

GENERALIZED DEVELOPMENT PLAN  
FOR  
MCDONALD'S USA, LLC

LOCATION OF SITE  
44 STANSTEAD ROAD FALMOUTH VA 22406  
PID 45 38C PARCEL B  
STAFFORD COUNTY, VA

PLAN REFERENCES AND CONTACTS

REFERENCES

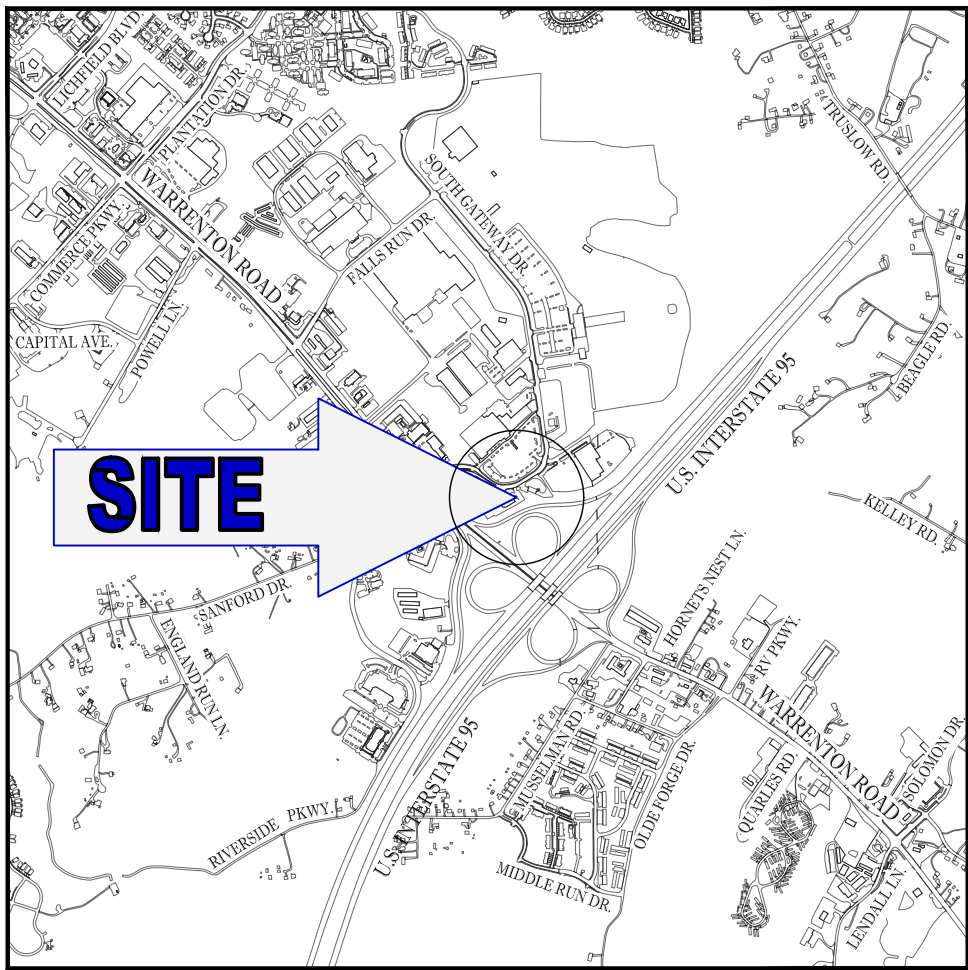
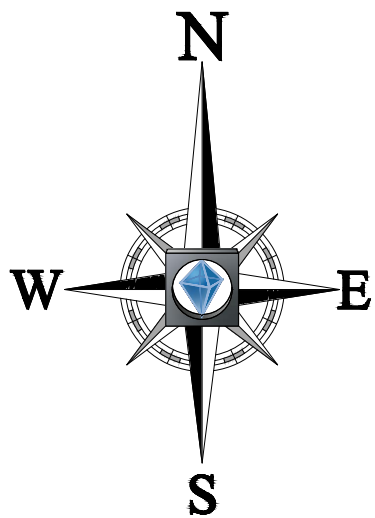
♦ BOUNDARY & TOPOGRAPHIC/ALTA SURVEY:  
"BOUNDARY & TOPOGRAPHIC SURVEY MCDONALD'S  
USA, LLC, FALMOUTH-HARTWOOD MAGISTERIAL  
DISTRICT, STAFFORD COUNTY, VIRGINIA"  
PREPARED BY: BOHLER ENGINEERING  
PROJECT NUMBER: SV175002  
DATED 10/13/2017 REVISED: 12/09/2019

GOVERNING AGENCIES

♦ VIRGINIA DEPARTMENT OF  
TRANSPORTATION  
87 DEACON ROAD  
FREDERICKSBURG VA 22405  
(540) 899-4288 (P)  
♦ STAFFORD COUNTY PLANNING  
AND ZONING  
1300 COURTHOUSE ROAD  
STAFFORD, VA 22554  
(540) 658-8600 (P)  
♦ STAFFORD COUNTY BUILDING  
DEPARTMENT  
1300 COURTHOUSE ROAD  
STAFFORD, VA 22554  
CONTACT: CARY JAMISON  
(540) 658-8650 (P)  
♦ STAFFORD COUNTY PUBLIC  
WORKS  
1300 COURTHOUSE ROAD  
STAFFORD, VA 22554  
(540) 658-8650 (P)

UTILITIES

♦ WATER & SEWER  
STAFFORD COUNTY PUBLIC WORKS  
1300 COURTHOUSE ROAD  
STAFFORD, VA 22554  
(540) 658-8650  
♦ CABLE  
COMCAST  
(804) 562-3861 (P)  
♦ TELEPHONE  
VERIZON  
(703) 754-3861 (P)  
♦ ELECTRIC  
DOMINION VIRGINIA POWER  
980 WARRENTON ROAD  
FREDERICKSBURG, VA 22406  
(888) 366-4357



LOCATION MAP

SCALE: 1" = 2000'  
REFERENCE:  
COPYRIGHT  
MICROSOFT CORPORATION

OWNER/DEVELOPER/APPLICANT

MCDONALD'S USA, LLC  
6903 ROCKLEDGE DRIVE, SUITE  
1100 BETHESDA, MD 20817

PREPARED BY



**BOHLER**  
ENGINEERING

28 BLACKWELL PARK LANE, SUITE 201  
WARRENTON, VIRGINIA 20186

Phone: (540) 349-4500

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CONTACT: JONATHAN RITCHIE PE.



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SITE CIVIL AND CONSULTING ENGINEERING LAND SURVEYING PROGRAM MANAGEMENT  
SUSTAINABLE DESIGN PERMITTING SERVICES TRANSPORTATION SERVICES LANDSCAPE ARCHITECTURE  
♦ UPRSTATE NEW YORK ♦ NEW YORK METRO ♦ PITTSBURGH, PA ♦ BALTIMORE, MD ♦ RALEIGH, NC ♦ TAMPA, FL  
♦ NEW ENGLAND ♦ NORTHERN NEW JERSEY ♦ LEHIGH VALLEY, PA ♦ SOUTHERN MARYLAND ♦ WASHINGTON, DC ♦ SOUTH FLORIDA  
♦ BOSTON, MA ♦ SOUTHERN NEW JERSEY ♦ SOUTHEASTERN, PA ♦ NORTHERN VIRGINIA ♦ CHARLOTTE, NC ♦ DALLAS, TX  
♦ PHILADELPHIA, PA ♦ REEDSBORO BEACH, DE ♦ CENTRAL VIRGINIA ♦ ATLANTA, GA  
♦ NEW YORK, NY

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SHEET INDEX	
SHEET TITLE	SHEET NUMBER
COVER SHEET	C-1
BOUNDARY & TOPOGRAPHIC SURVEY	C-2
GENERALIZED DEVELOPMENT PLAN	C-3
SIGN LOCATION PLAN AND DETAILS	C-4
LANDSCAPE PLAN	C-5

PROJECT DESCRIPTION

THIS PROPERTY IS LOCATED AT 44 STANSTEAD RD FREDERICKSBURG, VIRGINIA. THIS PROJECT  
CONSISTS OF AN EXISTING 5,080 SF. MCDONALD'S BUILDING AND THE PROPOSED ADDITION OF A NEW  
SIDE BY SIDE DRIVE THRU NEW LANDSCAPE ISLANDS AND RECONFIGURED ANGLED PARKING  
SPACES. ACTIVITIES WILL INCLUDE DEMOLITION OF EXISTING PAVING, ISLANDS AND PAVEMENT  
MARKINGS. AREAS OF NEW LANDSCAPING HAVE BEEN DELINEATED. DETAILS WILL BE PROVIDED WITH  
THE FINAL SITE PLAN.

GENERAL NOTES

- THIS PLAN REFERENCES DOCUMENTS AND INFORMATION BY:  
BOHLER ENGINEERING LLC  
22636 DAVIS DRIVE, SUITE 250  
STERLING, VIRGINIA 20154  
ENTITLED: "PARTIAL TOPOGRAPHIC SURVEY"  
PREPARED FOR: MCDONALD'S USA, LLC  
FILE NO.: SV175002  
DATED: 10-16-2017, REVISED 12/09/2019
- THIS PLAN WAS PREPARED STRICTLY BASED UPON INFORMATION IDENTIFIED ABOVE.
- NO MODIFICATIONS TO THE CURRENT STORM WATER MANAGEMENT IS ANTICIPATED.

GENERALIZED DEVELOPMENT PLAN				REGIONAL NGR.	CONST. MGR.	OPERATIONS DEPT.	REAL ESTATE DEPT.	CONTRACTOR	OWNER
PLAN SCALE:									
STREET ADDRESS 44 STANSTEAD ROAD									
BLOCK NUMBER 45		LOT NUMBER 38C		STATUS		DATE		BY	
DISTRICT FALMOUTH-HARTWOOD		COUNTY STAFFORD		PRELIMINARY		01/27/2020		CH	
		STATE VA		PLAN CHECKED		07/07/2020		JQR	
				AS-BUILT					
REGIONAL DWG. NO LC #45-0207		PLAN DESCRIPTION COVER SHEET		C-1					
CAD FILE: V175002 SS 2									

FINAL PLAN SIGNATURES	REV	DATE	DESCRIPTION	BY	ISSUE REF
P.M.					
G.C.					
O/O					

<b>McDonald's</b> <sup>®</sup>	
THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF MCDONALD'S USA, LLC AND SHALL NOT BE REPRODUCED WITHOUT THEIR WRITTEN PERMISSION. BALTIMORE WASHINGTON REGION	
OFFICE	ADDRESS
BALTIMORE WASHINGTON REGION	6903 ROCKLEDGE DRIVE, SUITE 1100
	BETHESDA, MD 20817 (240) 497-3000

PLAN APPROVALS		DATE
SIGNATURE (IF REQUIRED)		
REGIONAL MGR.		
CONST. MGR.		
OPERATIONS DEPT.		
REAL ESTATE DEPT.		
CO-SIGN SIGNATURES		
CONTRACTOR		
OWNER		



## NOTES:

1. PROPERTY IS PARCEL B, FALMOUTH AS RECORDED IN PLAT BOOK 17 PAGE 19 AND BEING THE LANDS OF MCDONALD'S CORPORATION AS RECORDED IN BOOK 1099 PAGE 434, ALL AMONG THE LAND RECORDS OF STAFFORD COUNTY, VIRGINIA AND HAVING A PROPERTY IDENTIFICATION NUMBER OF 45 38C PER THE DEPARTMENT OF ASSESSMENTS.
2. AREA: 59,734 SQUARE FEET OR 1.371 ACRES
3. LOCATION OF ALL UNDERGROUND UTILITIES ARE APPROXIMATE, SOURCE INFORMATION FROM PLANS AND MARKINGS HAS BEEN COMBINED WITH OBSERVED EVIDENCE OF UTILITIES TO DEVELOP A VIEW OF THOSE UNDERGROUND UTILITIES. HOWEVER, LACKING EXCAVATION, THE EXACT LOCATION OF UNDERGROUND FEATURES CANNOT BE ACCURATELY, COMPLETELY AND RELIABLY DEPICTED. WHERE ADDITIONAL OR MORE DETAILED INFORMATION IS REQUIRED, THE CLIENT IS ADVISED THAT EXCAVATION MAY BE NECESSARY.
4. THIS SURVEY WAS PERFORMED IN THE FIELD ON OCTOBER 07, 2017 AND REVISITED ON DECEMBER 4, 2019 UTILIZING THE REFERENCE DOCUMENTS AS LISTED HEREON AND DEPICTS BUILDINGS, STRUCTURES AND OTHER IMPROVEMENTS.
5. THIS PROPERTY MAY BE SUBJECT TO RESTRICTIONS, COVENANTS AND/OR EASEMENTS, WRITTEN OR IMPLIED. THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT.
6. ELEVATIONS ARE BASED NAVD 88 DATUM, REFERENCED BY GPS GEOMETRICS, INC. TO A STAFFORD CO. VA GIS BENCHMARK NAMED POWELL WITH A PUBLISHED ELEVATION OF 274.09 FEET.
7. THE PROPERTY IS LOCATED IN OTHER AREAS X AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN PER MAP ENTITLED "FIRM, FLOOD INSURANCE RATE MAP, STAFFORD COUNTY, VIRGINIA, PANEL 203 OF 280", MAP NUMBER 5101540203E, WITH A MAP REVISED DATE OF FEBRUARY 4, 2005.

## REFERENCES:

1. MAP ENTITLED "UTILITY PLAN, MCDONALD'S, ROUTE 670, FREDERICKSBURG, VIRGINIA, STAFFORD COUNTY", LAST REVISED JUNE 12, 1979 AND PREPARED BY J.K. TIMMONS & ASSOCIATES, INC., RICHMOND, VA.

## UTILITIES:

THE FOLLOWING COMPANIES WERE NOTIFIED BY DELMARVA MISS UTILITY SYSTEM (1-800-552-7001) AND REQUESTED TO MARK OUT UNDERGROUND FACILITIES AFFECTING AND SERVICING THIS SITE. THE UNDERGROUND UTILITY INFORMATION SHOWN HEREON IS BASED UPON THE UTILITY COMPANIES RESPONSE TO THIS REQUEST. SERIAL NUMBER(S): A727100651-00A

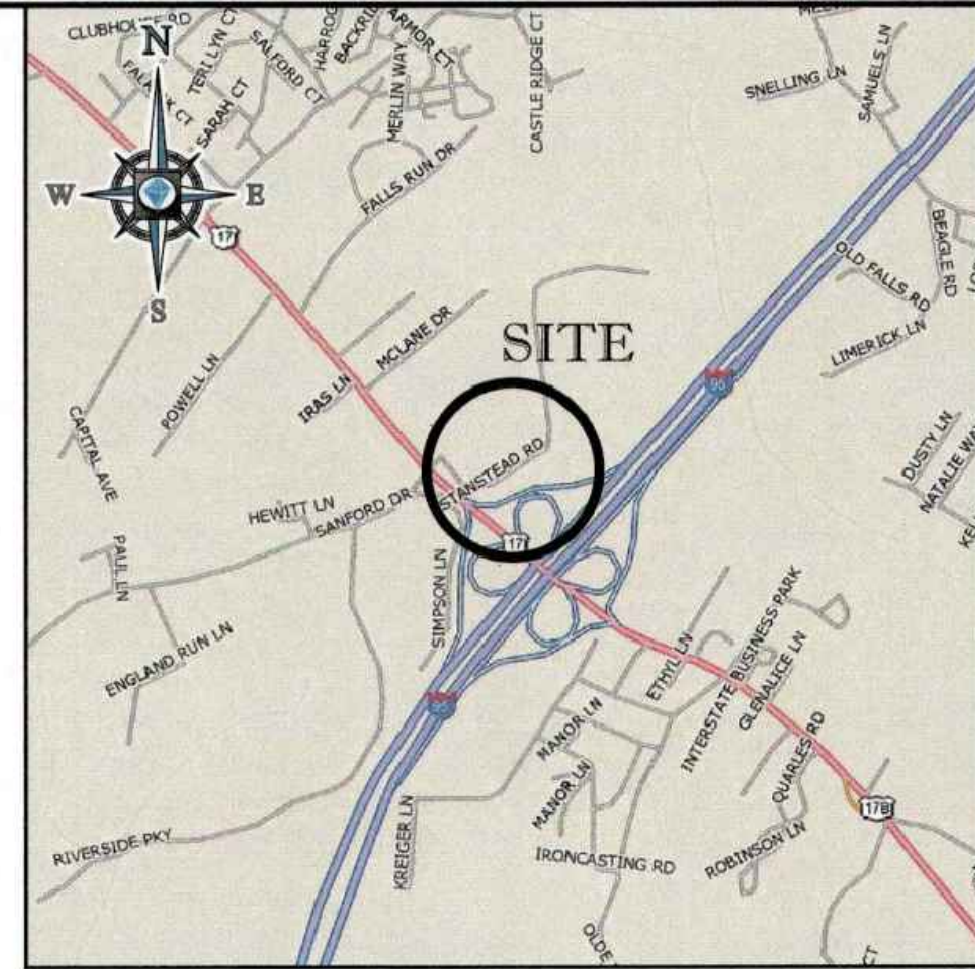
UTILITY COMPANY  
COLUMBIA GAS  
COMCAST  
COX COMMUNICATIONS  
DOM CENTRAL DISTRIBUTION  
SUMMITTIG  
STAFFORD - WATER & SEWER  
VERIZON

PHONE NUMBER  
(703)754-2116  
(800)441-6917  
(703)754-2116  
(757)315-8766  
(804)921-9128  
(540)408-3999  
(888)483-1233

UTILITY PLAN INDEX				
UTILITY COMPANY	LOCATE STATUS	1st REQUEST	2nd REQUEST	RECEIVED
COLUMBIA GAS	MARKED	9/28/17		
COMCAST	NO CONFLICT	WILL NOT DISCLOSE		
COX COMMUNICATIONS	HAS NOT RESPONDED	WILL NOT DISCLOSE		
DOM CENTRAL DISTRIBUTION	HAS NOT RESPONDED	WILL NOT DISCLOSE		
SUMMITTIG	NO CONFLICT	WILL NOT DISCLOSE		
STAFFORD - WATER & SEWER	MARKED	9/28/17		
VERIZON	NO CONFLICT	WILL NOT DISCLOSE		

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SOUTH GATEWAY DRIVE  
VARIABLE WIDTH RIGHT-OF-WAY  
ASPHALT PAVED PUBLIC ROADWAY



## LOCATION MAP

COPYRIGHT 2013  
DELOME STREET ATLAS USA 2013  
SCALE: 1"=2000'

## LEGEND

123	EXISTING CONTOUR
X 123.45	EXISTING SPOT ELEVATION
X TC 123.45	EXIST. TOP OF CURB ELEVATION
X G 122.95	EXIST. GUTTER ELEVATION
---	APPROX. LOC. UNDERGROUND SEWER LINE PER REF. 1
+	SIGN
+	BENCHMARK
+	UTILITY POLE
+	STORM DRAIN MANHOLE
+	BOLLARD
L.S.A.	LANDSCAPED AREA
+	AREA LIGHT
+	DOUBLE AREA LIGHT
+	DENOTES PARKING SPACE COUNT
+	TREE (SIZE AS NOTED)
R <sub>0</sub>	ROOF DRAIN
CONC.	CONCRETE
NAD	NORTH AMERICAN DATUM
MH	MANHOLE
INV	INVERT
VCS	VIRGINIA COORDINATE SYSTEM
N/A	NOW OR FORMERLY
R	RADIUS
D Δ	DELTA
L	LENGTH
CHB	CHORD BEARING
CHD	CHORD DISTANCE
UP/LP	UTILITY POLE/LIGHT POLE
ELEV	ELEVATION
W/	WITH
FF	FINISHED FLOOR
DS	DOOR SILL
HT	HEIGHT
(R)	RECORD
(M)	MEASURED

R=1032.74'(M&R)  
Δ=011°54'27"(M&R)  
L=214.63'(M&R)  
CHB=S66°32'58"W(M)  
CHB=S66°25'29"W(M)  
CHD=214.24'(M&R)

EXIT RAMP I-95  
VARIABLE WIDTH RIGHT-OF-WAY  
ASPHALT PAVED PUBLIC ROADWAY

1	REVISED TO ADD ADDITIONAL TOPOGRAPHY	S.U.	12/09/19
No.	DESCRIPTION OF REVISION	BY:	DATE



## BOUNDARY &amp; TOPOGRAPHIC SURVEY

McDONALD'S USA, LLC

44 STANSTEAD ROAD  
FALMOUTH-HARTWOOD MAGISTERIAL DISTRICT  
STAFFORD COUNTY, VIRGINIA

FILE NO.  
SV175002

DATE  
10/13/17  
12/09/19

FIELD DATE  
10/07/17  
12/04/19

CREW CHIEF  
JQ

DRAWN  
BAS II

REVIEWED  
JB

APPROVED  
JSC

SCALE  
1" = 20'

DWG. NO.  
C-2

12025 WORLDGATE DRIVE, SUITE 100  
HERNDON, VIRGINIA 20170  
703.769.9500

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ENGINEERING

www.bohlerengineering.com

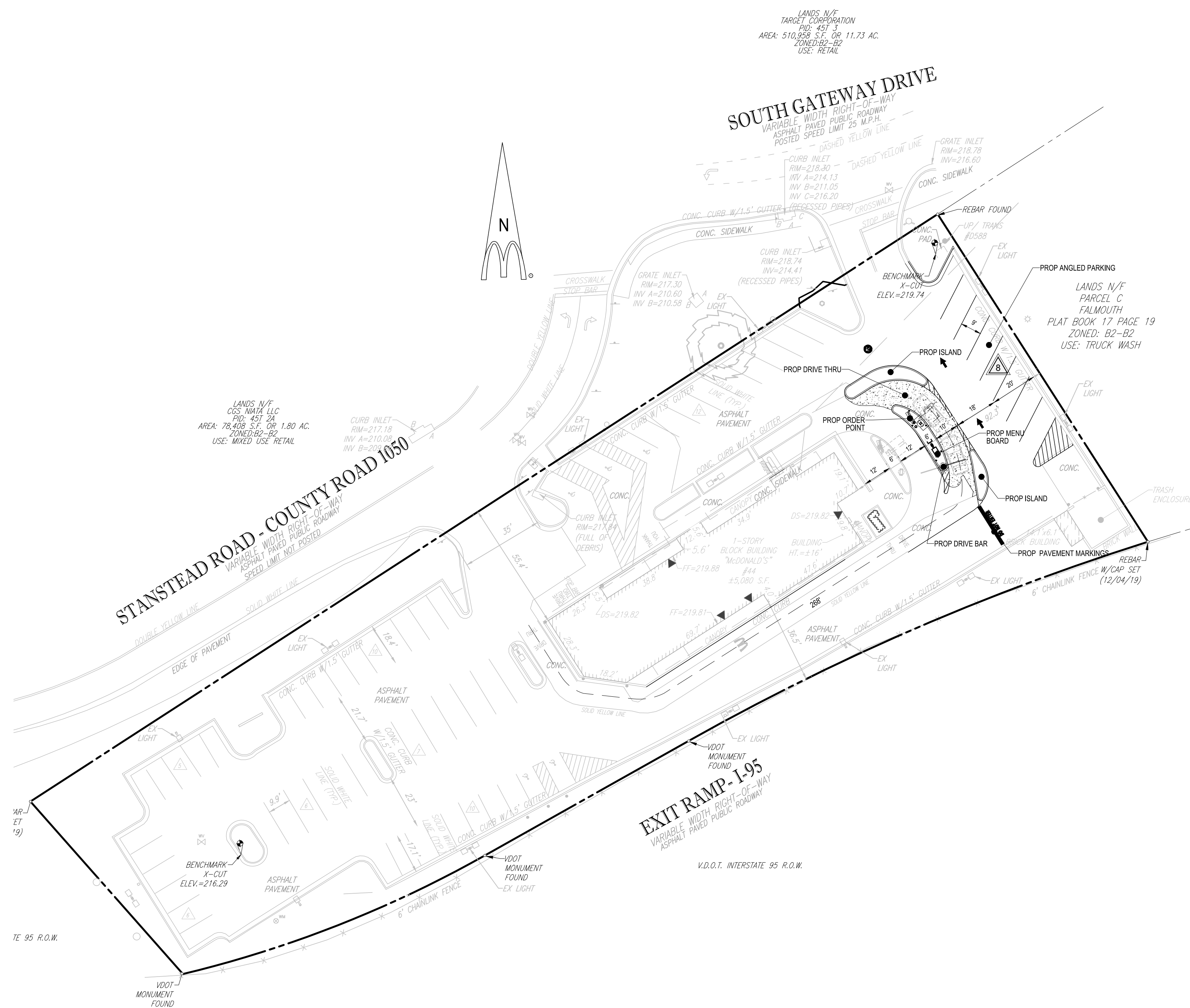
• UPRSTATE NEW YORK • BOSTON, MA • NEW YORK METRO • WARREN, NJ • PHILADELPHIA/SOUTHERN NJ • LEHIGH VALLEY, PA • SOUTHEASTERN PA  
• BALTIMORE, MD • SOUTHERN MARYLAND • NORTHERN VIRGINIA • WASHINGTON, DC • CENTRAL VIRGINIA • CHARLOTTE, NC • RALEIGH, NC

I HEREBY CERTIFY THAT THIS SURVEY HAS BEEN PERFORMED IN THE FIELD UNDER MY SUPERVISION, AND TO THE BEST OF MY KNOWLEDGE, BELIEF, AND INFORMATION, THAT THIS SURVEY HAS BEEN PERFORMED IN ACCORDANCE WITH CURRENTLY ACCEPTED ACCURACY STANDARDS. THAT THE PROPERTY LINES AND THE RELATIONSHIP OF BUILDINGS AND OTHER STRUCTURES TO THE PROPERTY LINES AND THE LAND INDICATED HEREON IS CORRECT.

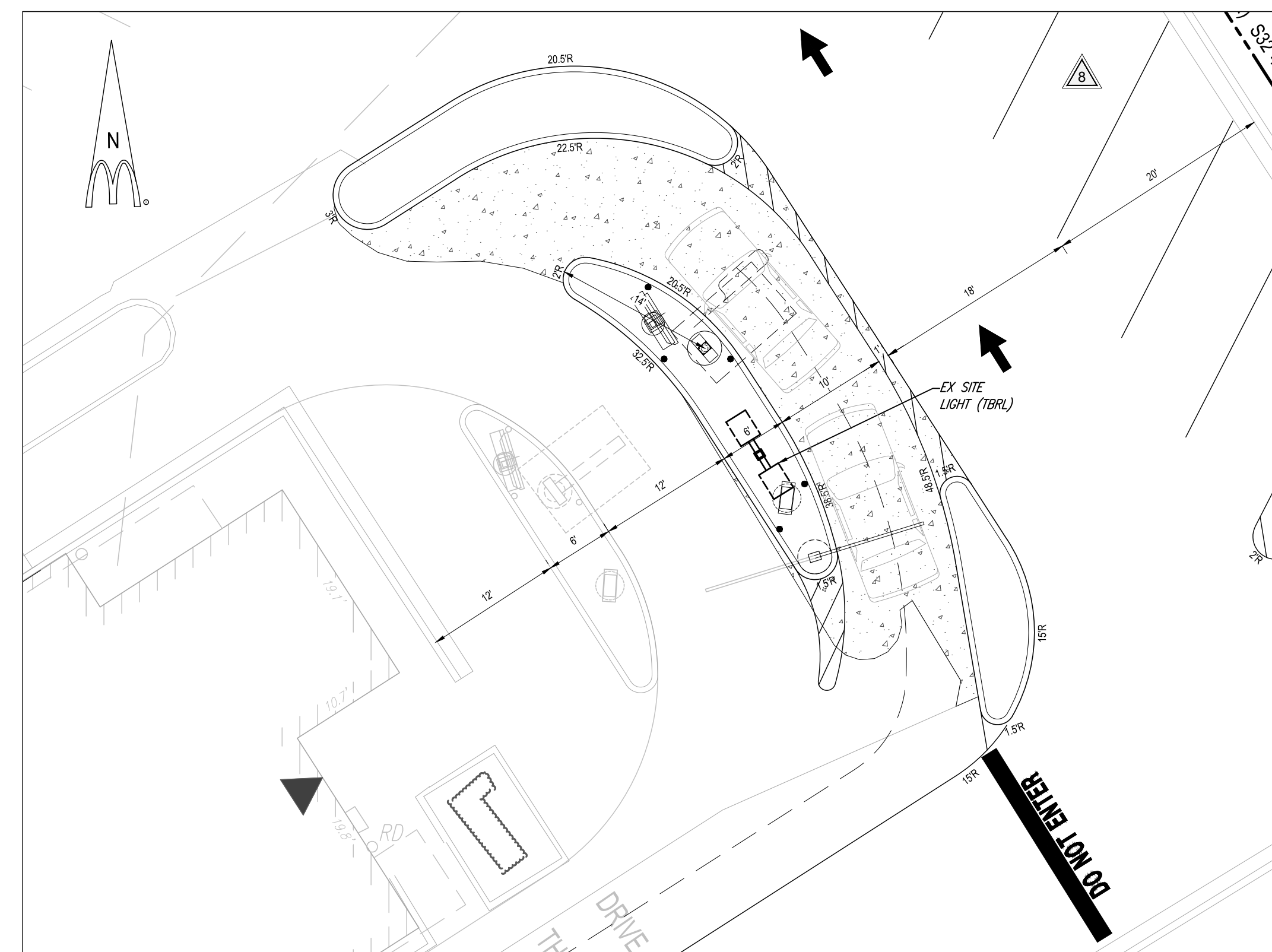
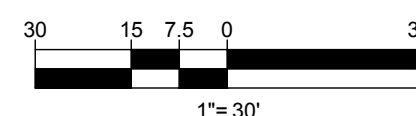


JANE SALES CLAUS  
VIRGINIA LICENSED LAND SURVEYOR

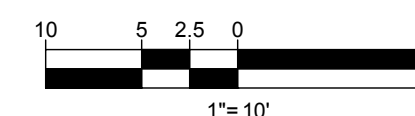




GENERALIZED DEVELOPMENT PLAN  
SCALE: 1" = 30'



DRIVE-THRU DIMENSION DETAIL



<u>SITE TABULATIONS</u>		
	REQUIRED	PROPOSED
MAXIMUM FLOOR AREA RATIO	0.70	0.09
OPEN SPACE RATIO	0.25	0.20
PROPOSED OPEN SPACE:	11,728 SF/0.27 AC	19.6%
EXISTING OPEN SPACE 11,696 SF ; PROPOSED OPEN SPACE 11,728 SF		
32 SF DECREASE IN IMPERVIOUS SPACE		
MINIMUM YARDS (FEET):		
FRONT	40'	55.4'
SIDE (EAST)	0'	0'
SIDE (WEST)	0'	0'
BACK	25'	36.5'
MAXIMUM HEIGHT	65'	16'
STACKING LANE (DRIV-THROUGH)	75'	268'
PARKING	56	284
11 SPACES/1,000 SF OF BUILDING		
5,080/11 = 56 SPACES		

**FINAL PLAN SIGNATURES**

P.M. \_\_\_\_\_

G.C. \_\_\_\_\_

O/O \_\_\_\_\_

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	BETHESDA, MD 20817 (240) 497-3600	

[illegible]


GENERALIZED DEVELOPMENT PLAN	
PLAN SCALE:	
STREET ADDRESS 44 STANSTEAD ROAD	
BLOCK NUMBER 45	LOT NUMBER 38C
DISTRICT FALMOUTH-HARTWOOD	COUNTY STAFFORD
STATE VA	
REGIONAL DWG. NO LC #45-0207	PLAN DESCRIPTION GENERALIZED DEVELOPMENT PLAN
CAD FILE: V175002.SS2	

LEGEND			
	EXISTING AREA LIGHT		PROPOSED BRICK SIDEWALK
	DENOTES NUMBER OF EXISTING PAINTED PARKING SPACES		PROPOSED CONCRETE
	DIRECTIONAL CIRCLE ARROW		PROPOSED ASPHALT OVERLAY (VARIABLE DEPTH)
	DIRECTIONAL ARROW		PROPOSED SAWCUT
	DOOR ENTRANCE		PROPERTY BOUNDARY
			EXISTING CURB
			EXISTING CURB TO BE REMOVED
			PROPOSED CONCRETE CURB
			NEW SPILL CURB
			NEW TRANSITION CURB
			EXISTING FIRE HYDRANT
			EXISTING WATER VALVE
			EXISTING GAS VALVE
			EXISTING UTILITY POLE
			EXISTING CLEANOUT
			EXISTING MANHOLE
			EXISTING INLET
			TO BE RELOCATED



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# BOHLER<sup>TM</sup>

## ENGINEERING

**28 BLACKWELL PARK LANE, SUITE 201**  
**WARRENTON, VIRGINIA 20186**

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 Fax: (540) 349-0321  
**VA@BohlerEng.com**

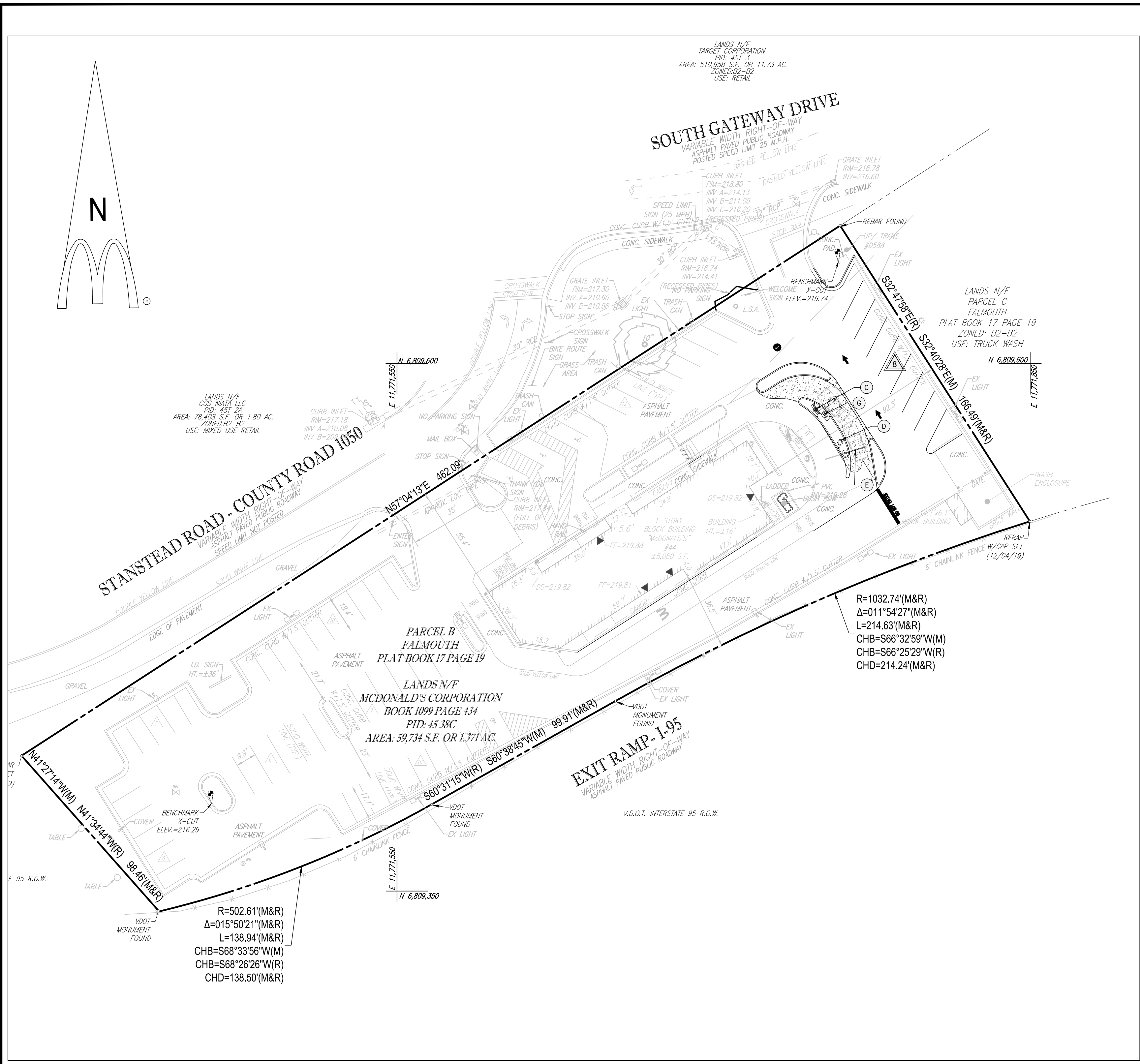


**SITE CIVIL AND CONSULTING ENGINEERING   LAND SURVEYING   PROGRAM MANAGEMENT   LANDSCAPE ARCHITECTURE**  
**SUSTAINABLE DESIGN   PERMITTING SERVICES   TRANSPORTATION SERVICES**

◆ UPGRADE NEW YORK	◆ NEW YORK METRO	◆ PITTSBURGH, PA	◆ BALTIMORE, MD	◆ RALEIGH, NC	◆ TAMPA, FL
◆ NEW YORKLAND	◆ NORTHERN NEW JERSEY	◆ LEHIGH VALLEY, PA	◆ SOUTHERN MARYLAND	◆ WASHINGTON, DC	◆ MIAMI, FLORIDA
◆ BOSTON, MA	◆ NEW YORK, NEW JERSEY	◆ SOUTHERN PENNA.	◆ NORTHERN VIRGINIA	◆ CHARLOTTE, NC	◆ DALLAS, TX
◆ NEW YORK, NY	◆ PHOENIX, AZ	◆ RICHMOND BEACH, OR	◆ CENTRAL VIRGINIA	◆ ATLANTA, GA	

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SIGNAGE PLAN  
SCALE: 1" = 30'

NOTE: THE SIGNAGE PLAN SHOWN IS FOR USE AS A REFERENCE ONLY. SIGNAGE PERMITTING IS TO BE COMPLETED BY OTHERS.

LEGEND			
	EXISTING AREA LIGHT		PROPOSED BRICK SIDEWALK
	DENOTES NUMBER OF EXISTING PAINTED PARKING SPACES		PROPOSED CONCRETE
	DIRECTIONAL CIRCLE ARROW		PROPOSED ASPHALT OVERLAY (VARIABLE DEPTH)
	DIRECTIONAL ARROW		PROPOSED SAWCUT
	DOOR ENTRANCE		PROPERTY BOUNDARY
			EXISTING CURB
			EXISTING CURB TO BE REMOVED
			PROPOSED CONCRETE CURB
			NEW SPILL CURB
			EXISTING MANHOLE
			NEW TRANSITION CURB
			EXISTING FIRE HYDRANT
			EXISTING WATER VALVE
			EXISTING GAS VALVE
			EXISTING UTILITY POLE
			EXISTING CLEANOUT
			EXISTING INLET

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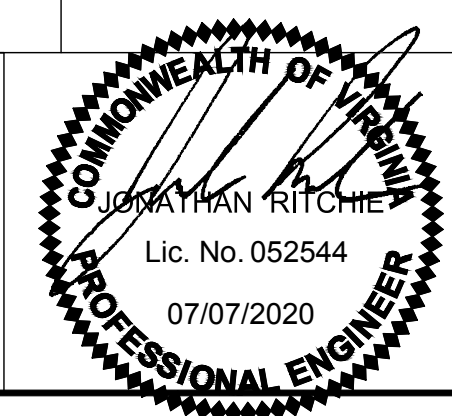
**BOHLER ENGINEERING**

28 BLACKWELL PARK LANE, SUITE 201  
WARRENTON, VIRGINIA 20186  
Phone: (540) 349-4500  
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VA@BohlerEng.com

SITE CIVIL AND CONSULTING ENGINEERING LAND SURVEYING PROGRAM MANAGEMENT LANDSCAPE ARCHITECTURE  
SUSTAINABLE DESIGN PERMITTING SERVICES TRANSPORTATION SERVICES

NEW YORK METRO NEW YORK CITY PITTSBURGH, PA BALTIMORE, MD RALEIGH, NC  
UPSTATE NEW YORK NORTHERN NEW JERSEY LEHIGH VALLEY, PA SOUTHERN MARYLAND WASHINGTON, DC SOUTH FLORIDA  
NEW ENGLAND SOUTHERN NEW JERSEY SOUTHEASTERN PA NORTHERN VIRGINIA CHARLOTTE, NC DALLAS, TX  
PHILADELPHIA, PA REHOBOTH BEACH, DE CENTRAL VIRGINIA ATLANTA, GA  
NEW YORK, NY

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GENERALIZED DEVELOPMENT PLAN			
PLAN SCALE: AS NOTED			
STREET ADDRESS 44 STANSTEAD ROAD			
BLOCK NUMBER 45	LOT NUMBER 38C		
DISTRICT FALMOUTH-HARTWOOD	COUNTY STAFFORD	STATE VA	
REGIONAL DWG. NO. LC #45-0207		PLAN DESCRIPTION SIGN LOCATION PLAN AND DETAILS	
CAD FILE: V175002.SS2			

PLAN APPROVALS		DATE	BY	ISSUE REF
SIGNATURE (2 REQUIRED)	REGIONAL MGR.			
	CONST. MGR.			
CO-SIGN SIGNATURES	OPERATIONS DEPT.			
	REAL ESTATE DEPT.			
CONTRACTOR				
OWNER				

FINAL PLAN SIGNATURES

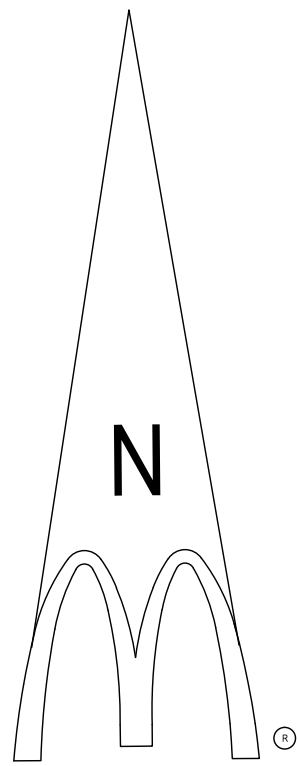
P.M. G.C. O.O.

**McDonald's**

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BALTIMORE WASHINGTON REGION  
6903 ROCKLEDGE DRIVE, SUITE 1100  
BETHESDA, MD 20817 (240) 497-3600





1992

3.33

TABLE 3.33-A  
TYPE OF SOD AVAILABLE IN VIRGINIA  
AND RECOMMENDED USES

**Kentucky Bluegrass:** Adapted to the Northern Piedmont and Mountain Regions. Individual varieties selected must make up not less than 10%, nor more than 35% of the total mixture on a weight basis. All varieties must be certified. Selections can be made from Category I alone or various combinations of Categories I, II and III, as noted.

Category I - Recommended Kentucky Bluegrass Varieties

65% - 100% A-34, Abbey, Aspen, Asset, Baron, Blacksburg, Bristol, Cheri, Chateau, Classic, Coventry, Georgetown, Glade, Haga, Julia, Liberty, Loft's 1757, Merit, Midnight, Monopoly, Plush, Princeton 104, Rugby, Suffolk, Victa

Category II - Special use varieties. If used, must contain at least 65% Category I varieties

Shade Tolerant

10-35% Bristol, Columbia, Georgetown, Glade, Midnight

Low-Maintenance Tolerant

10-35% Columbia, Georgetown, Monopoly, Ram I, Touchdown, Victa

Category III - Promising Kentucky Bluegrass - Limited performance data or seed availability

10-35% Dawn, Estate, Freedom, Kelly

\*\*(continued)\*\*

1992

3.33

TABLE 3.33-A (CONTINUED)  
TYPE OF SOD AVAILABLE IN VIRGINIA AND RECOMMENDED USES

**Tall Fescue:** Adapted to the entire state.

Recommended Tall Fescue Varieties:

90-100% Amigo, Apache, Bonanza, Chieftain, Finelawn SGL, Mesa, Rebel II, Shenandoah, Tribute

Promising Tall Fescues

Certified Arriba, Austin, Avanti, Aztec, Cochise, Crossfire, Eldorado, Hubbard 87, Jaguar II, Maverick II, Monarch, Olympic II, Phoenix, Safari, Shortstop, Sundance, Taurus, Thoroughbred, Titan, Tradition, Vegas, Winchester, Wrangler

0-10% Kentucky bluegrass: Baron, Cheri, Columbia, Monopoly, Nassau, Ram I, Victa

**Bermudagrass:** Tufcote is adapted to the Richmond-Danville-Newport News triangle. Midiron may be used east of Roanoke and south of Charlottesville. Tifgreen and Tifway may be used to the east and south of Richmond. Vamont may be used east of Roanoke and at lower elevations in southwestern Virginia.

Certified Midiron, Tifgreen<sup>#</sup>, Tifway, Tifway II, Tufcote and Vamont

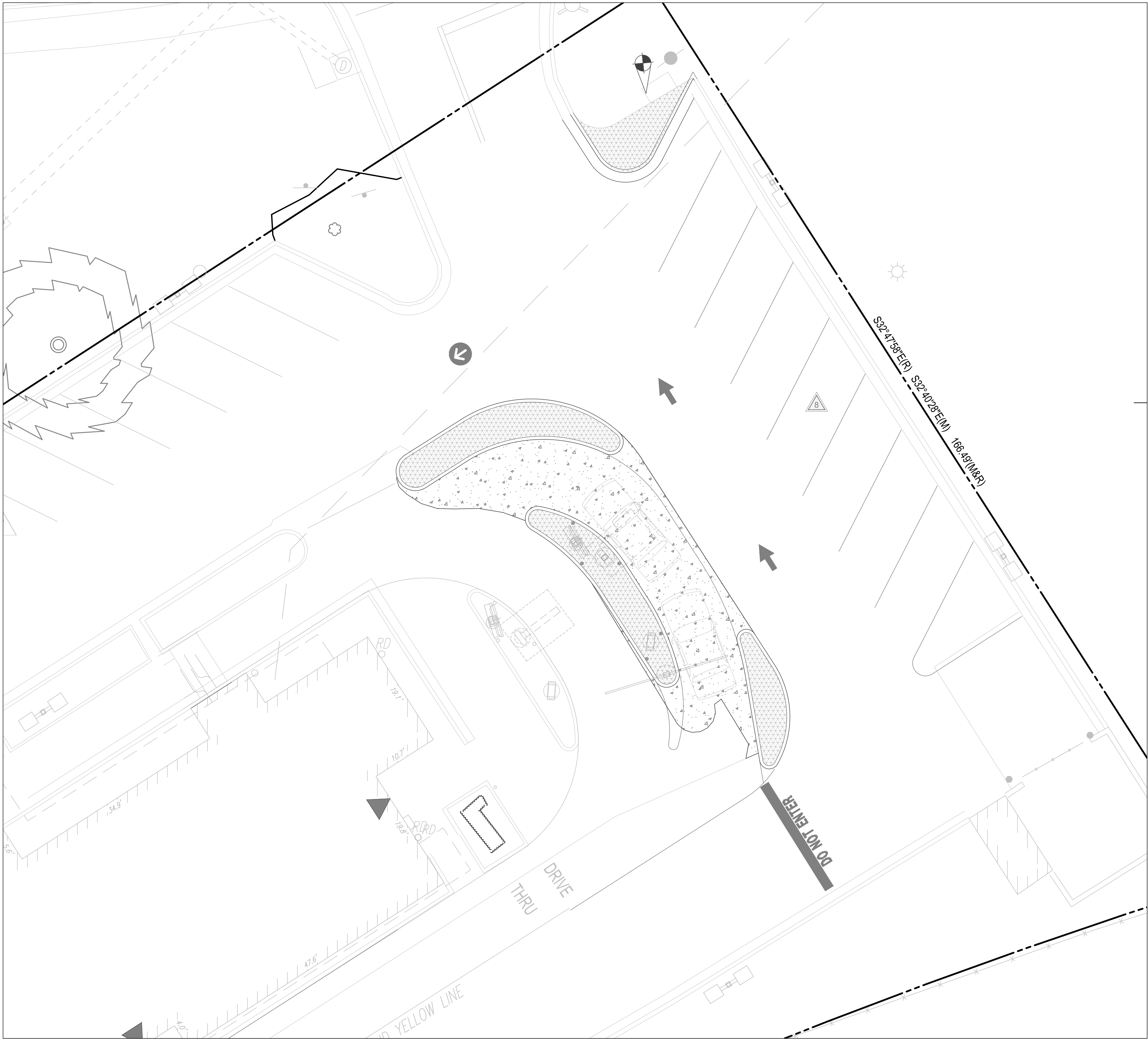
**Zoysiagrass:** This sod performs best in southeastern Virginia.

Meyer, Emerald<sup>#</sup>

**Note:** Common Bermudagrass is not recommended for sod production.

<sup>#</sup> Only recommended in southeastern Virginia.

Source: 1991 Virginia Turfgrass Variety Recommendations, Virginia Crop Improvement Association

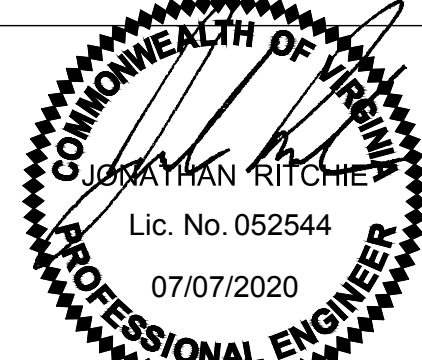


LEGEND			
EXISTING AREA LIGHT	PROPOSED BRICK SIDEWALK	PROPERTY BOUNDARY	EXISTING FIRE HYDRANT
DENOTES NUMBER OF EXISTING PAINTED PARKING SPACES	PROPOSED CONCRETE	EXISTING CURB	EXISTING WATER VALVE
DIRECTIONAL CIRCLE ARROW	PROPOSED ASPHALT OVERLAY (VARIABLE DEPTH)	EXISTING CURB TO BE REMOVED	EXISTING GAS VALVE
DIRECTIONAL ARROW	PROPOSED SAWCUT	EXISTING UTILITY POLE	EXISTING CLEANOUT
DOOR ENTRANCE	PROPOSED SOD	NEW SPILL CURB	EXISTING MANHOLE
		NEW TRANSITION CURB	EXISTING INLET



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BOSTON, MA SOUTHERN NEW JERSEY SOUTH EASTERN, PA NORTHERN VIRGINIA CHARLOTTE, NC DALLAS, TX  
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GENERALIZED DEVELOPMENT PLAN			
PLAN SCALE: AS NOTED			
STREET ADDRESS 44 STANSTEAD ROAD			
BLOCK NUMBER 45		LOT NUMBER 38C	
DISTRICT FALMOUTH-HARTWOOD	COUNTY STAFFORD		STATE VA
REGIONAL DWG. NO LC #45-0207		PLAN DESCRIPTION LANDSCAPE PLAN	
CAD FILE: V175002 SS2			

PLAN APPROVALS				FINAL PLAN SIGNATURES	REV	DATE	DESCRIPTION	BY	ISSUE REF						
SIGNATURE (2 REQUIRED)		DATE													
REGIONAL MGR.															
CONST. MGR.															
OPERATIONS DEPT.															
REAL ESTATE DEPT.															
STATUS			DATE		BY										
PRELIMINARY			01/27/2020		CH										
PLAN CHECKED			07/07/2020		JQR										
AS-BUILT															
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