	OCTOBER 2017
FILE No.	100097-D-ZP-001

SHEET 2 OF 6



NOTES

- 1. THIS PLAN IS SUBJECT TO MINOR REVISIONS WITH THE SUBMISSION OF SITE PLAN TO ACCOMMODATE FOR SITE CONDITIONS AND ENGINEERING DESIGN CONSIDERATIONS.

ADJACENT PROPERTY OWNERS

ID #	TAX MAP #	OWNER	LR	ZONE	USE
1	20T 18	BUTLER VERNON T	70017055	R3	TOWNHOUSE
2	20T 17	RICHARDS SYLVIA J	050038404	R3	TOWNHOUSE
3	20T 16	COCHO KAILA B	150008175	R3	TOWNHOUSE
4	20T 15	PRICE DEBORAH L	100013769	R3	TOWNHOUSE
5	20T 14	BARQUERO VICTOR	130027752	R3	TOWNHOUSE
6	20T 13	HEFTERICH ROBERT B	100014288	R3	TOWNHOUSE
7	20T 2B 167	GTR LLC	020028450	R3	TOWNHOUSE
8	20T 2B 166	GTR LLC	020028450	R3	TOWNHOUSE
9	20T 2B 165	GTR LLC	020028450	R3	TOWNHOUSE
10	20T 2B 164	GTR LLC	020028450	R3	TOWNHOUSE
11	20T 2B 163	GTR LLC	020028450	R3	TOWNHOUSE
12	20T 2B 162	GTR LLC	020028450	R3	TOWNHOUSE
13	20T 2B 161	GTR LLC	020028450	R3	TOWNHOUSE
14	20T 2B 160	GTR LLC	020028450	R3	TOWNHOUSE
15	20T 2B 159	GTR LLC	020028450	R3	TOWNHOUSE
16	20T A2	LIBERTY TOWNHOUSE HOMEOWNERS' ASSOCIATION	PLAT BOOK 784 PAGE 06	R3	OPEN SPACE
17	20T A2	LIBERTY TOWNHOUSE HOMEOWNERS' ASSOCIATION	150007107X	R3	OPEN SPACE
18	20T 27	JENKINS ALPHONZA & LORETTA	170012039	R3	TOWNHOUSE
19	20T B1	LIBERTY TOWNHOUSE HOMEOWNERS' ASSOCIATION	150007107X	R3	OPEN SPACE
20	20T 26	JOCASIO MARY	970005142	R3	TOWNHOUSE

LEGEND

- PROPERTY BOUNDARY
- ADJACENT PROPERTY #
- PRELIMINARY WETLANDS
- APPROXIMATE TREELINE
- PRELIMINARY STREAM CHANNELS
- RPA PRELIMINARY CRITICAL RESOURCE PROTECTION AREA (CRPA)
- FP 100 YEAR FLOODPLAIN PER FEMA

SOIL TYPES

MAP SYMBOL	HYDRIC TOPSOIL	K FACTOR	HYDROLOGIC SUBSOIL	DEPTH TO ROCK (FEET)	SUBSOIL PERMEABILITY (IN/HR)	SOIL NAME	SHRINK-SWELL	FLOOD-PLAIN
Br	N	0.28	0.28	2.5	2.5+	Bremo	L	
Ce	Y	0.24	0.24	5-	1.0-1.5	Cartecay	L	

From "Soil Survey - Stafford and King George Counties Virginia" (issued February 1974)
N=no, Y=yes, I=hydric inclusions in mapping unit
0.32" data not available in the published report so 0.32 has been designated by the State.
*1 - *4 report descriptions show 6/1 or 6/2 mottles within 18"

Be

SOIL TYPE

SOIL TYPE BOUNDARY

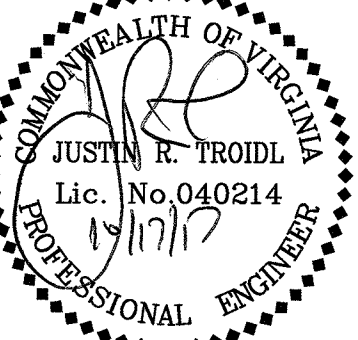
EXISTING CONDITIONS PLAN

WHITSON WOODS

GARRISONVILLE ELECTION DISTRICT

STAFFORD COUNTY, VIRGINIA

TBD
COUNTY PROJECT NUMBER



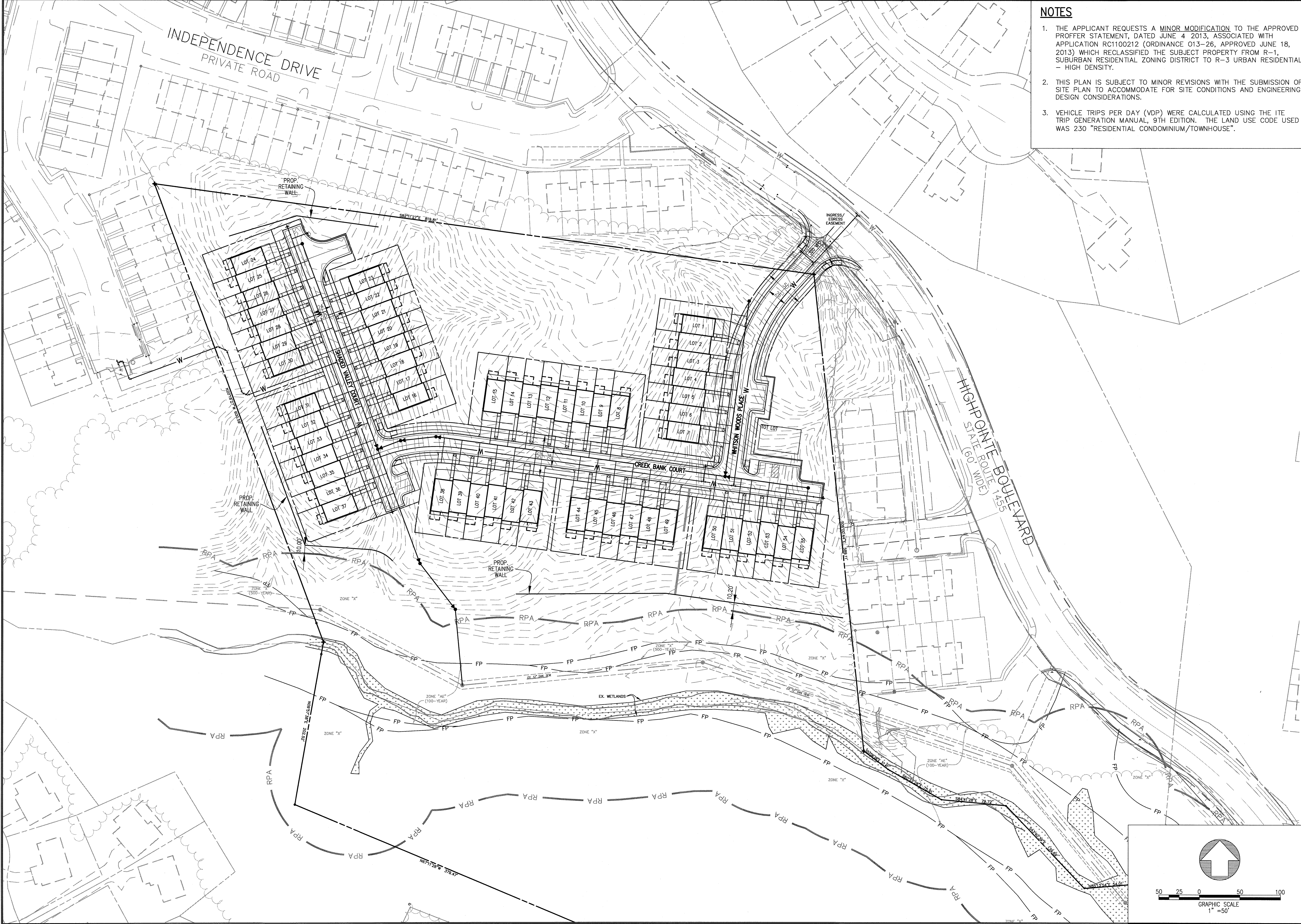
PLAN STATUS
10/18/17 1st SUBMISSION

DATE: 10/18/17
BO DESIGN
SG DRAWN
JRT CHKD
SCALE: H: 1" = 60' V:
JOB No. 100097-01-001
DATE: OCTOBER 2017
FILE No. 100097-D-ZP-001

SHEET 3 OF 6



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NOTES

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2. THIS PLAN IS SUBJECT TO MINOR REVISIONS WITH THE SUBMISSION OF SITE PLAN TO ACCOMMODATE FOR SITE CONDITIONS AND ENGINEERING DESIGN CONSIDERATIONS.
3. VEHICLE TRIPS PER DAY (VDP) WERE CALCULATED USING THE ITE TRIP GENERATION MANUAL, 9TH EDITION. THE LAND USE CODE USED WAS 230 "RESIDENTIAL CONDOMINIUM/TOWNHOUSE".

Bowman
CONSULTING

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GENERAL DEVELOPMENT PLAN

WHITSON WOODS

GARRISONVILLE ELECTION DISTRICT

STAFFORD COUNTY, VIRGINIA

TBD

COUNTY PROJECT NUMBER

JUSTIN R. TROIDL
Lic. No. 040214
PROFESSIONAL ENGINEER

PLAN STATUS

10/18/17 1st SUBMISSION

DATE	DESCRIPTION
BO DESIGN	SG DRAWN JRT
SCALE	H: 1" = 50'
	V:
JOB No.	100097-01-001
DATE :	OCTOBER 2017
FILE No.	100097-D-ZP-001

GRAPHIC SCALE
1" = 50'

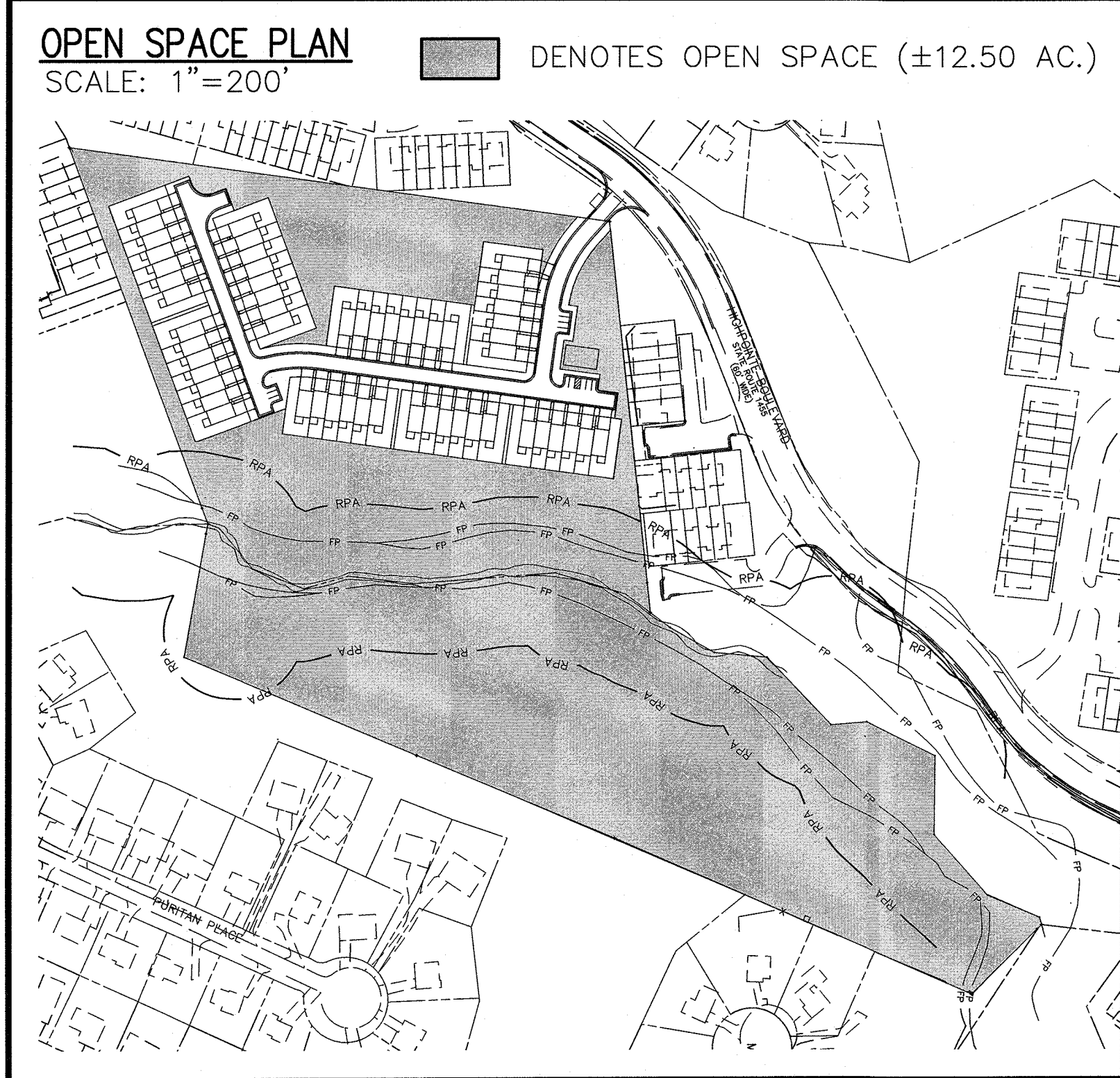
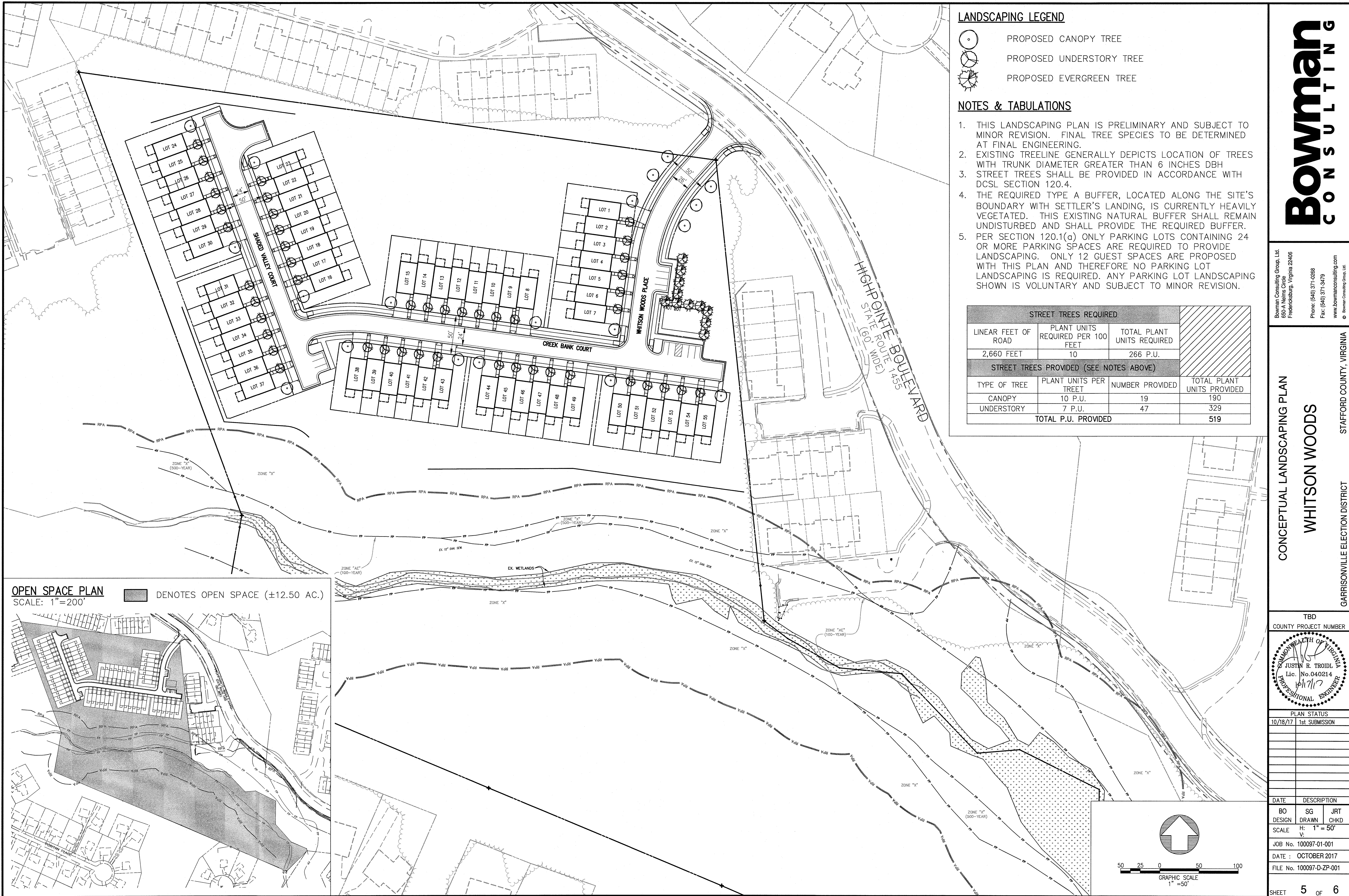
50 25 0 50 100

SHEET

4

OF

6



LANDSCAPING LEGEND

- PROPOSED CANOPY TREE
- PROPOSED UNDERSTORY TREE
- PROPOSED EVERGREEN TREE

NOTES & TABULATIONS

- THIS LANDSCAPING PLAN IS PRELIMINARY AND SUBJECT TO MINOR REVISION. FINAL TREE SPECIES TO BE DETERMINED AT FINAL ENGINEERING.
- EXISTING TREELINE GENERALLY DEPICTS LOCATION OF TREES WITH TRUNK DIAMETER GREATER THAN 6 INCHES DBH
- STREET TREES SHALL BE PROVIDED IN ACCORDANCE WITH DCSL SECTION 120.4.
- THE REQUIRED TYPE A BUFFER, LOCATED ALONG THE SITE'S BOUNDARY WITH SETTLER'S LANDING, IS CURRENTLY HEAVILY VEGETATED. THIS EXISTING NATURAL BUFFER SHALL REMAIN UNDISTURBED AND SHALL PROVIDE THE REQUIRED BUFFER.
- PER SECTION 120.1(g) ONLY PARKING LOTS CONTAINING 24 OR MORE PARKING SPACES ARE REQUIRED TO PROVIDE LANDSCAPING. ONLY 12 GUEST SPACES ARE PROPOSED WITH THIS PLAN AND THEREFORE NO PARKING LOT LANDSCAPING IS REQUIRED. ANY PARKING LOT LANDSCAPING SHOWN IS VOLUNTARY AND SUBJECT TO MINOR REVISION.

STREET TREES REQUIRED			
LINEAR FEET OF ROAD	PLANT UNITS REQUIRED PER 100 FEET	TOTAL PLANT UNITS REQUIRED	
2,660 FEET	10	266 P.U.	
STREET TREES PROVIDED (SEE NOTES ABOVE)			
TYPE OF TREE	PLANT UNITS PER TREE	NUMBER PROVIDED	TOTAL PLANT UNITS PROVIDED
CANOPY	10 P.U.	19	190
UNDERSTORY	7 P.U.	47	329
TOTAL P.U. PROVIDED			519

CONCEPTUAL LANDSCAPING PLAN

WHITSON WOODS

TBD
COUNTY PROJECT NUMBER

COMMONWEALTH OF VIRGINIA
JUSTIN R. TROIDL
Lic. No. 040214
PROFESSIONAL ENGINEER

PLAN STATUS
10/18/17 1st SUBMISSION

DATE	DESCRIPTION
BO	SG
DESIGN	DRAWN
SCALE	H: 1" = 50'
	V:
JOB No.	100097-01-001
DATE :	OCTOBER 2017
FILE No.	100097-D-ZP-001

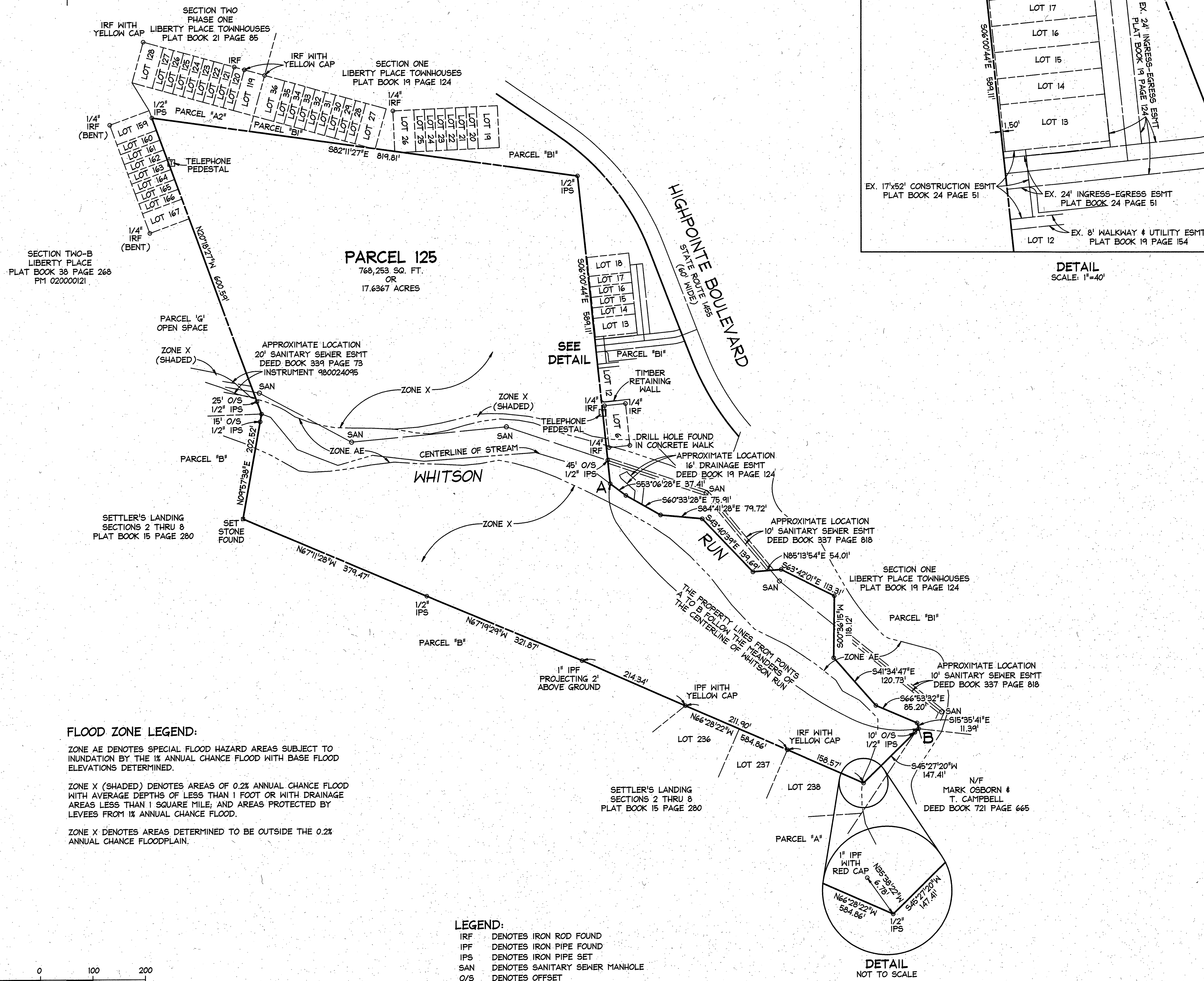
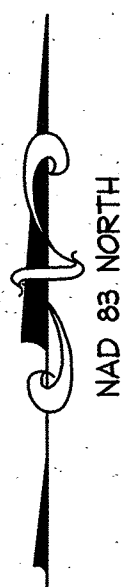
SHEET 5 OF 6

Bowman
CONSULTING

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Fredericksburg, Virginia 22406

Phone: (540) 371-0268
Fax: (540) 371-3479
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GARRISONVILLE ELECTION DISTRICT STAFFORD COUNTY, VIRGINIA



FLOOD ZONE LEGEND:

ZONE AE DENOTES SPECIAL FLOOD HAZARD AREAS SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD WITH BASE FLOOD ELEVATIONS DETERMINED.

ZONE X (SHADED) DENOTES AREAS OF 0.2% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE; AND AREAS PROTECTED BY LEVEES FROM 1% ANNUAL CHANCE FLOOD.

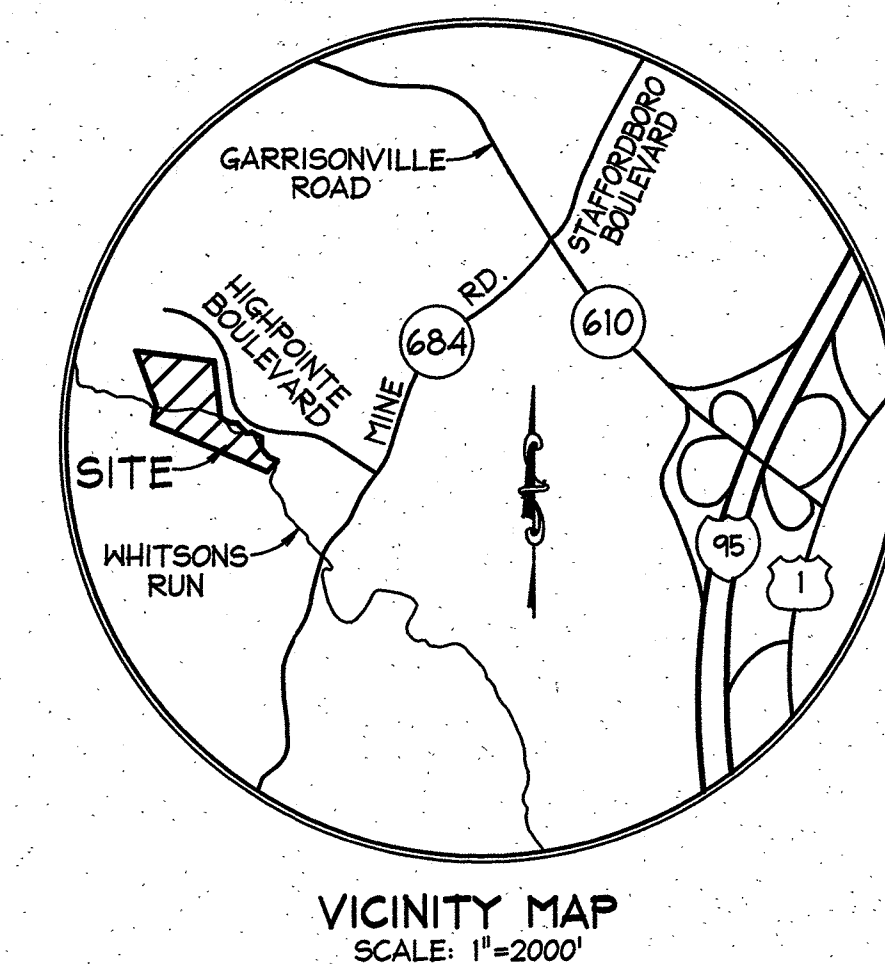
ZONE X DENOTES AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.

LEGEND:

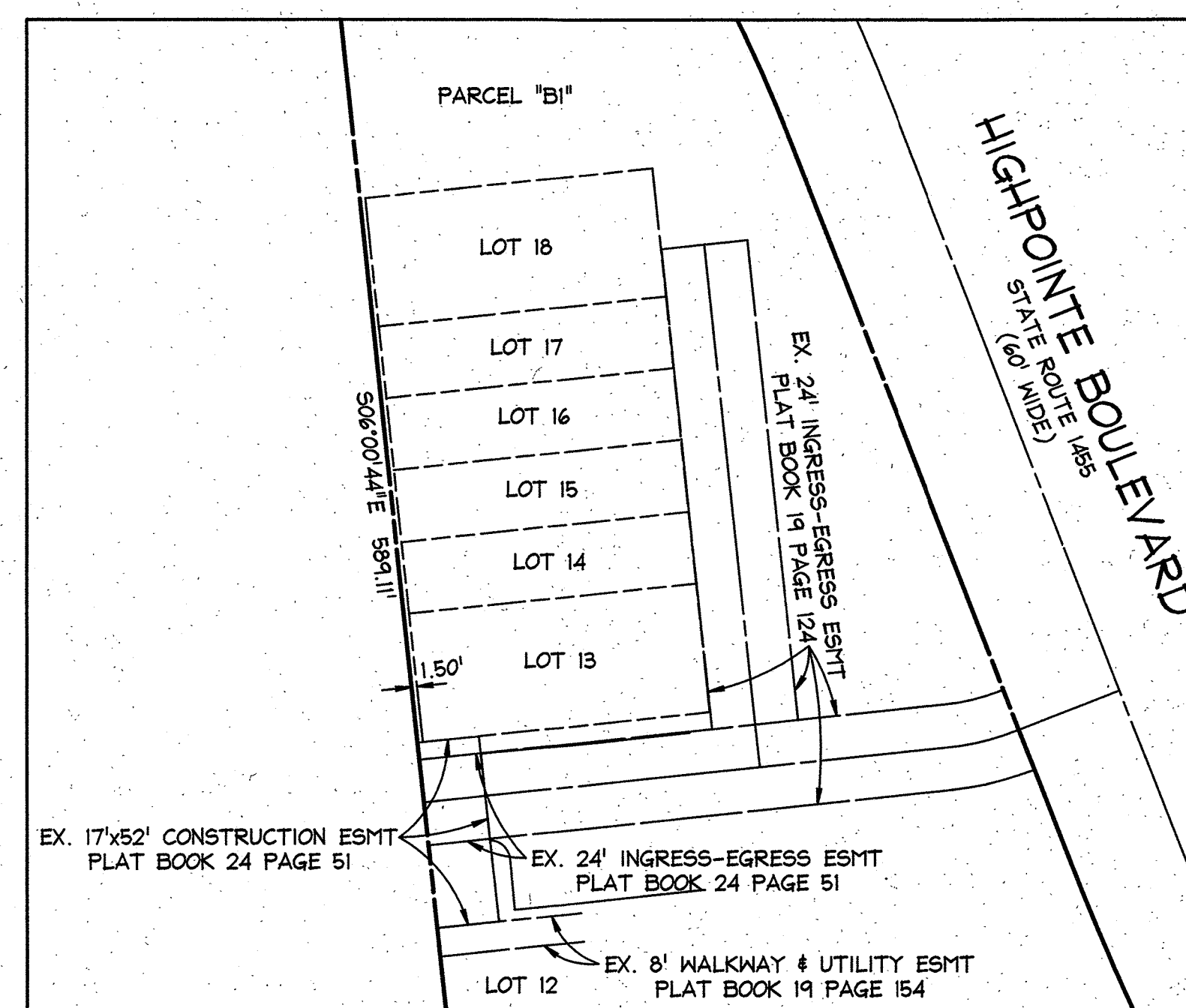
IRF DENOTES IRON ROD FOUND
IPF DENOTES IRON PIPE FOUND
IPS DENOTES IRON PIPE SET
SAN DENOTES SANITARY SEWER MANHOLE
O/S DENOTES OFFSET

NOTES:

1. NO TITLE REPORT FURNISHED. ALL UNDERLYING EASEMENTS MAY NOT BE SHOWN.
2. THE PROPERTY DELINEATED ON THIS PLAT IS LOCATED ON STAFFORD COUNTY TAX MAP 20 PARCEL 125 AND IS ZONED: SUBURBAN RESIDENTIAL.
3. THIS PLAT REPRESENTS A CURRENT FIELD SURVEY BY THE ENGINEERING GROUPE, INC.
4. THE FLOOD INFORMATION SHOWN WAS SCALED FROM THE FLOOD INSURANCE RATE MAP, MAP NUMBER 5101540133E, EFFECTIVE DATE: FEBRUARY 4, 2005.



VICINITY MAP
SCALE: 1"=2000'

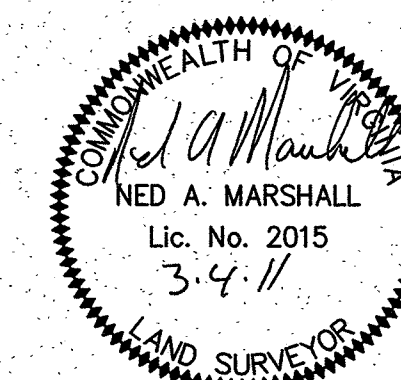


DETAIL
SCALE: 1"=40'

EX. 17'x52' CONSTRUCTION ESMT
PLAT BOOK 24 PAGE 51

EX. 24' INGRESS-EGRESS ESMT
PLAT BOOK 24 PAGE 51

EX. 8' WALKWAY & UTILITY ESMT
PLAT BOOK 19 PAGE 154



PLAT SHOWING
BOUNDARY SURVEY
ON THE PROPERTY OF
D.R. HORTON, INC.
INSTRUMENT LR 030043028
ROCK HILL MAGISTERIAL DISTRICT
STAFFORD COUNTY, VIRGINIA
SCALE: 1"=100' DATE: MARCH 4, 2011

The Engineering Groupe Inc.
Engineers | Surveyors | Planners
13580 Groupe Drive, Suite 200, Woodbridge, Virginia 22192
Phone (703) 670-0985 Fax (703) 670-7769

DRAFTED BY: BGB CHECKED BY: NAM BS-85 SHEET 1 OF 1