

# SHEETZ @ ENON ROAD

## GENERALIZED DEVELOPMENT PLAN

(RZ # \_\_\_\_\_, CUP # \_\_\_\_\_)

### SITE STATISTICS

#### PROJECT NAME

SHEETZ @ ENON ROAD	TM 46-17A	0.4566 ACRE
TAX MAP:	TM 45-283	2.0641 ACRES
	TM 45-284 (PART 'A')	1.1217 ACRES
	TM 45-284 (PART 'B')	0.2473 ACRE
	<b>TOTAL</b>	<b>3.8897 ACRES</b>

PROPOSED USE: CONVENIENCE CENTER WITH VEHICLE FUEL SALES

#### SITE CALCULATIONS

TOTAL SITE AREA: 3.8897-ACRES / 169,437 SQ. FT.

#### ZONING

CURRENT ZONING: A-1 & B-1  
 PROPOSED ZONING: B-2 WITH CONDITIONAL USE PERMIT FOR VEHICLE FUEL SALES  
 OVERLAY DISTRICT: HIGHWAY CORRIDOR OVERLAY DISTRICT / AIRPORT OVERLAY

#### BUILDING SETBACKS

FRONT: 40-FEET  
 SIDE: 0-FEET  
 BACK: 25-FEET

#### BUILDING AREA

PROPOSED BUILDING: 6,139 SQ. FT.

#### BUILDING HEIGHT

PERMITTED: 65 FT  
 PROVIDED: 25 FT

#### PARKING REQUIREMENTS

ASSUME 20% RESTAURANT (1,228 SF), 80% RETAIL (4,911 SF)  
 VEHICLE FUEL SALES: 1 PER PUMP x 6 PUMPS = 6 SPACES  
 CONVENIENCE CENTER: 6 SPACES PER 1,000 GFA x 4,911 SF = 29 SPACES  
 TOTAL PARKING REQUIRED: 35-SPACES  
 PARKING PROVIDED: 48 SPACES (INCLUDES 2 HANDICAPPED)  
 REGULAR: 48 SPACES (9'x20')  
 LOADING SPACES REQUIRED: 1 SPACE [12'x25']  
 LOADING SPACES PROVIDED: 1 SPACE [12'x25']  
 HANDICAPPED SPACES REQUIRED: 2 SPACES  
 HANDICAPPED SPACES PROVIDED: 2 SPACES  
 VAN ACCESSIBLE SPACES: 1 SPACE PER 8 HANDICAPPED SPACES (2 MINIMUM)  
 VAN ACCESSIBLE SPACES PROVIDED: 2 SPACES

#### ITE TRIP GENERATION

Table 2: Sheetz - ITE Trip Generation - Typical Weekday - 11<sup>th</sup> Edition

Land Use (ITE Land Use Code)	Size	Average Weekday Daily Traffic (vpd)		AM Peak Hour		PM Peak Hour	
		Enter	Exit	Enter	Exit	Enter	Exit
Convenience Store / Gas Station (GFA 5.5 - 10 kSF) (945)	12 f.p.	2,075	2,075	190	189	161	162
<b>Driveway Volumes</b>		<b>2,075</b>	<b>2,075</b>	<b>190</b>	<b>189</b>	<b>161</b>	<b>162</b>
ITE Pass-By Trips:							
Convenience Store - 76% AM / 75% PM		-1,567	-1,567	-144	-144	-121	-121
<b>Primary Trips</b>		<b>508</b>	<b>508</b>	<b>46</b>	<b>45</b>	<b>40</b>	<b>41</b>

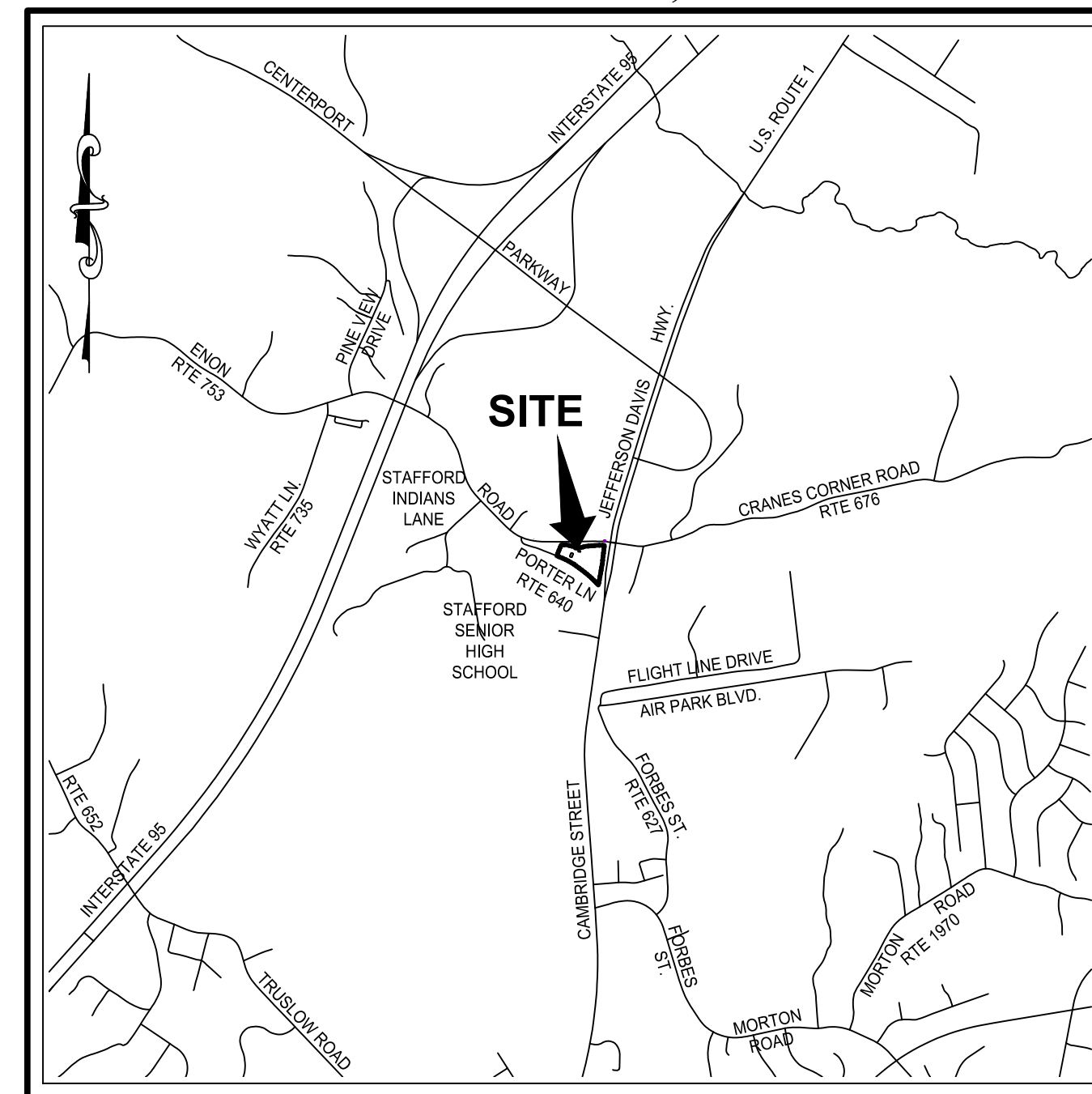
#### BULK REGULATIONS (B-2)

TOTAL BUILDING SQUARE FOOTAGE: 6,139 SQ. FT.  
 MAXIMUM FLOOR AREA RATIO: 0.70  
 PROPOSED FLOOR AREA RATIO: 0.04 = (6,139 / 169,437)  
 MINIMUM OPEN SPACE RATIO: 0.25  
 PROPOSED OPEN SPACE: 169,437 - 91,088 = 78,349 SQ. FT.  
 PROPOSED OPEN SPACE RATIO: 0.46 = (78,349 / 169,437)  
 IMPERVIOUS AREA: 91,088 SQ. FT.  
 IMPERVIOUS AREA RATIO: 0.54 = (91,088 / 169,437)

#### TRASH

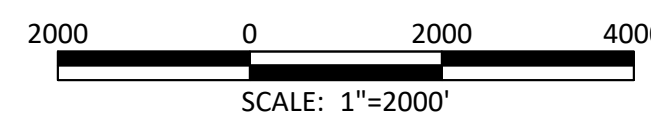
DUMPSTER: PRIVATE HAULER

### FALMOUTH ELECTION DISTRICT STAFFORD COUNTY, VIRGINIA



#### VICINITY MAP

SCALE: 1" = 2,000'



#### OWNER

TM 45-283  
 PORTER HOLDINGS LLC  
 93 IVY CREEK LANE  
 FREDERICKSBURG, VIRGINIA 22405  
 PHONE: N/A  
 EMAIL: N/A

#### OWNER

TM 46-17A  
 PORTER HOLDINGS LLC  
 512 LAFAYETTE BLVD, SUITE A  
 FREDERICKSBURG, VIRGINIA 22401  
 PHONE: N/A  
 EMAIL: N/A

#### OWNER

TM 45-284 (PART 'A' & PART 'B')  
 PORTER HOLDINGS LLC  
 93 IVY CREEK LANE  
 FREDERICKSBURG, VIRGINIA 22405  
 PHONE: N/A  
 EMAIL: N/A

#### ENGINEER

BAGBY, FOROUGH & GOODPASTURE, PLLC  
 125 OLDE GREENWICH DRIVE, SUITE 115  
 FREDERICKSBURG, VA 22408  
 CONTACT: RYAN K. FOROUGH, P.E.  
 PHONE: (540) 373-5178  
 EMAIL: rforough@bfgeng.com

#### APPLICANT

MITCHENER PROPERTIES, LLC  
 200 QUEENS ROAD, SUITE 300  
 CHARLOTTE, NC 28204  
 PHONE: (704) 560-5802  
 EMAIL: bill@mitchenerpropertiesllc.com

#### AGENT

HIRSCHLER LAW  
 725 JACKSON STREET, SUITE 200  
 FREDERICKSBURG, VA 22401  
 ATTN: CHARLES W. PAYNE, JR.  
 PHONE: (540) 604-2108  
 FAX: (540) 604-2101  
 EMAIL: cpayne@hirschlerlaw.com

#### MISS UTILITY



BEFORE YOU DIG CALL  
 "MISS UTILITY"  
 PROTECT YOURSELF. GIVE THREE  
 WORKING DAYS NOTICE  
 FOR ALL EXCAVATION WORK ANYWHERE IN VIRGINIA!  
 IT'S THE LAW!

#### Dig With . Keep Virginia Safe!

- Call Miss Utility @ 811 before you dig.
- Allow required time for marking.
- Respect the marks.
- Excavate carefully.

THIS DRAWING DOES NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. ALL CONSTRUCTION MUST BE DONE IN COMPLIANCE WITH THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970 AND ALL RULES AND REGULATIONS THERETO APPURTENANT.

THE CONTRACTOR TO CALL MISS UTILITY TO HAVE ALL EXISTING UTILITIES MARKED 48 HOURS PRIOR TO ANY CONSTRUCTION.

### SHEET INDEX

SHEET NUMBER:	TITLE:
1.	COVER SHEET
2.	EXISTING CONDITIONS / DEMOLITION PLAN
3.	FUTURE STAFFORD PROJECT
4.	GENERALIZED DEVELOPMENT PLAN
5.	STORMWATER CONCEPT PLAN
6.	LANDSCAPING PLAN
7.	AUTO TURN PLAN
8.	NOTES AND DETAILS SHEET
AWNING	GAS AWNING DETAILS (FROM OTHERS)
A200	EXTERIOR ELEVATIONS (FROM OTHERS)
1	TRASH ENCLOSURE (FROM OTHERS)
RL-8617-S1	LIGHTING SCHEMATIC (FROM OTHERS)
12	SHEETS TOTAL

### GENERAL NOTES

- THE PROJECT WILL BE SERVED BY PUBLIC WATER AND SEWER.
- METES AND BOUNDS SHOWN HEREON ARE THE RESULT OF AN ALTA PREPARED BY FAIRBANKS & FRANKLIN DATED 2008.
- THE ASSESSOR'S TAX MAP NUMBER AND EXISTING ZONE FOR THE PROPERTY SHOWN HEREON IS AS FOLLOWS:
 

TAX MAP 46-17A;	ZONED: B-1;	USE: VACANT;	INST# LR230011417;
TAX MAP 45-283;	ZONED: A-1;	USE: VACANT;	INST# LR180004140;
TAX MAP 45-284 (PART 'A');	ZONED: A-1;	USE: VACANT;	INST# LR180010896;
TAX MAP 45-284 (PART 'B');	ZONED: A-1;	USE: VACANT;	INST# LR180010896;
- PROPOSED ZONE: B-2; USE: VEHICLE FUEL SALES WITH CONVENIENCE STORE
- ALL EXISTING STRUCTURES SHALL BE RAZED (TBR).
- THE SUBJECT PROPERTY IS LOCATED WITHIN ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN), AS SHOWN ON FEMA FLOOD INSURANCE RATE MAP FOR STAFFORD COUNTY, VIRGINIA COMMUNITY PANEL NO. 51179C0202F, REVISED JUNE 21, 2023.
- GDP IS FOR ILLUSTRATIVE PURPOSES ONLY AND THAT IT IS NOT BEING REVIEWED FOR FULL COMPLIANCE WITH THE ZONING ORDINANCE, SUBDIVISION ORDINANCE OR UTILITY ORDINANCE AT THIS TIME.
- TRASH WILL USE A PRIVATE HAULER
- LIGHTING ON GDP IS FOR ILLUSTRATIVE PURPOSES ONLY. SITE LIGHTING SHALL BE DESIGNED TO COMPLY WITH CURRENT OUTDOOR LIGHTING STANDARDS AT THE TIME OF SITE PLAN SUBMISSION
- LANDSCAPING ON GDP IS FOR ILLUSTRATIVE PURPOSES ONLY. SITE SHALL BE DESIGNED TO COMPLY WITH CURRENT LANDSCAPING, SCREENING, AND BUFFERING REQUIREMENTS IN ACCORDANCE WITH THE STAFFORD COUNTY DCSL AT THE TIME OF SITE PLAN SUBMISSION.
- BUILDING, SITE LAYOUT AND UTILITY CONNECTION ARE CONCEPTUAL AND FOR GENERAL PURPOSES ONLY. ACTUAL PARKING SPACES, LOADING SPACES, BUILDING LOCATION, SHAPE AND SIZE WILL BE DETERMINED AT FINAL SITE PLAN SUBMISSION.
- A COMPLETE STORMWATER MANAGEMENT PLAN, EROSION, AND SEDIMENT CONTROL PLAN, AND POLLUTION PREVENTION PLAN ARE REQUIRED FOR ANY SITE PLAN SUBMISSION, NOT ONLY THE FINAL SUBMISSION.
- ALL SIGNAGE SHALL COMPLY WITH STAFFORD COUNTY REQUIREMENTS AT FINAL SITE PLAN SUBMISSION AND IS NOT TO SCALE.
- THE NUMBER OF STORIES, HEIGHT, ROOF LINE, ENTRANCES AND EXITS FOR BUILDINGS TO BE DEVELOPED WILL BE DETERMINED AT THE TIME OF FINAL SITE PLAN AND WILL COMPLY WITH THE REQUIREMENTS OF THE ZONING ORDINANCE.
- A WETLANDS PERMIT SHALL BE REQUIRED PRIOR TO ANY DISTURBANCE OF WETLANDS, IF APPLICABLE.
- THERE ARE NO WETLANDS ON SITE.
- THERE IS NO RPA ON SITE.
- TOPO SHOWN HEREON IS FROM STAFFORD COUNTY GIS.
- THIS GDP HAS NOT BEEN REVIEWED FOR FULL COMPLIANCE WITH STAFFORD COUNTY ORDINANCE AT THIS TIME. ALL PROPOSED SITE IMPROVEMENTS SHOWN ON THIS PLAN MAY BE AMENDED BY THE OWNERS TO FULFILL REQUIREMENTS OF FINAL ENGINEERING, OR COMPLIANCE WITH CURRENT STATE AGENCY REGULATIONS AND/OR COUNTY DEVELOPMENT REGULATIONS/STANDARDS IN PLACE AT THE TIME OF SITE PLAN SUBMISSION.
- PORTION OF THE PROPERTY IS LOCATED WITHIN THE HCOD.
- THERE SHALL BE NO PARKING IN RIGHT OF WAY.
- ALL IMPERVIOUS SURFACES WILL REQUIRE WATER QUALITY TREATMENTS AND THE USE OF THE VIRGINIA RUNOFF REDUCTION METHOD FOR RE-DEVELOPMENT IS INAPPROPRIATE AND PROHIBITED.
- LOTS SHALL BE CONSOLIDATED PRIOR TO SITE PLAN APPROVAL.
- THIS PROJECT IS LOCATED WITH CONSTRUCTION LIMITS OF PROJECT # \_\_\_\_\_.

REVISIONS	DATE

**COVER SHEET**

**SHEETZ @ ENON ROAD**  
**GENERALIZED DEVELOPMENT PLAN**

FALMOUTH-HARTWOOD MAGISTERIAL DISTRICT

STAFFORD COUNTY, VIRGINIA

DATE:	12/3/24
SCALE:	N/A
DESIGNED BY:	RSG
DRAWN BY:	RSG
CHECKED BY:	RKF
PRINT DATE:	12/4/2024
JOB NO.:	20676-01
PLAN NO.:	













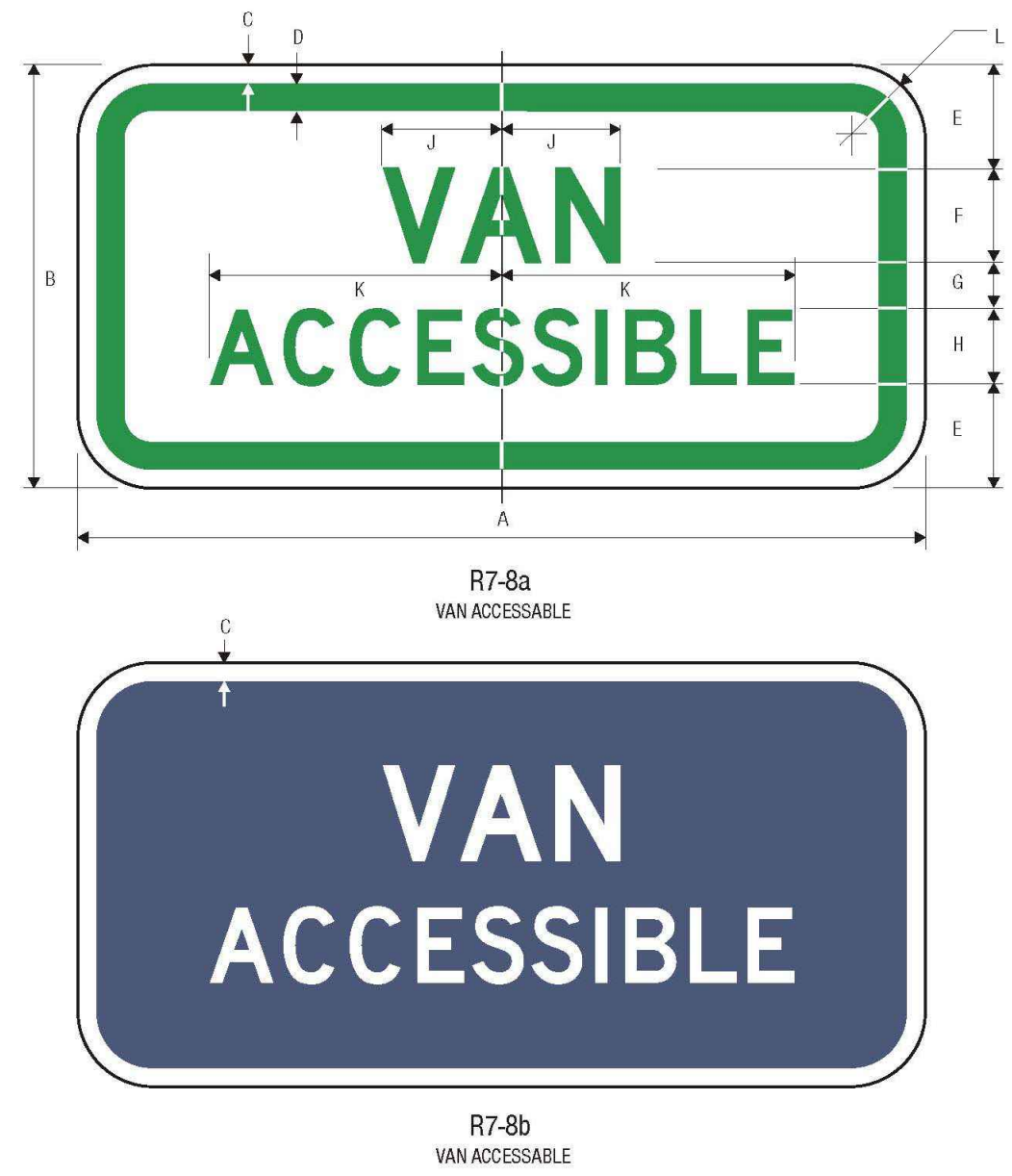


R7-8 NO PARKING

LEGEND – GREEN (RETROREFL), WHITE SYMBOL ON BLUE (RETROREFL)  
BACKGROUND – WHITE (RETROREFL)

**HANDICAPPED PENALTY SIGN SPECIFICATIONS:**

- SIZE: SAME AS "VAN ACCESSIBLE" SIGN
- TEXT: HEIGHT = H, CENTERED HORIZONTALLY & VERTICALLY
- COLOR SCHEME: SAME AS "VAN ACCESSIBLE" SIGN (WHITE BACKGROUND, GREEN TEXT, GREEN BORDER)
- MINIMUM MOUNTING HEIGHT (BOTTOM OF LOWEST SIGN) = 48" OR 4'
- MAXIMUM MOUNTING HEIGHT (BOTTOM OF LOWEST SIGN) = 84" OR 7'



R7-8a VAN ACCESSIBLE  
R7-8b VAN ACCESSIBLE

PARKING APPLICATION											DIRECTIONAL APPLICATION										
COLORS: LEGEND – GREEN (RETROREFLECTIVE) OR BLACK BACKGROUND – WHITE (RETROREFLECTIVE)											COLORS: LEGEND – WHITE (RETROREFLECTIVE) BACKGROUND – BLUE (RETROREFLECTIVE)										
A	B	C	D	E	F	G	H	J	K	L	A	B	C	D	E	F	G	H	J	K	L
12	6	.375	.438	1.5	1.5 D	.5	1.0	1.071	3.859	1.5	18	9	.375	.438	2.25	2.0	1	1.5 D	2.493	5.784	1.5

1-93

Stafford County Fire and Rescue Department  
Office of the Fire Marshal  
1225 Courthouse Road, PO BOX 339, Stafford VA 22655  
(540) 658-7200 · FAX (540) 658-4545 · www.staffordfire.com

**FIRE LANE LOCATION SPECIFICATIONS**

- All fire lanes must be a minimum of 20 feet in width.
- Fire lanes must provide access to within 150 feet of any portion of a building.
- Fire lanes must be constructed of an all weather surface capable of supporting fire department vehicles (35 tons)
- Fire lanes must be provided in front of all fire hydrants or fire department connections and extend at least 15 feet on either side.
- Fire lanes must be marked and signed in the following locations:

Fire Lane Width	Where Required
20 – 29 feet	Both sides of the street
28 – 36 feet	One side of the street
> 36 feet	No Requirements



**FIRE LANE SIGN SPECIFICATIONS**

- A reflective sign mounted at least 6 feet above grade level.
- Color: White background with red lettering.
- The words FIRE LANE and NO PARKING must be in 2 inch letters. The words TOWING ENFORCED must be in 1 inch letters.
- Sign border shall be 3/8 inches wide and red in color.
- Fire lanes greater than 20 feet in length, signs shall be posted at the beginning and the end of all designated fire lanes and spaced a maximum of 100 feet apart where needed.
- Fire lanes 20 feet in length or less, only one fire lane sign is required and it must be posted at the midpoint.

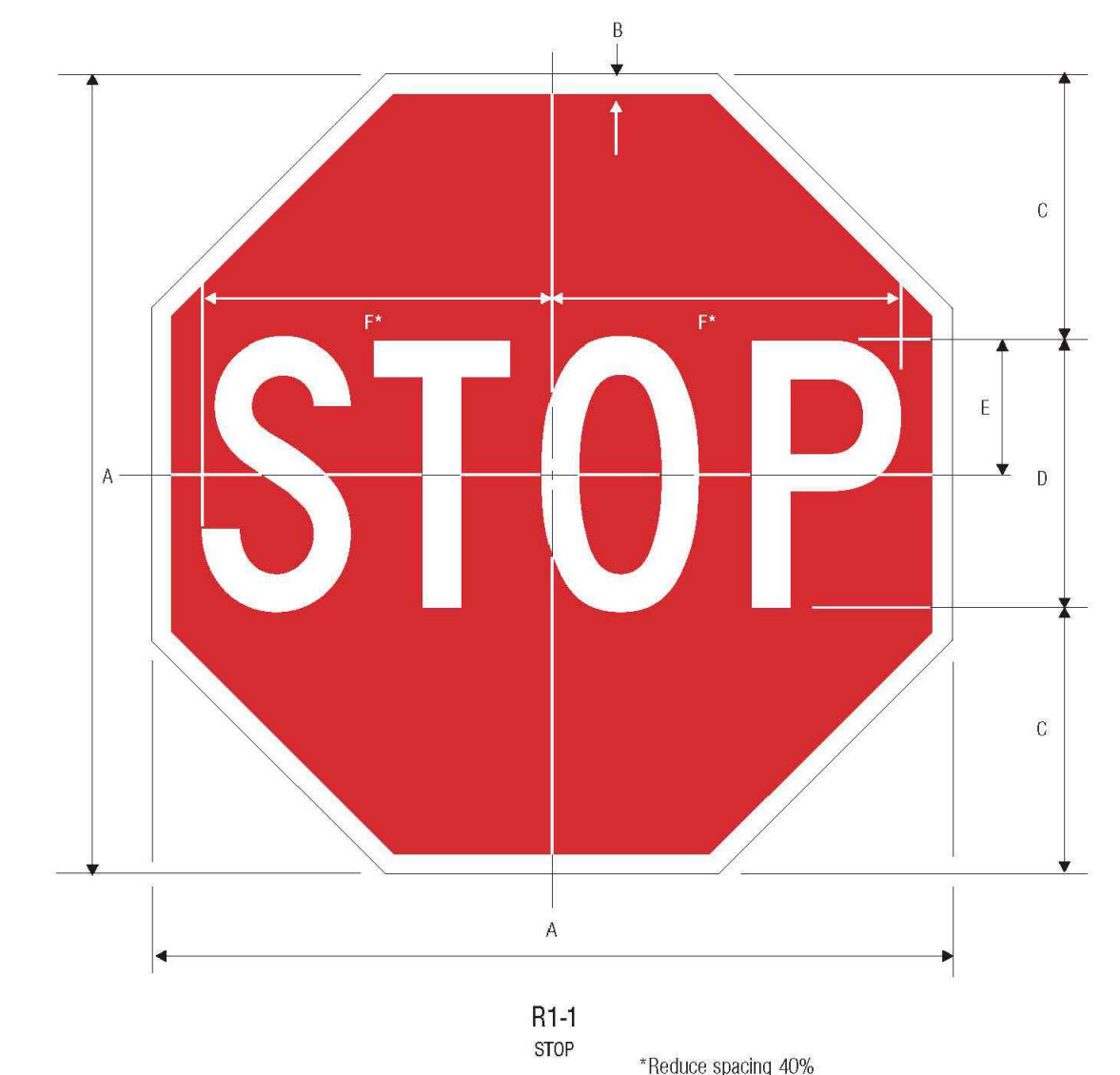
**FIRE LANE PAVEMENT MARKING SPECIFICATIONS**

A. FOR PRIVATE ROADS NOT TO BE TAKEN INTO STATE SYSTEM, CURB (PAINTED TOP AND FACE) OR EDGE OF PAVEMENT (STRIPING) MUST BE DONE AND THE FOLLOWING:



- The "NO PARKING FIRE LANE" lettering shall be centered between fire lane signs.
  - Lettering size shall be 12" in height and located 12" from the painted curb and striping.
  - Striping shall be 4" wide striping for curb and gutter pavement located 3' from the edge of the curb along with curb face and top painted.
  - Striping shall be 6" wide striping for pavement without curb and gutter located 3' from the edge of the pavement and along the edge of the pavement.
  - Yellow VDOT highway grade paint shall be used on all striping and lettering.
- B. FOR STATE-MAINTAINED ROADS, CURB (PAINTED TOP AND FACE) OR EDGE OF PAVEMENT (STRIPING) ONLY.

Fire Lanes - Updated 7/17/2009  
Page 2 of 2

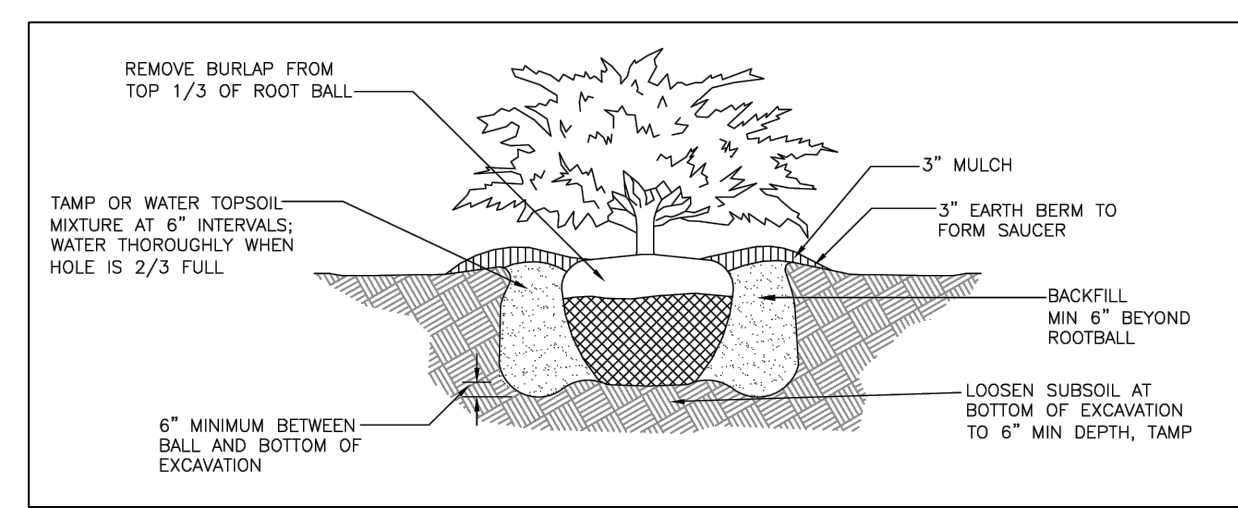


R1-1 STOP \*Reduce spacing 40%

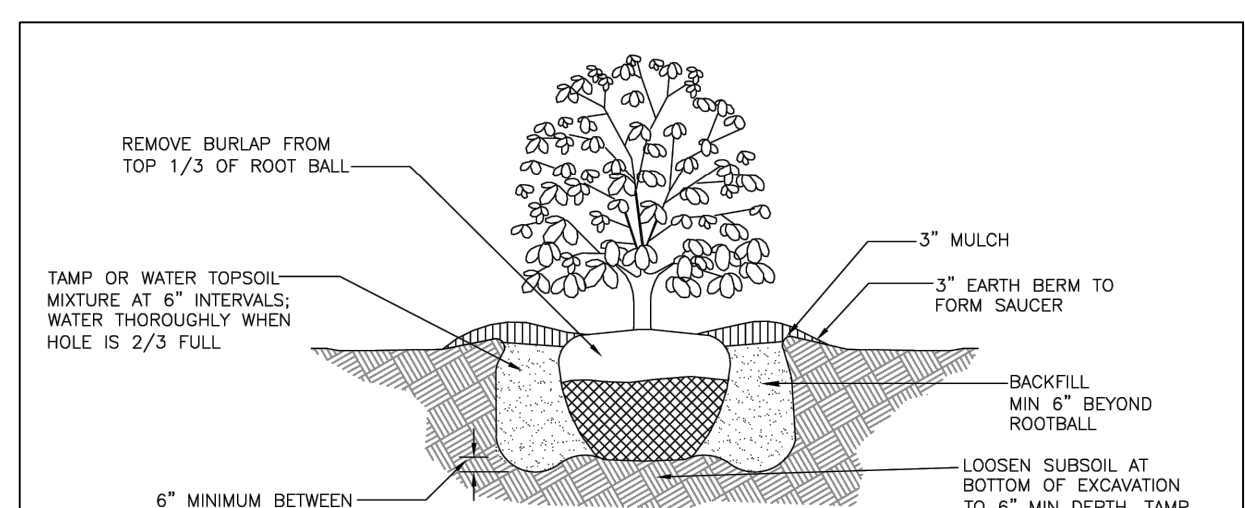
A	B	C	D	E	F
18	.375	6	6 C	3	7.75
24	.625	8	8 C	4	10
30	.75	10	10 C	5	12.5
36	.875	12	12 C	6	15
48	1.25	16	16 C	8	20

COLORS: LEGEND – WHITE (RETROREFLECTIVE)  
BACKGROUND – RED (RETROREFLECTIVE)

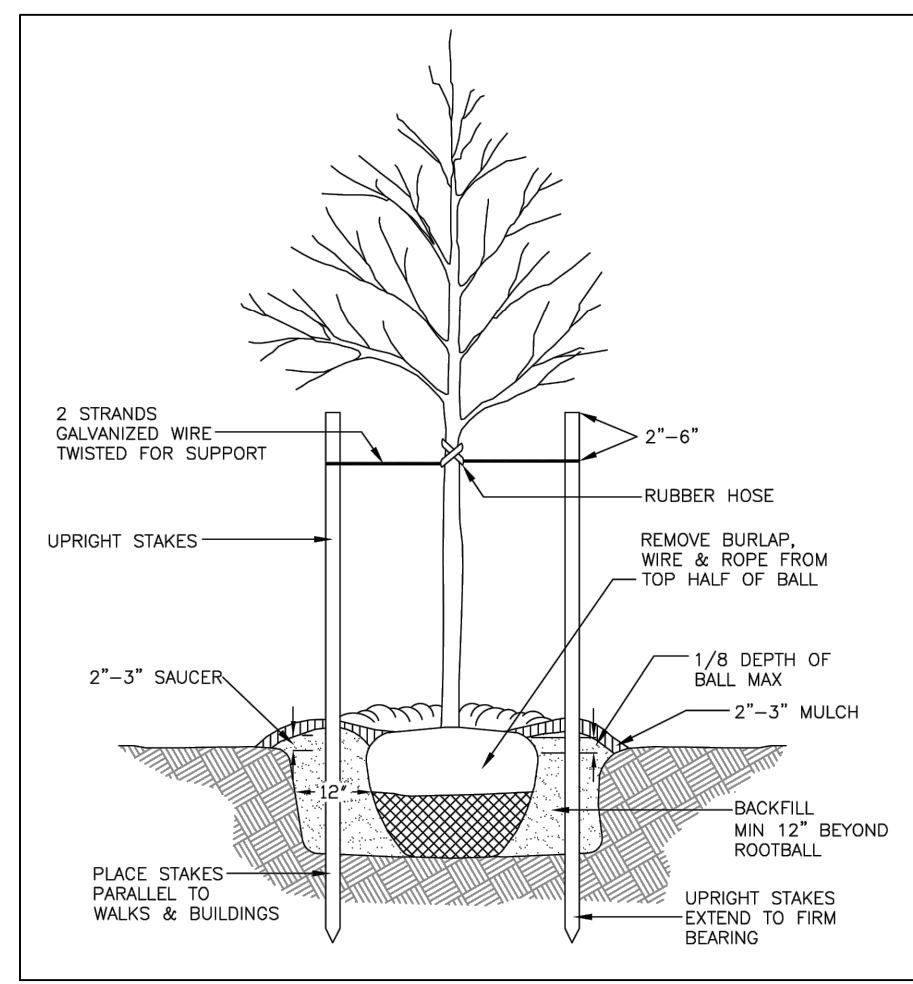
1-1



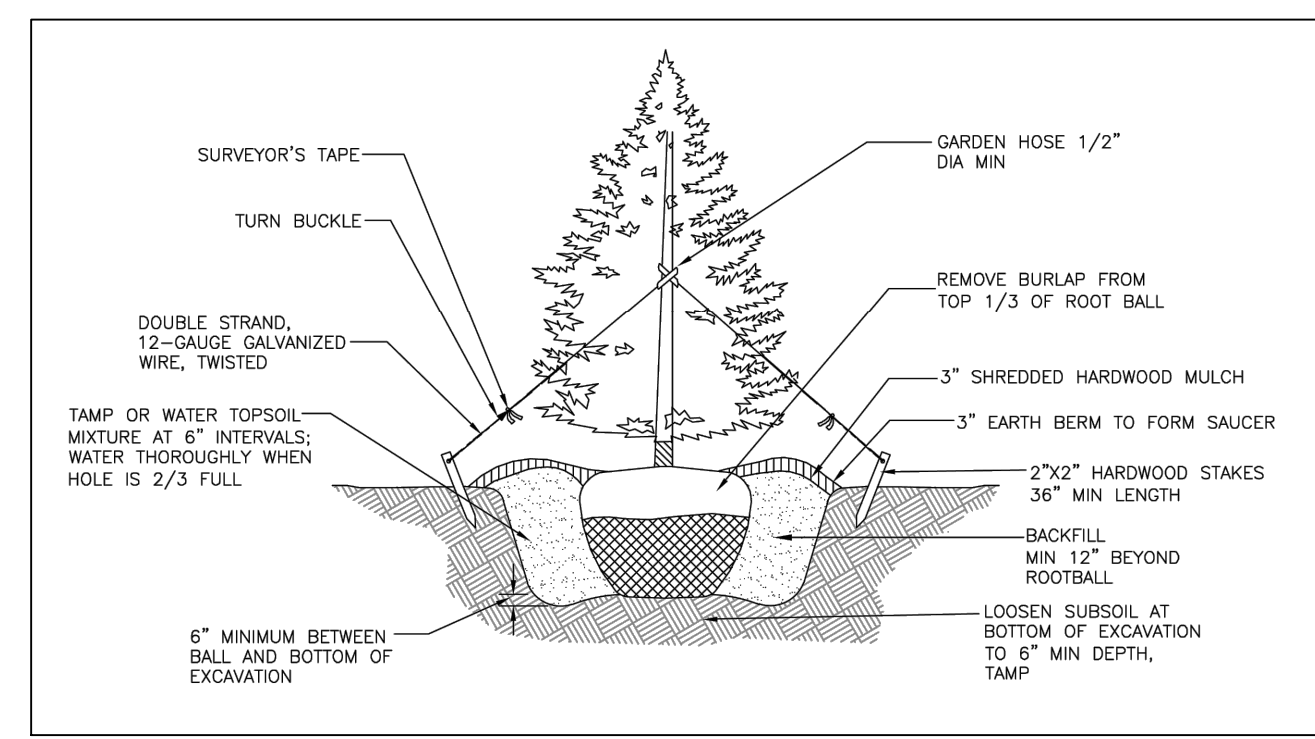
TYPICAL EVERGREEN SHRUB PLANTING DETAIL



TYPICAL DECIDUOUS SHRUB PLANTING DETAIL



TYPICAL DECIDUOUS TREE PLANTING DETAIL



TYPICAL EVERGREEN PLANTING DETAIL

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REVISIONS	DATE

NOTES AND DETAILS SHEET

**SHEETZ @ ENON ROAD**  
GENERALIZED DEVELOPMENT PLAN

FALMOUTH-HARTWOOD MAGISTERIAL DISTRICT

STAFFORD COUNTY, VIRGINIA

DATE:	12/3/24
SCALE:	AS SHOWN
DESIGNED BY:	RSG
DRAWN BY:	RSG
CHECKED BY:	RKF
PRINT DATE:	12/4/2024
JOB NO.	20676-01
PLAN NO.	



PROJECT NAME:  
**NEW SHEETZ STORE  
STAFFORD**

Int. of Enon Road, VA S.R. 753  
and Jefferson Davis Highway, US RT 1  
Stafford County  
Virginia

OWNER:  
**SHEETZ, INC.**

5700 SIXTH AVE.  
ALTOONA, PA 16602

CONSULTANT

PROFESSIONAL

KEYPLAN

ISSUE: **10-29-24**

PROJECT NO:

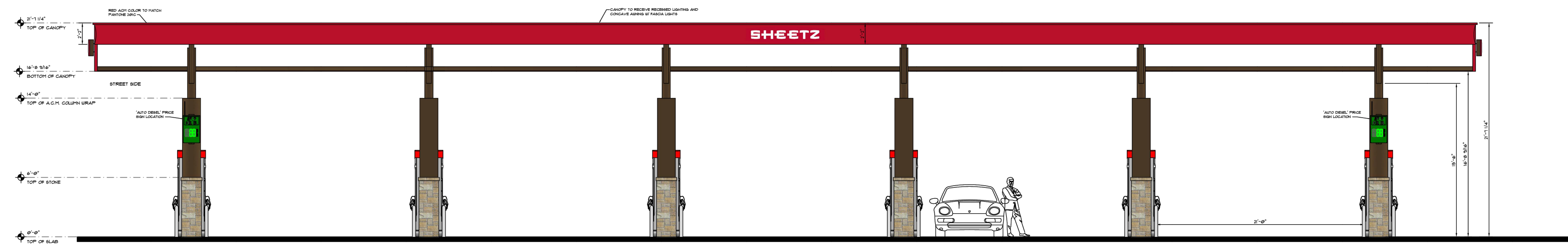
AUTHOR BY: NMI

REVIEW BY:

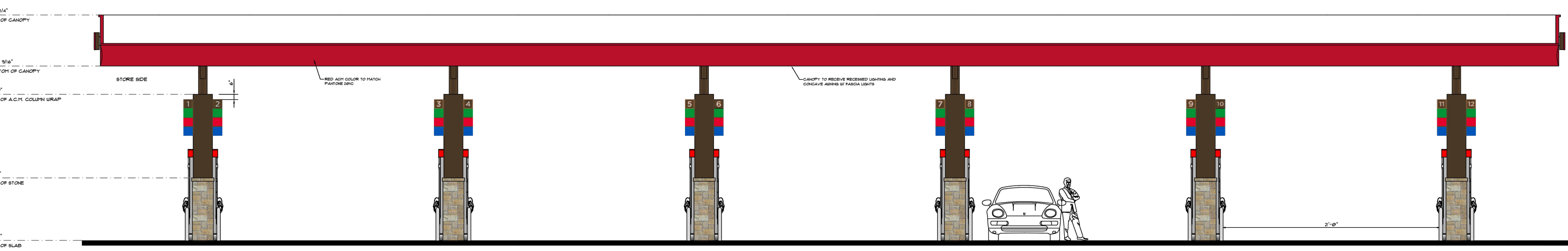
SHEET TITLE

GAS AWNING

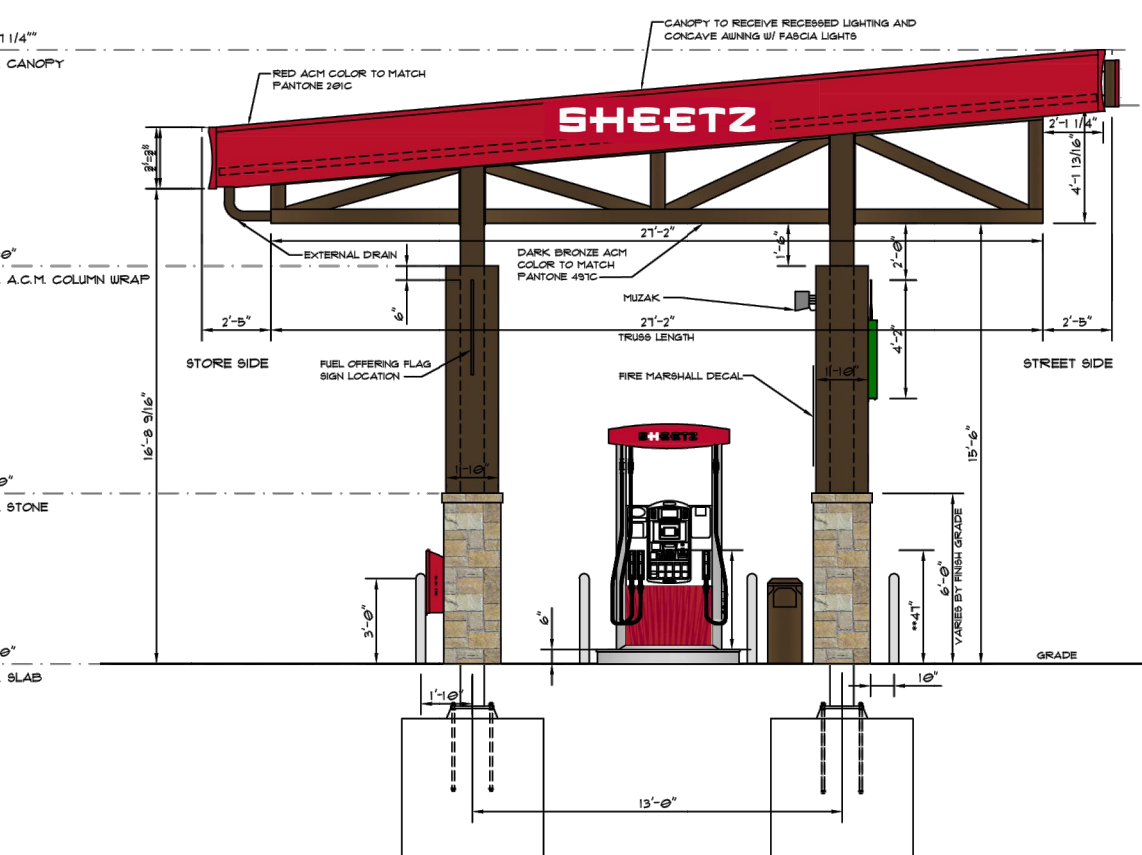
**AWNING**



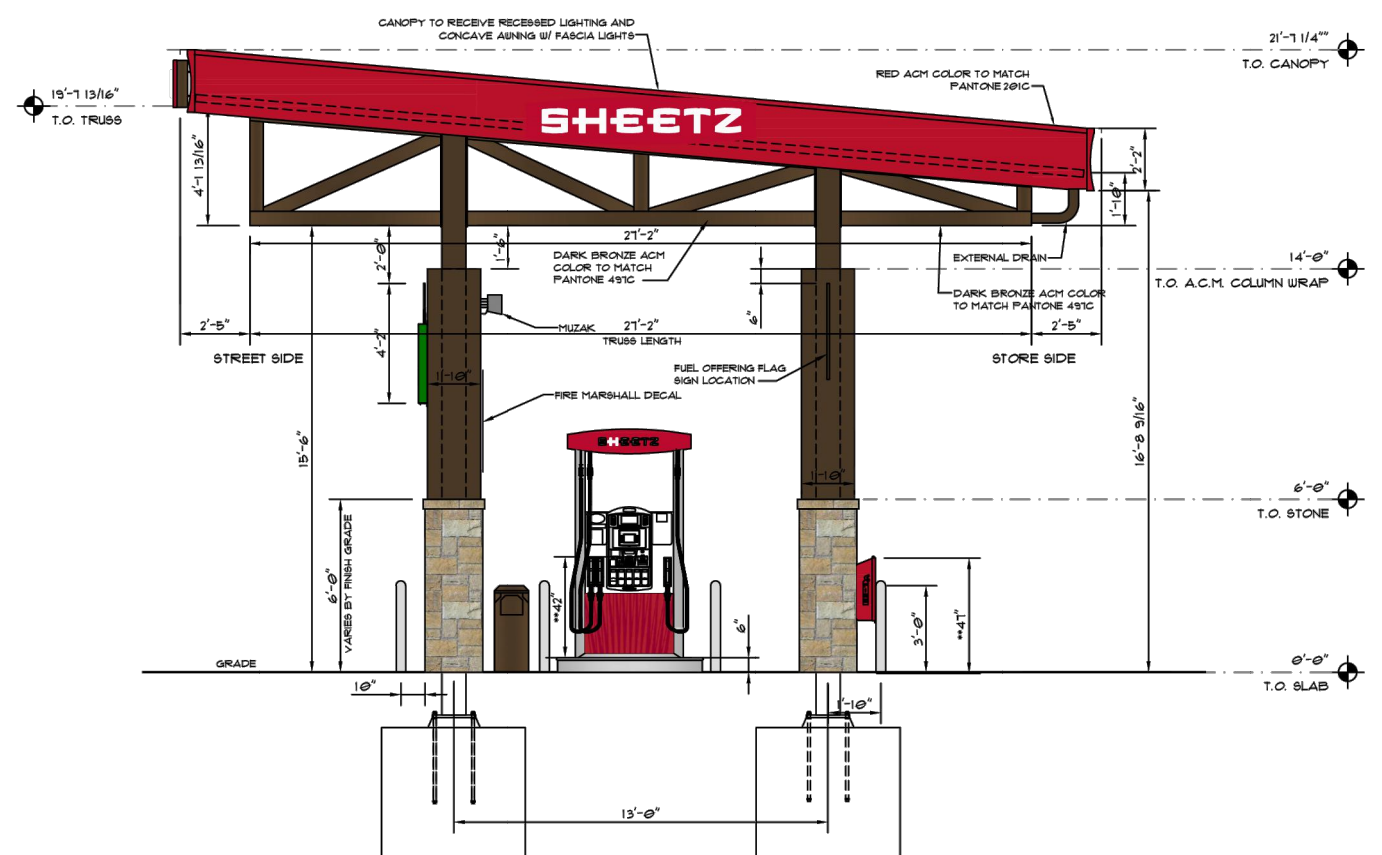
**SIDE 'B' ELEVATION**  
SCALE: 3/16" = 1'-0"



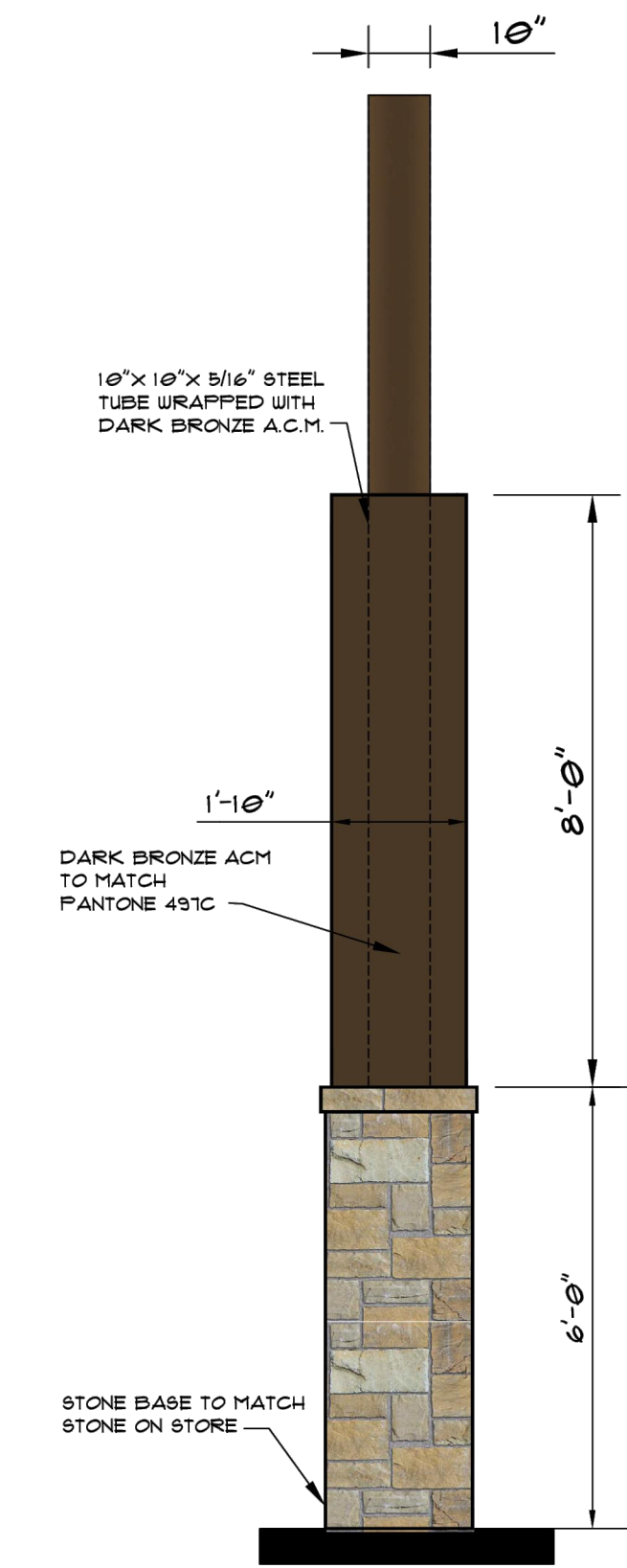
**SIDE 'D' ELEVATION**  
SCALE: 3/16" = 1'-0"



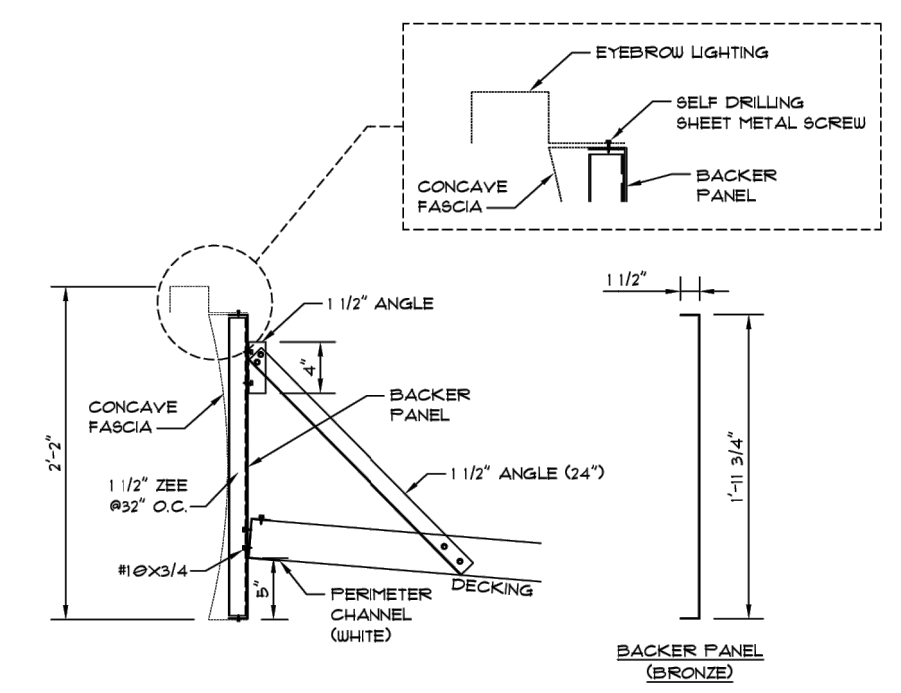
**SIDE 'A' LEFT SIDE ELEVATION**  
SCALE: 3/16" = 1'-0"



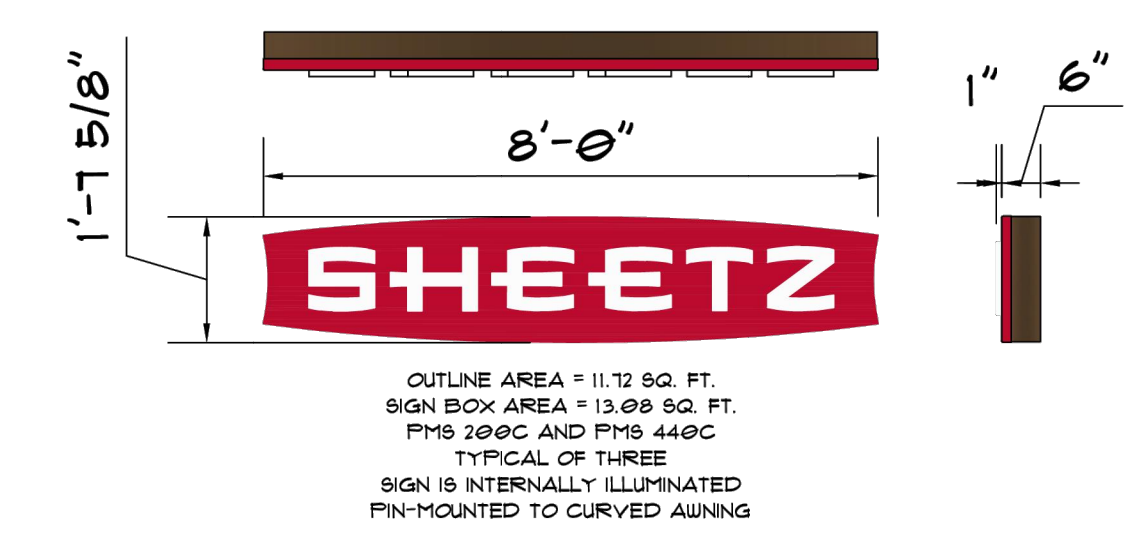
**SIDE 'C' RIGHT SIDE ELEVATION**  
SCALE: 3/16" = 1'-0"



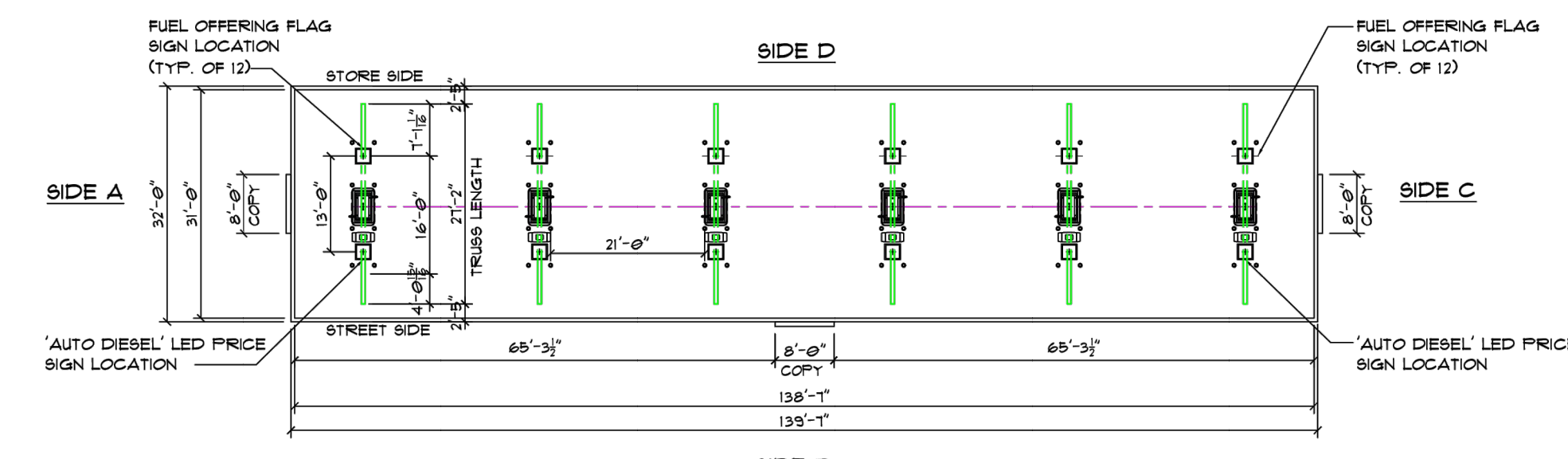
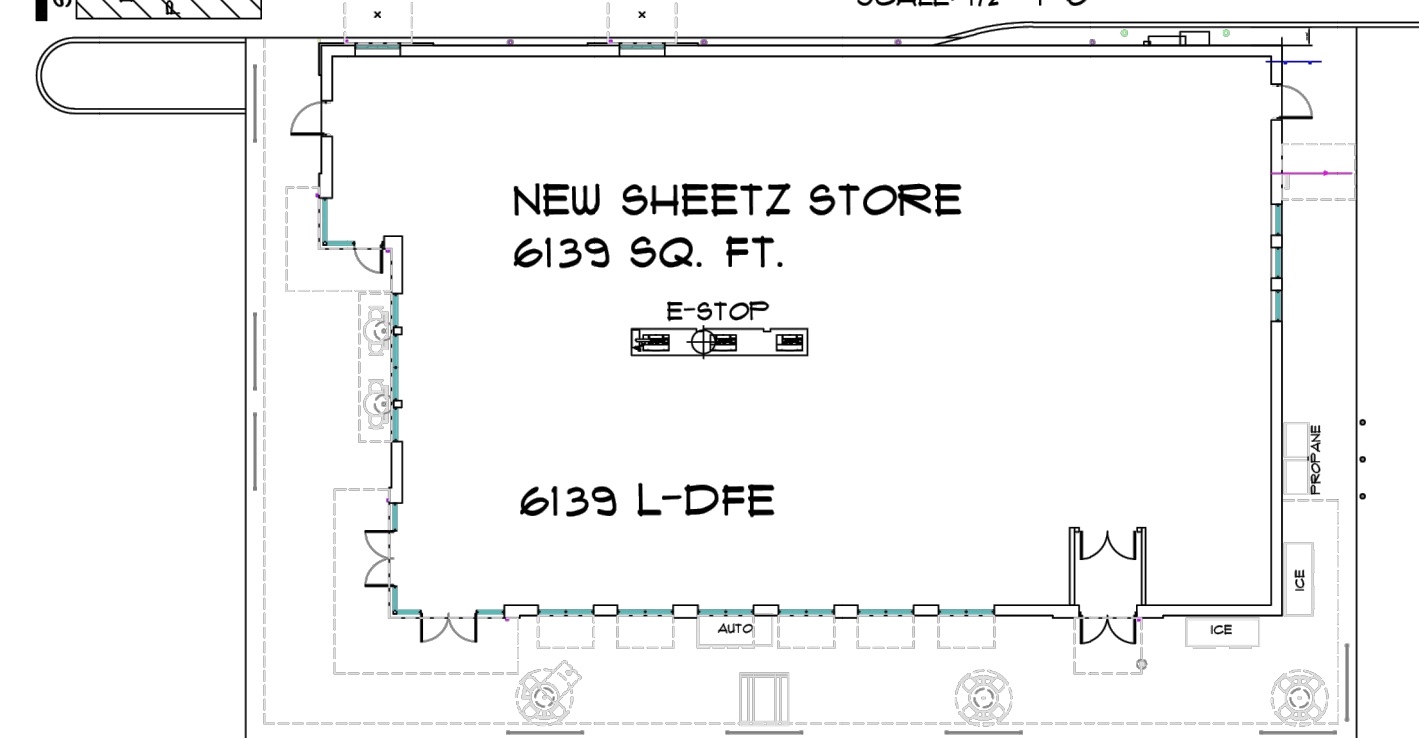
**COLUMN ELEVATION**  
SCALE: 1/2" = 1'-0"



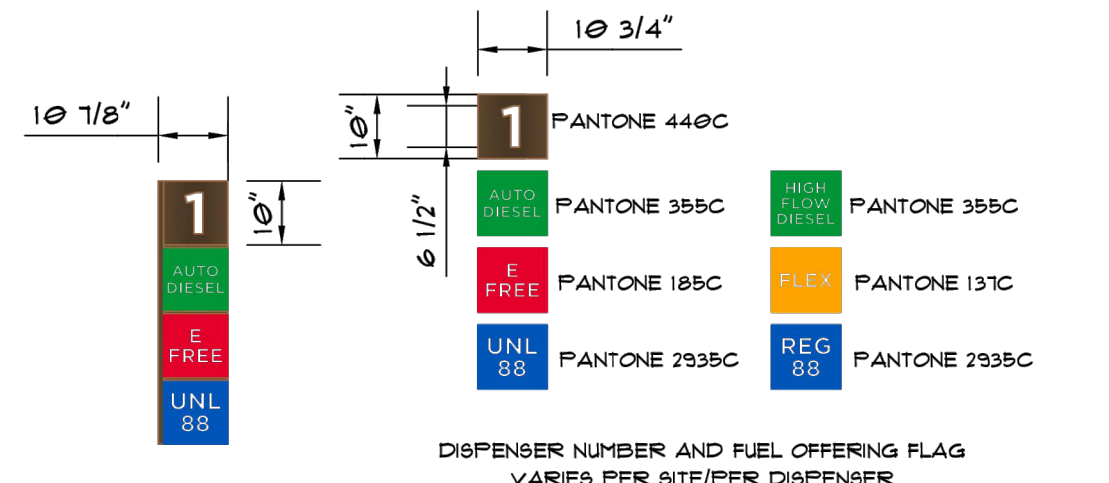
**CONCAVE FASCIA MOUNTING DETAIL**  
SCALE: 1/4" = 1'-0"



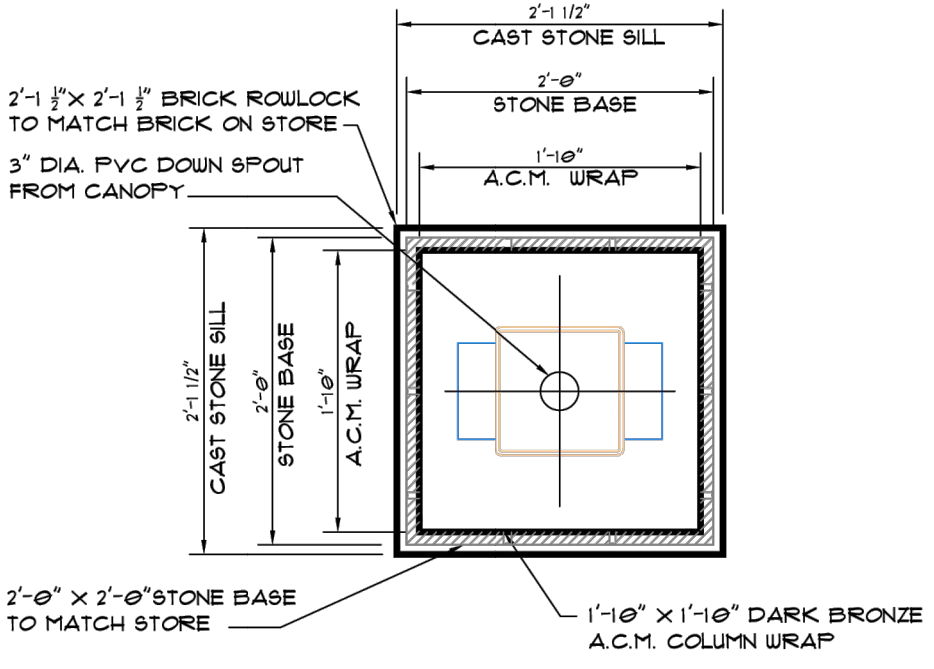
**CANOPY MOUNTED SHEETZ SIGN DETAIL**  
SCALE: 1/2" = 1'-0"



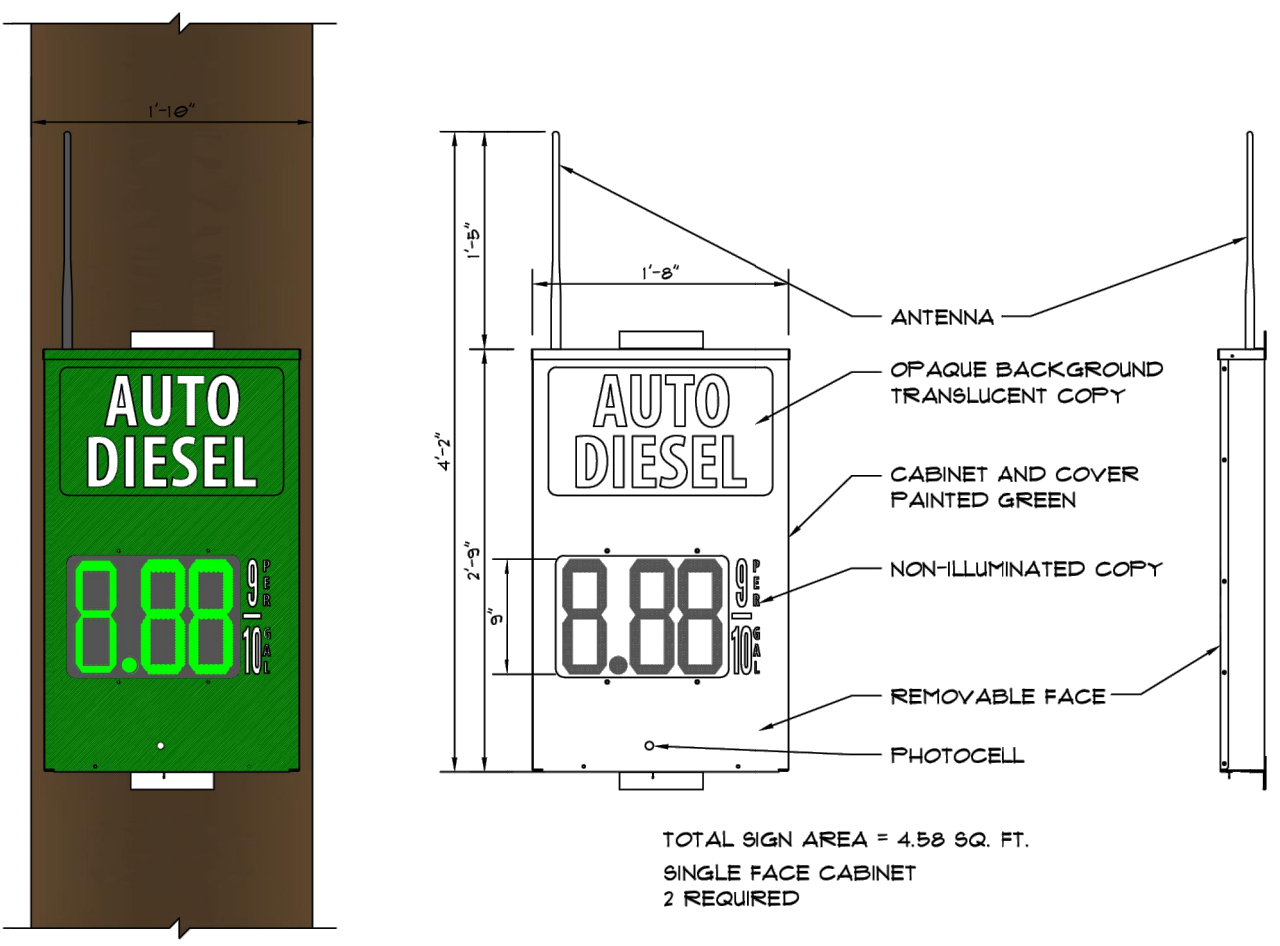
**PLAN VIEW FOR LOGO LOCATIONS**



**FUEL OFFERING FLAG SIGN ELEVATION AND DETAIL**  
SCALE: 1/2" = 1'-0"



**STONE COLUMN BASE DETAIL**  
SCALE: 1/4" = 1'-0"



**"AUTO DIESEL" PRICE SIGN ELEVATION AND DETAIL**  
SCALE: 1/4" = 1'-0"

PROJECT NAME:  
NEW SHEETZ STORE

FREDERICKSBURG  
ENON ROAD

Int. of Enon Road  
and Jefferson Davis Highway  
Fredericksburg, VA

OWNER:  
SHEETZ, INC.

5700 SIXTH AVE.  
ALTOONA, PA 16602

CONSULTANT

PROFESSIONAL

KEYPLAN



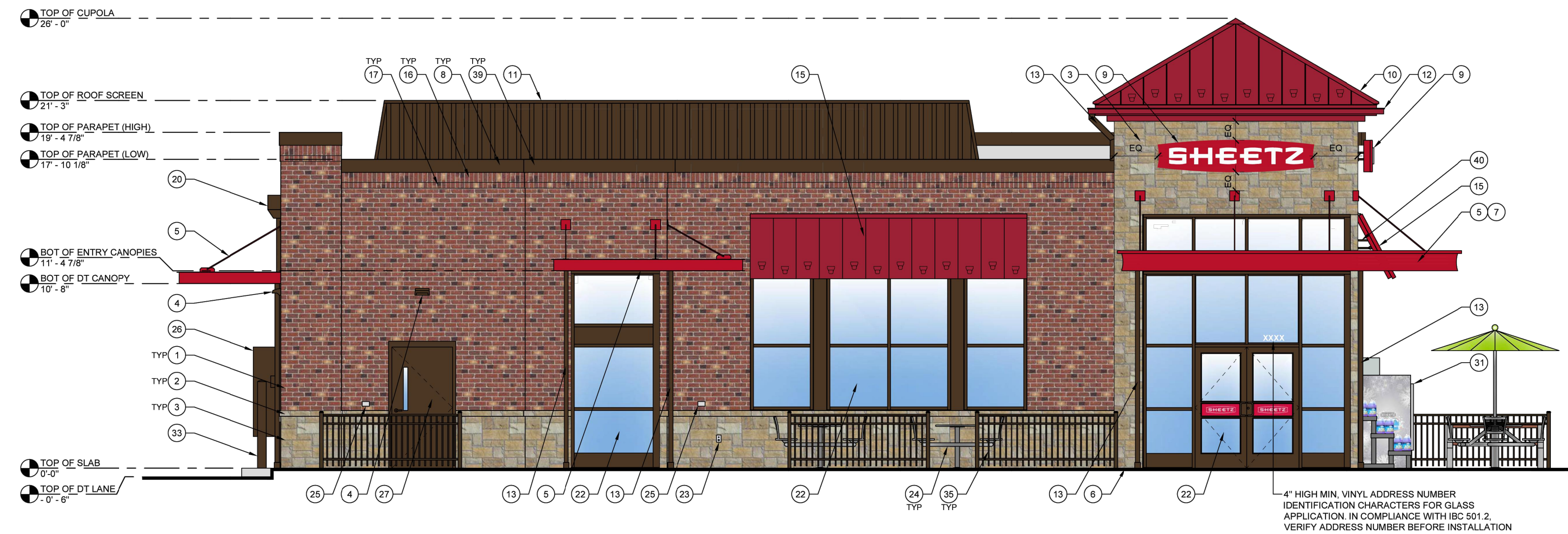
1 FRONT ELEVATION  
1/4" = 1'-0"

TYPICAL EXTERIOR ELEVATION NOTES:

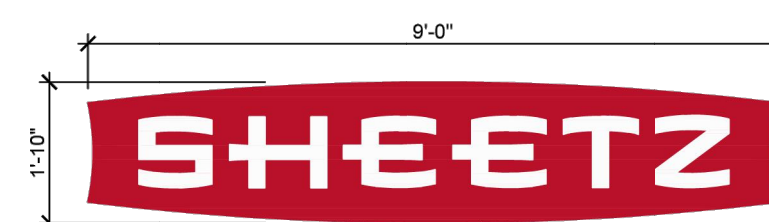
- ALL LIGHTS SHOWN ABOVE AND/OR BELOW DOORS OR WINDOWS ARE TO BE CENTERED ON THE DOOR OR WINDOW UNLESS NOTED OTHERWISE.
- FIXTURES/EQUIPMENT BETWEEN TWO DOORS OR WINDOWS ARE TO BE CENTERED EQUALLY.
- EXTERIOR SEALANT FOR STONE SHALL COMPLY WITH SECTION 07 9005 JOINT SEALANTS, GENERAL BUILDING FASCIADE WEATHER SEALANT AND SHALL MATCH THE COLOR OF THE STORE.

EXTERIOR ELEVATION KEYNOTES:

- BRICK VENEER, COLOR: 680 BY CONTINENTAL BRICK COMPANY. SEE MASONRY SPEC
- CAST STONE SILL, COLOR: CRAB ORCHARD. SEE MASONRY SPEC
- ANCHORED CAST STONE MASONRY VENEER, COLOR: CRAB ORCHARD. SEE MASONRY SPEC
- EXTERIOR LIGHT FIXTURE, REFER TO ELECTRICAL DRAWINGS
- ARCHITECTURAL CANOPY, COLOR: REGAL RED, PREMIUM TWO-COAT KYNAR FINISH
- BRICK PAVER WALKWAY
- LIGHTED CURVED FASCIA CANOPY ATTACHMENT
- METAL COPING, COLOR: DARK BRONZE
- WALL MOUNTED BUILDING SIGN, SEE SHEET A200.
- STANDING SEAM METAL ROOF, COLOR: BRITE RED
- ROOF EQUIPMENT SCREEN, COLOR: DARK BRONZE
- GUTTER, COLOR TO MATCH CUPOLA COLOR
- DOWNSPOUT, COLOR: DARK BRONZE
- DRIVE-THRU WINDOW (IF APPLICABLE)
- METAL STANDING SEAM SHED STYLE AWNING AND FRAME ASSEMBLY. ROOF COLOR: BRITE RED, FRAME COLOR: DARK BRONZE
- BRICK SOLDIER COURSE, COLOR: 680 BY CONTINENTAL BRICK COMPANY. SEE MASONRY SPEC
- BRICK ROW-LOCK COURSE, COLOR: 680 BY CONTINENTAL BRICK COMPANY. SEE MASONRY SPEC
- CONTROL JOINT, SEE MASONRY SPEC
- STEEL ROOF LADDER AND CRANKY POST, COLOR: DARK BRONZE
- STANDARD THROUGH WALL SCUPPER WITH CONDUCTOR HEAD & DOWNSPOUT, COLOR: DARK BRONZE
- OVERFLOW SCUPPER
- ALUMINUM STOREFRONT SYSTEM, SEE A600
- EXTERIOR HOSE BIB, REFER TO PLUMBING DRAWINGS
- OUTDOOR FURNITURE
- ELECTRICAL RECEPTACLE, REFER TO ELECTRICAL DRAWINGS
- ELECTRICAL EQUIPMENT, REFER TO ELECTRICAL DRAWINGS
- HM DOOR AND FRAME, COLOR: DARK BRONZE
- EMERGENCY WATER CONNECTION, REFER TO PLUMBING DRAWINGS
- SEAMLESS ALUM PANEL SYSTEM WITH EXPOSED FASTENERS, COLOR: DARK BRONZE
- PROPANE LOCKER
- ICE MERCHANDISER
- RTI FILLPORT
- STEEL BOLLARD, COLOR: DARK BRONZE
- CO2 FILLPORT
- DECORATIVE ALUMINUM FENCE, COLOR DARK BRONZE
- AUTOMATIC DOOR PUSH PLATE AND BOLLARD, BOLLARD COLOR: DARK BRONZE
- GAS METER AND RISER, REFER TO CIVIL UTILITY PLAN, COLOR: DARK BRONZE
- MTO GRAPHIC DECAL, SEE SHEET A200.
- LIGHT CHANNEL AT PARAPET COPING. SEE ARCHITECTURAL AND ELECTRICAL DRAWINGS FOR MORE INFORMATION.
- MTO DECAL LIGHT BAR, REFER TO ELECTRICAL DRAWINGS FOR MORE INFORMATION.

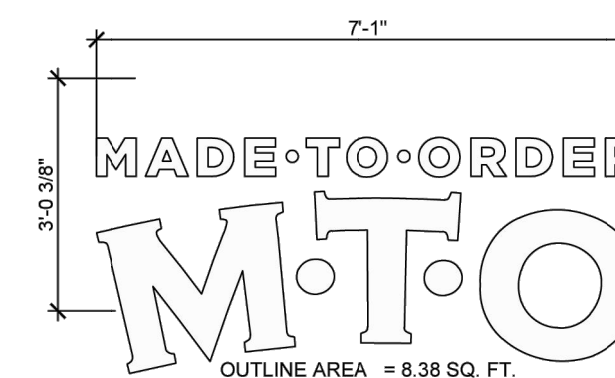


2 LEFT ELEVATION  
1/4" = 1'-0"



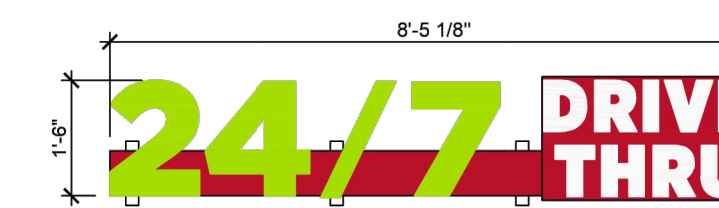
OUTLINE AREA = 14.84 SQ. FT.  
BOX AREA = 16.52 SQ. FT.  
TYPICAL OF THREE  
PROJECTS 7" OFF FACE OF BUILDING

A WALL MOUNTED "SHEETZ" BUILDING SIGN  
1/2" = 1'-0"



OUTLINE AREA = 8.38 SQ. FT.  
BOX AREA = 21.47 SQ. FT.  
TYPICAL OF ONE  
PROJECTS 0" OFF FACE OF BUILDING

B WALL MOUNTED "MTO" DECAL  
1/2" = 1'-0"



BOX AREA = 12.84 SQ. FT.  
TYPICAL OF ONE  
PROJECTS 8" OFF FACE BUILDING

C WALL MOUNTED "24/7 DRIVE THRU" BUILDING SIGN  
1/2" = 1'-0"

ISSUE: 10.29.2024  
SITE ID NO: #####  
AUTHOR BY: RJK  
REVIEW BY: RJH  
VERSION: 6139\_v1.7

EXTERIOR  
ELEVATIONS

A200

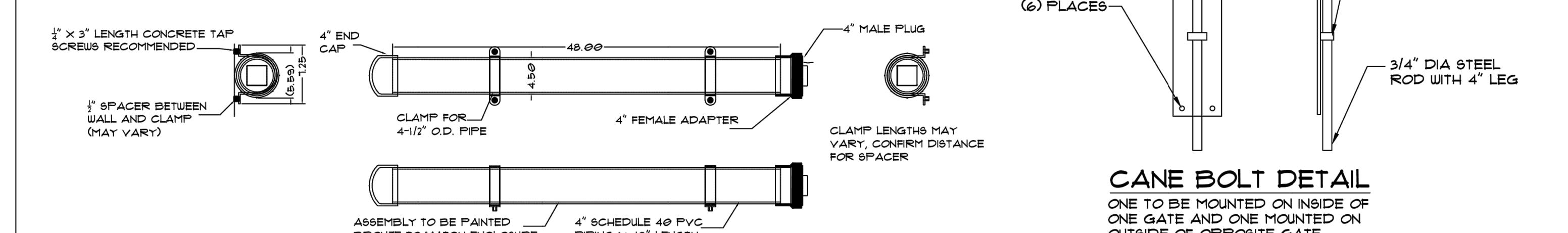
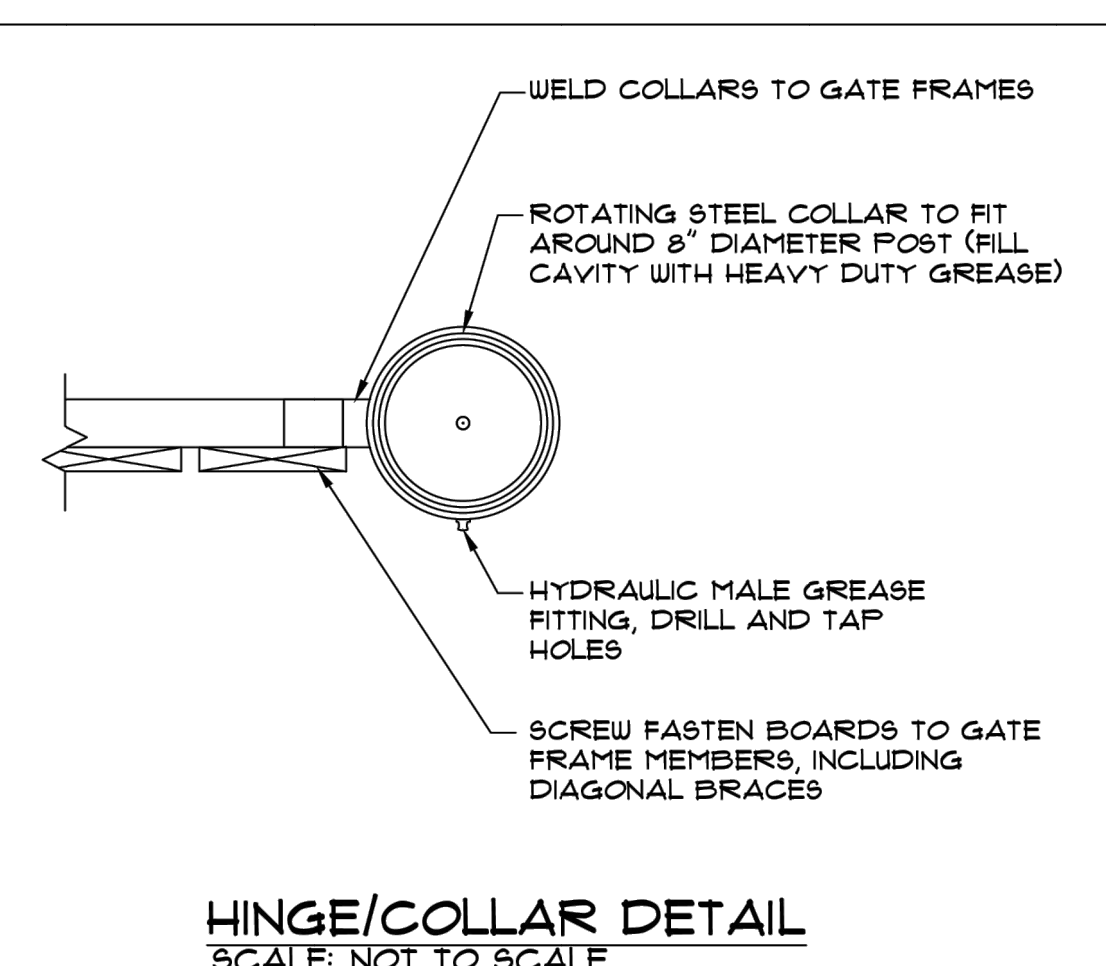
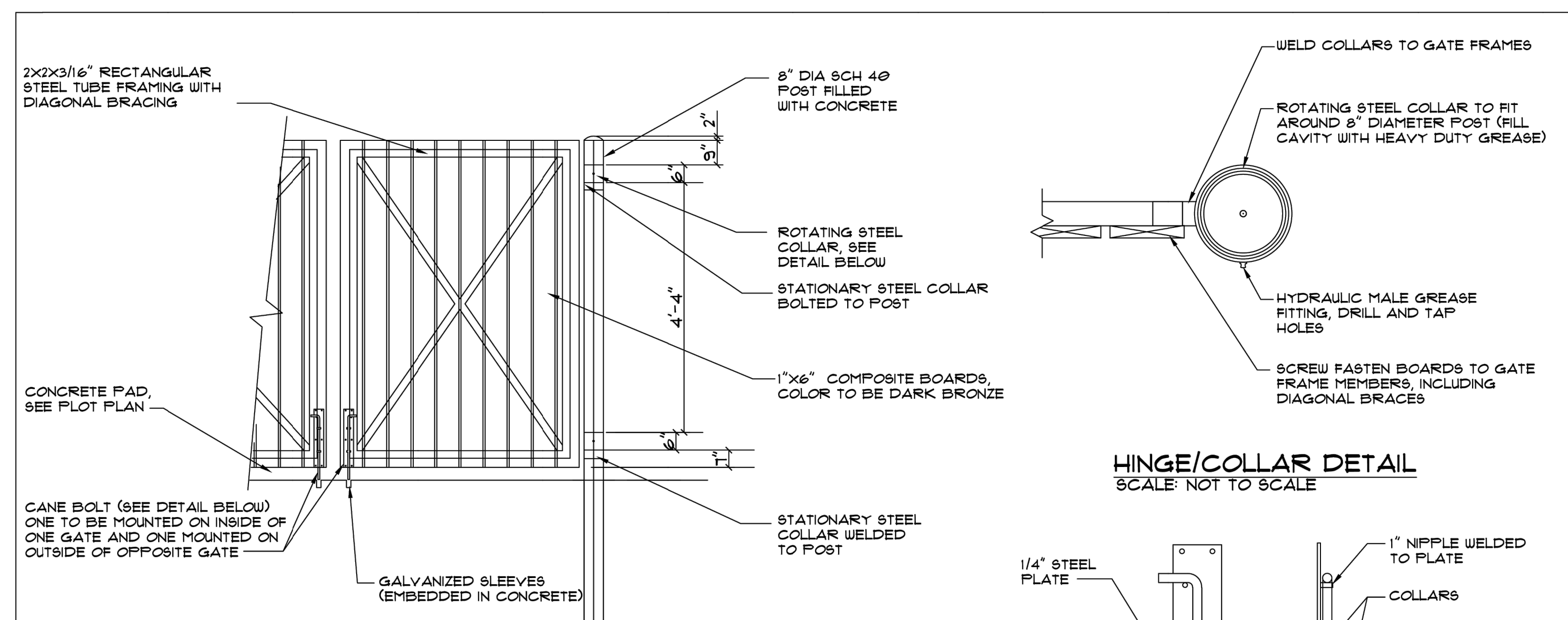
PRELIMINARY ELEVATIONS

PROJECT NAME:  
**NEW SHEETZ STORE  
ENON**

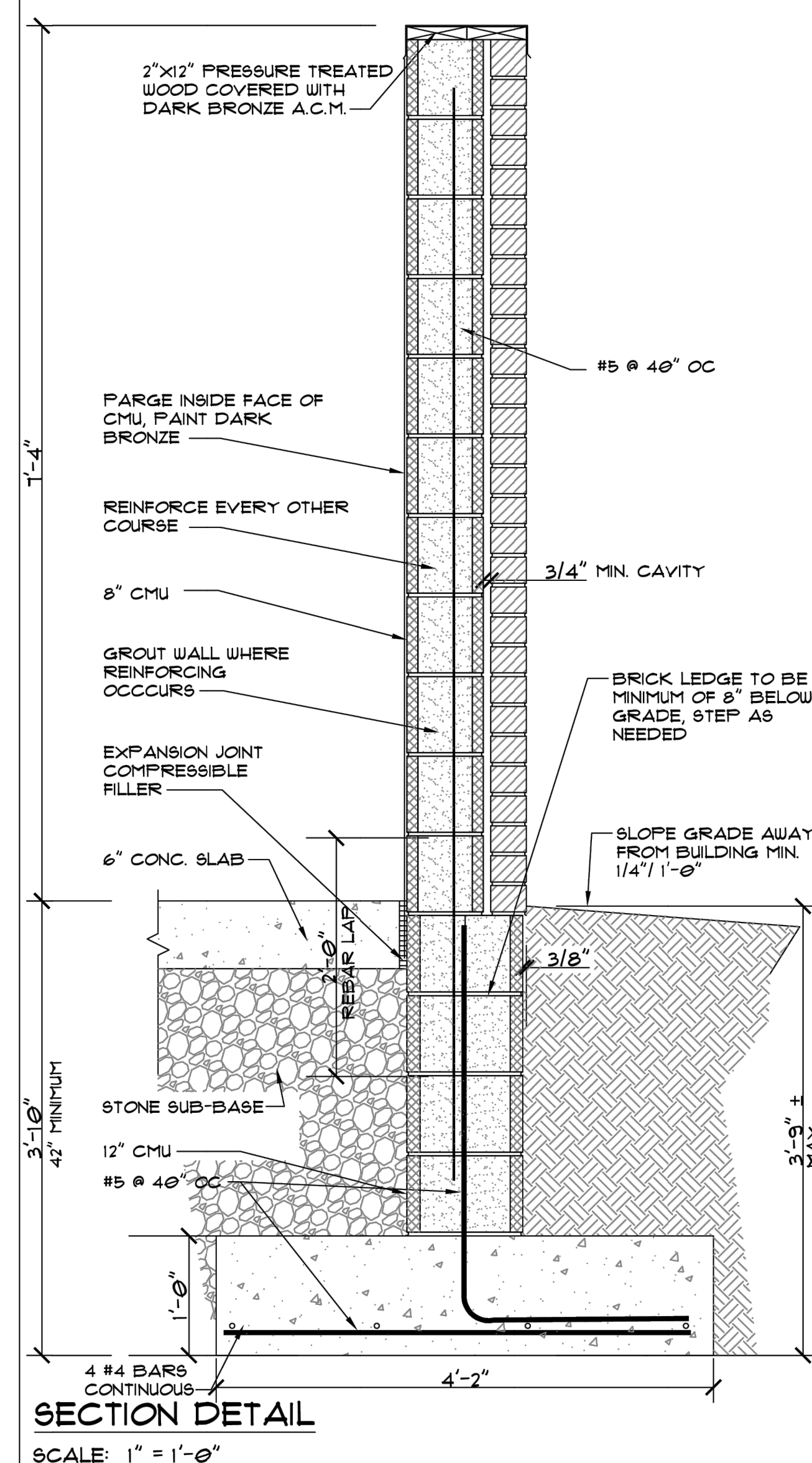
INT. OF ENON ROAD  
AND JEFFERSON DAVIS HIGHWAY  
STAFFORD COUNTY  
VIRGINIA

OWNER:  
SHEETZ, INC.

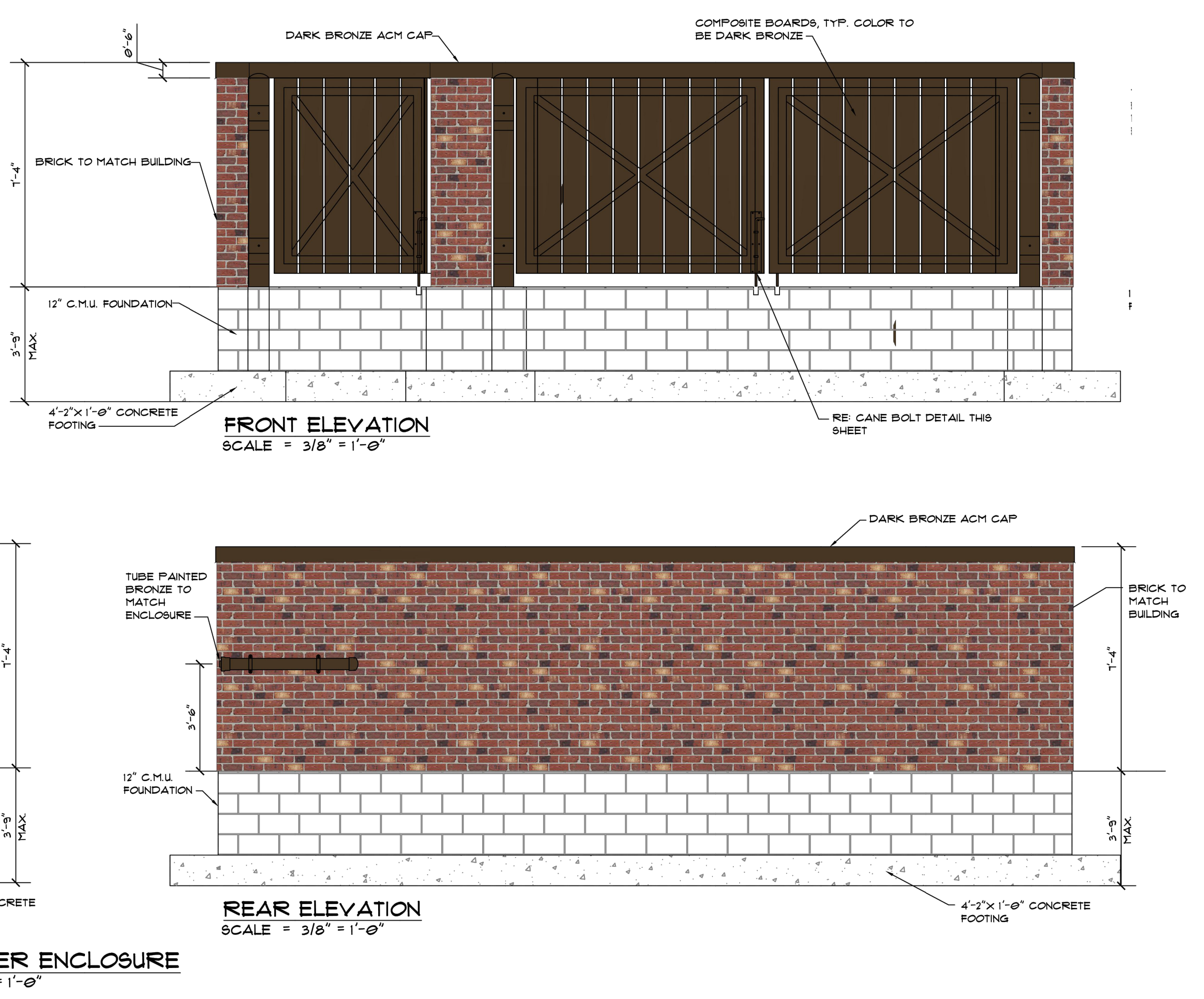
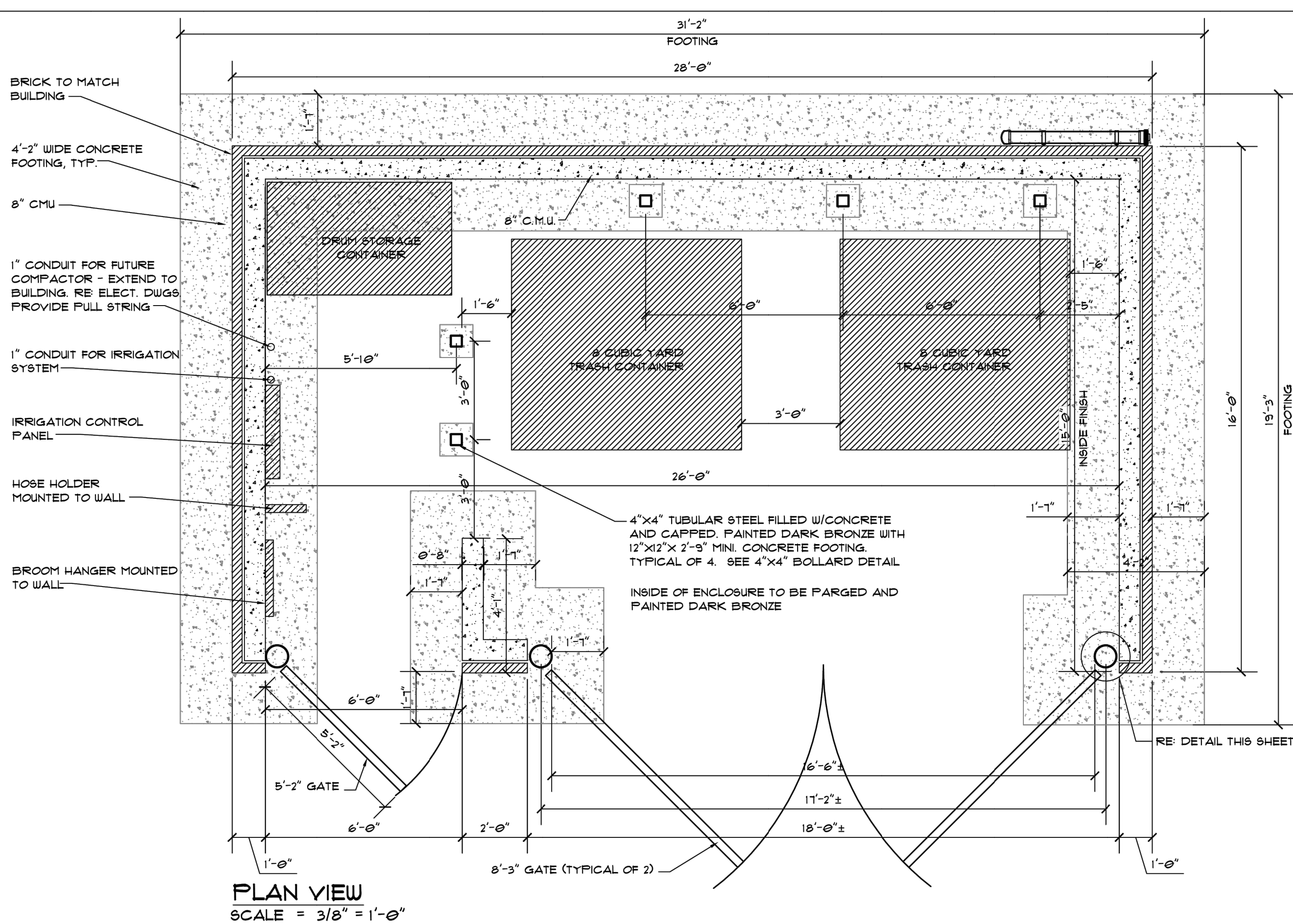
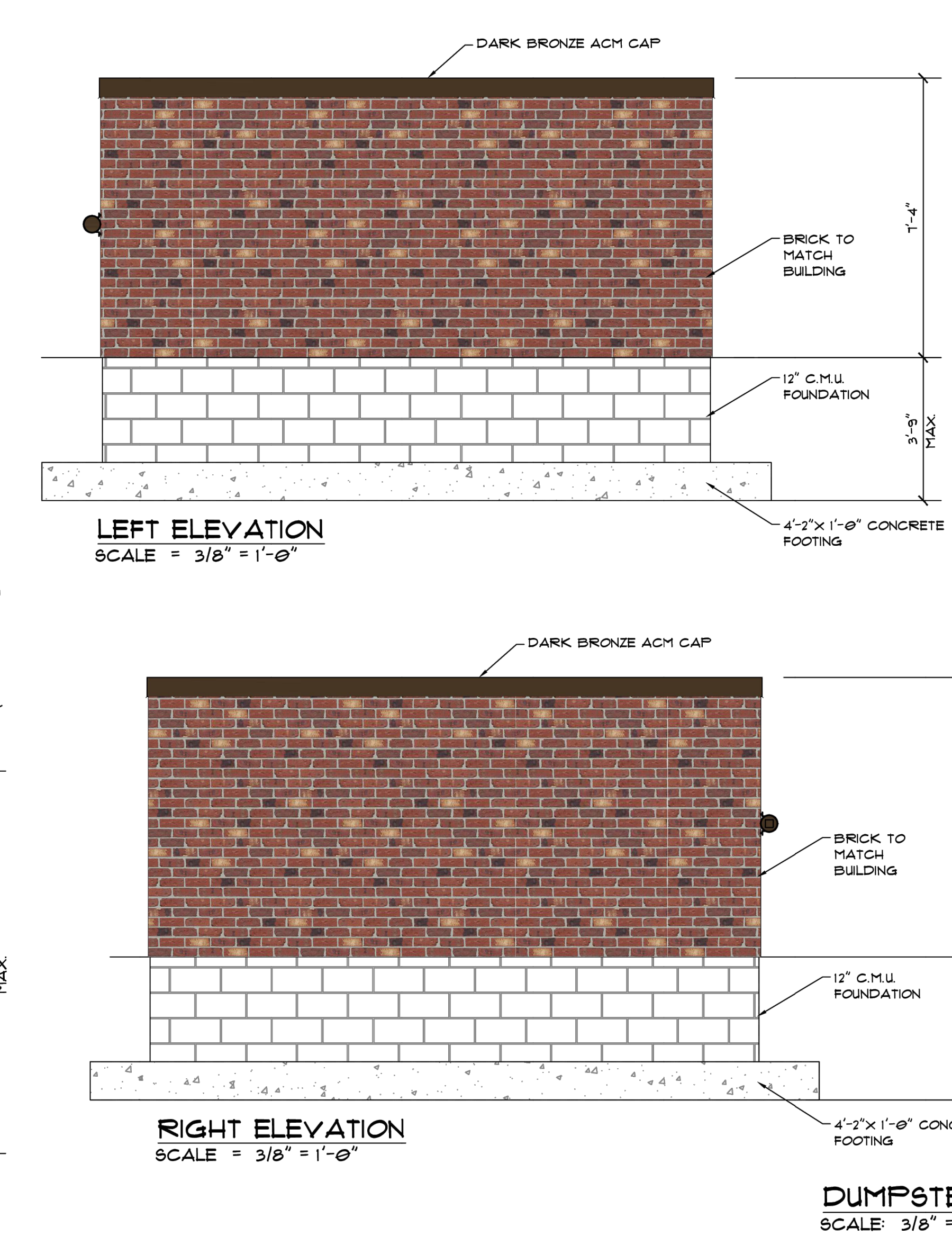
5700 SIXTH AVE.  
ALTOONA, PA 16602



**GAUGE STICK DETAILS**  
SCALE: 1" = 1'-0"



**DUMPSTER GATE DETAILS**  
SCALE: NOT TO SCALE



MARK	DATE	DESCRIPTION

ISSUE: **11/04/2024**  
PROJECT NO:  
AUTHOR BY: MLC  
REVIEW BY:  
SHEET TITLE

TRASH ENCLOSURE

**1**

QTY	LABEL	DESCRIPTION
24	A	CAN-228-PS-RM-06-E-UX-XX-525-57K

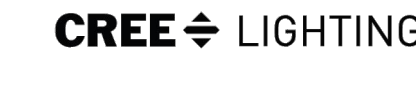
ADDITIONAL FIXTURE INFO

228 Series™  
LED Recessed Canopy Luminaire

**Product Description**  
This low profile, semi-recessed fixture has a low profile design. The luminaire body is made from high performance, die cast aluminum with integral LED components. The LED components are housed in a separate, replaceable heat sink. The luminaire is designed for easy installation and maintenance. The luminaire is available in a variety of mounting options and is suitable for use in a wide range of applications.

**Performance Summary**  
Patented NonFlicker® Product Technology  
Assembled in the U.S.A. of U.S. and imported parts  
CRI: Minimum 90 CRI  
CCT: 4000K, 5000K, 5700K, 6500K, 8000K, 9000K  
Limited Warranty: 5 years on luminaire/10 years on Colortrak® Deluxure™ Finish

**Accessories**  
Housing, LED Driver, LED Diodes, Heat Sink, Lens, Mounting Hardware



QTY	LABEL	DESCRIPTION
1	B	OSQ-ML-B-AA-XX + OSQM-B-11L-57K7-N3-UL-NM-XX
3	H	OSQ-ML-B-DA-XX + OSQM-B-11L-57K7-3M-UL-NM-XX + OSQ-BLSMF
3	G	OSQ-ML-B-DA-XX + OSQM-B-11L-57K7-4M-UL-NM-XX
4	J	OSQ-ML-B-DA-XX + OSQM-B-11L-57K7-4M-UL-NM-XX-W_OSQ-BLSMF

ADDITIONAL FIXTURE INFO

OSQ Series  
OSQ™ LED Area/Flood Luminaire featuring Cree TrueWhite® Technology - Medium & Large

**Product Description**  
The OSQ Series LED Area/Flood Luminaire features a high performance, die cast aluminum housing with integral LED components. The luminaire is designed for easy installation and maintenance. The luminaire is available in a variety of mounting options and is suitable for use in a wide range of applications.

**Performance Summary**  
Patented NonFlicker® Product Technology  
Assembled in the U.S.A. of U.S. and imported parts  
CRI: Minimum 90 CRI  
CCT: 4000K, 5000K, 5700K, 6500K, 8000K, 9000K  
Limited Warranty: 5 years on luminaire/10 years on Colortrak® Deluxure™ Finish



QTY	LABEL	DESCRIPTION
13	C	PHY-EDG-3M-P3-02-E-UL-350-57K

ADDITIONAL FIXTURE INFO

THE EDGE® Series  
LED Pathway Luminaire

**Product Description**  
The Edge Series LED Pathway Luminaire features a high performance, die cast aluminum housing with integral LED components. The luminaire is designed for easy installation and maintenance. The luminaire is available in a variety of mounting options and is suitable for use in a wide range of applications.

**Performance Summary**  
Patented NonFlicker® Product Technology  
Assembled in the U.S.A. of U.S. and imported parts  
CRI: Minimum 90 CRI  
CCT: 4000K, 5000K, 5700K, 6500K, 8000K, 9000K  
Limited Warranty: 5 years on luminaire/10 years on Colortrak® Deluxure™ Finish



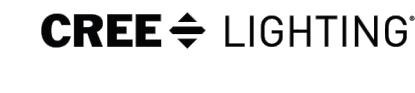
QTY	LABEL	DESCRIPTION
2	E	SEC-EDG-3M-WM-02-E-UL-XX-525-57K
4	F	SEC-EDG-3M-WM-04-E-UL-XX-525-57K

ADDITIONAL FIXTURE INFO

THE EDGE® Series  
LED Security Wall Pack Luminaire

**Product Description**  
The Edge Series LED Security Wall Pack Luminaire features a high performance, die cast aluminum housing with integral LED components. The luminaire is designed for easy installation and maintenance. The luminaire is available in a variety of mounting options and is suitable for use in a wide range of applications.

**Performance Summary**  
Patented NonFlicker® Product Technology  
Assembled in the U.S.A. of U.S. and imported parts  
CRI: Minimum 90 CRI  
CCT: 4000K, 5000K, 5700K, 6500K, 8000K, 9000K  
Limited Warranty: 5 years on luminaire/10 years on Colortrak® Deluxure™ Finish



228 Series™ LED Recessed Canopy Luminaire

**Product Specifications**  
This low profile, semi-recessed fixture has a low profile design. The luminaire body is made from high performance, die cast aluminum with integral LED components. The LED components are housed in a separate, replaceable heat sink. The luminaire is designed for easy installation and maintenance. The luminaire is available in a variety of mounting options and is suitable for use in a wide range of applications.

**Construction Materials**  
Housing: Die Cast Aluminum  
LED Driver: High Performance  
LED Diodes: High Performance  
Heat Sink: High Performance  
Lens: High Performance  
Mounting Hardware: High Performance

**Electrical System**  
Input Voltage: 120V/277V or 347V/480V, 50/60Hz, Class I drivers  
Total Harmonic Distortion: <20% at full load  
Maximum Input Surge Current: 20x Inrush Current  
Surge Protection: Standard

**Weight & Dimensions**  
Housing Weight: 1.5 lbs  
Total Weight: 2.0 lbs



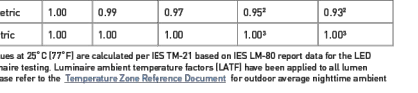
OSQ™ LED Area/Flood Luminaire featuring Cree TrueWhite® Technology - Medium & Large

**Product Specifications**  
The OSQ Series LED Area/Flood Luminaire features a high performance, die cast aluminum housing with integral LED components. The luminaire is designed for easy installation and maintenance. The luminaire is available in a variety of mounting options and is suitable for use in a wide range of applications.

**Construction Materials**  
Housing: Die Cast Aluminum  
LED Driver: High Performance  
LED Diodes: High Performance  
Heat Sink: High Performance  
Lens: High Performance  
Mounting Hardware: High Performance

**Electrical System**  
Input Voltage: 120V/277V or 347V/480V, 50/60Hz, Class I drivers  
Total Harmonic Distortion: <20% at full load  
Maximum Input Surge Current: 20x Inrush Current  
Surge Protection: Standard

**Weight & Dimensions**  
Housing Weight: 2.0 lbs  
Total Weight: 2.5 lbs



THE EDGE® LED Pathway Luminaire

**Product Specifications**  
The Edge Series LED Pathway Luminaire features a high performance, die cast aluminum housing with integral LED components. The luminaire is designed for easy installation and maintenance. The luminaire is available in a variety of mounting options and is suitable for use in a wide range of applications.

**Construction Materials**  
Housing: Die Cast Aluminum  
LED Driver: High Performance  
LED Diodes: High Performance  
Heat Sink: High Performance  
Lens: High Performance  
Mounting Hardware: High Performance

**Electrical System**  
Input Voltage: 120V/277V or 347V/480V, 50/60Hz, Class I drivers  
Total Harmonic Distortion: <20% at full load  
Maximum Input Surge Current: 20x Inrush Current  
Surge Protection: Standard

**Weight & Dimensions**  
Housing Weight: 1.5 lbs  
Total Weight: 2.0 lbs



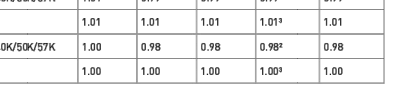
THE EDGE® LED Security Wall Pack Luminaire

**Product Specifications**  
The Edge Series LED Security Wall Pack Luminaire features a high performance, die cast aluminum housing with integral LED components. The luminaire is designed for easy installation and maintenance. The luminaire is available in a variety of mounting options and is suitable for use in a wide range of applications.

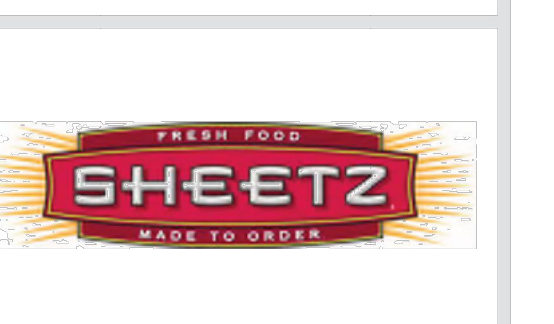
**Construction Materials**  
Housing: Die Cast Aluminum  
LED Driver: High Performance  
LED Diodes: High Performance  
Heat Sink: High Performance  
Lens: High Performance  
Mounting Hardware: High Performance

**Electrical System**  
Input Voltage: 120V/277V or 347V/480V, 50/60Hz, Class I drivers  
Total Harmonic Distortion: <20% at full load  
Maximum Input Surge Current: 20x Inrush Current  
Surge Protection: Standard

**Weight & Dimensions**  
Housing Weight: 2.5 lbs  
Total Weight: 3.0 lbs



1340 Kemper Meadow Dr., Forest Park, OH 45420  
513-574-9500 | redleonard.com



PROJECT NAME:  
DRAWING NUMBER:  
RL-8617-S1