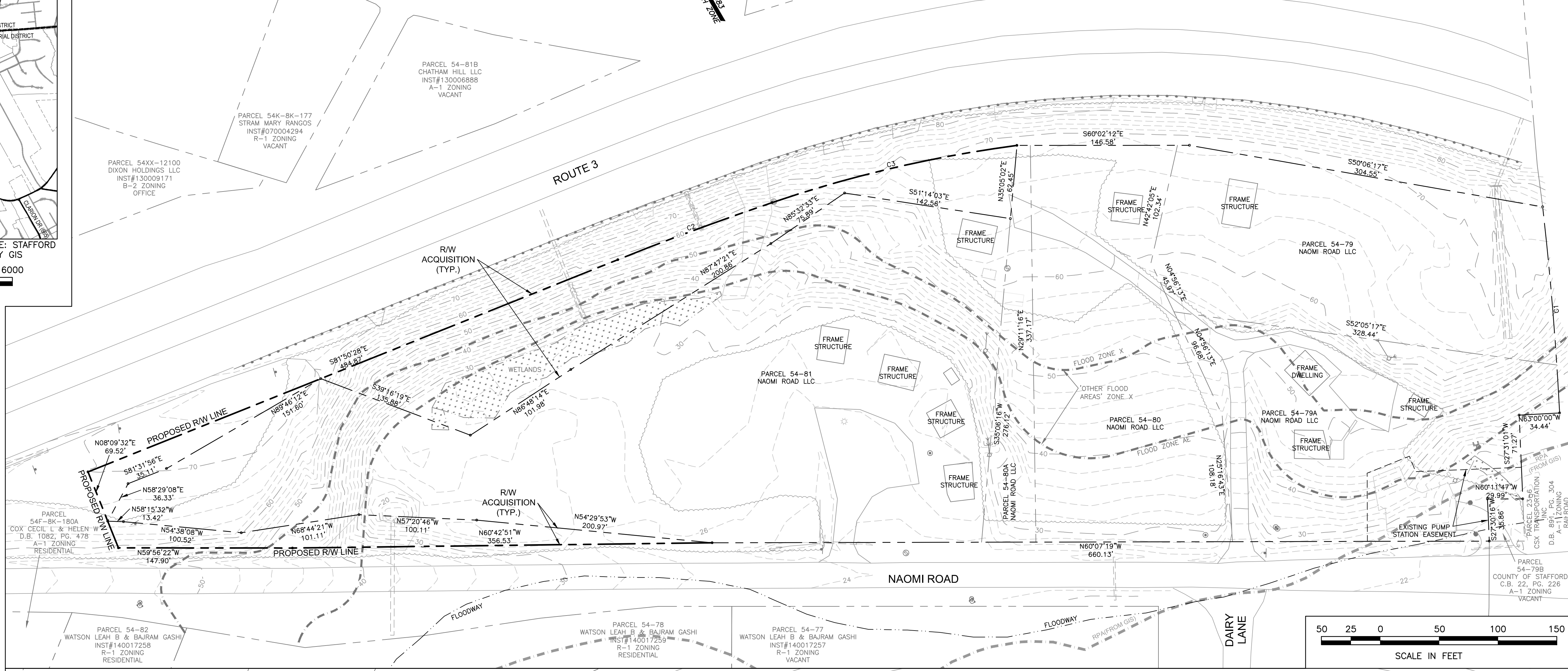


VICINITY MAP  
SOURCE: STAFFORD COUNTY GIS  
SCALE IN FEET  
2000 1000 0 2000 4000 6000

CURVE DATA						
CURVE	ARC	RADIUS	DELTA	TANGENT	CH BEARING	CHORD
C1	753.90'	2814.95'	15°20'42"	379.22'	S19°16'59"E	751.65'
C2	427.15'	268.30'	91°13'08"	274.07'	N58°26'13"W	383.45'
C3	138.65'	268.30'	29°36'29"	70.91'	S54°23'52"W	137.11'

**EXISTING CONDITIONS**



**SITE INFORMATION:**

APPLICANT: NAOMI ROAD LLC  
108 CARROLL CIR  
FREDERICKSBURG VA 22405  
540-379-3104

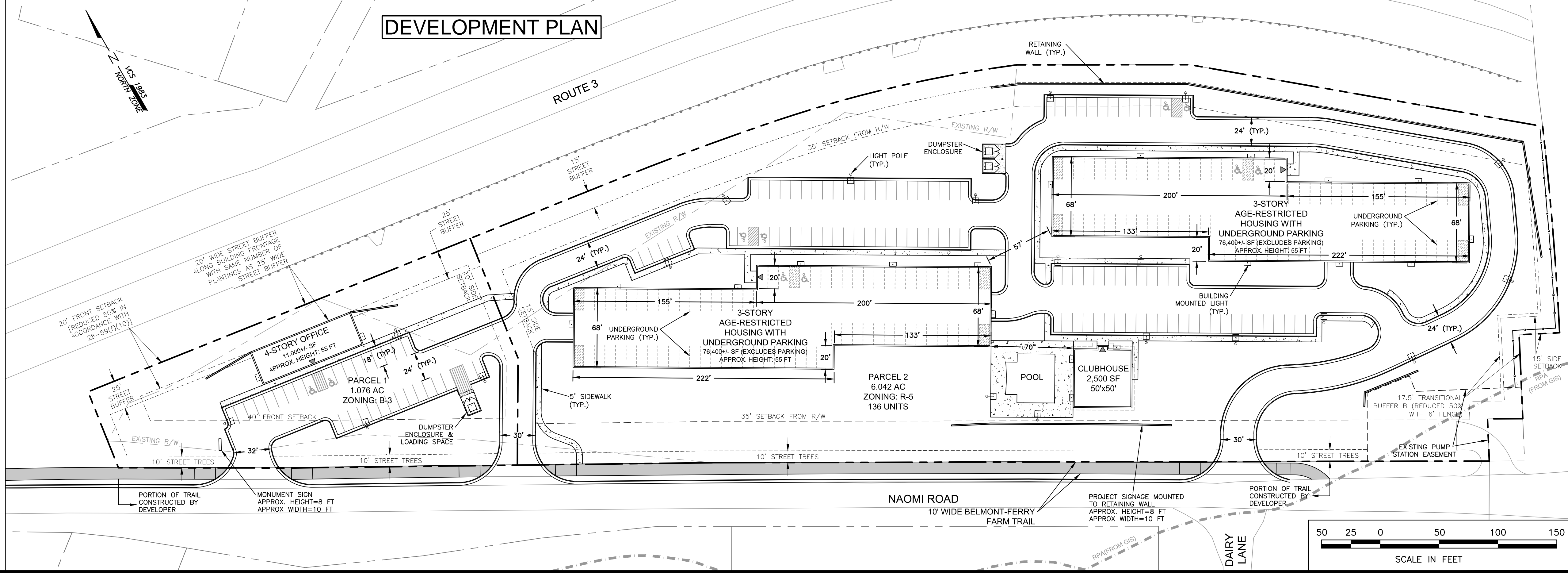
OWNER: NAOMI ROAD LLC  
108 CARROLL CIR  
FREDERICKSBURG VA 22405  
540-379-3104

PREPARED BY: FAIRBANKS & FRANKLIN  
1005 MAHONE STREET  
FREDERICKSBURG, VIRGINIA 22401  
(540) 899-3700

TAX PARCELS: 54-79, 54-79A, 54-80, 54-80A, & 54-81  
LAND AREA: 6.144 AC  
PROPOSED R/W ACQUISITION: 0.974 AC  
TOTAL PROJECT AREA: 6.144+0.974 = 7.118 AC  
CURRENT ZONING: A-1  
OVERLAY DISTRICTS: HIGHWAY CORRIDOR OVERLAY DISTRICT  
FLOOD HAZARD OVERLAY DISTRICT  
PROPOSED ZONING (PARCEL 1): B-3  
PROPOSED ZONING (PARCEL 2): R-5  
PROPOSED USE (PARCEL 1): OFFICE  
PROPOSED USE (PARCEL 2): AGE-RESTRICTED MULTI-FAMILY  
PARCEL 2 DENSITY: 136 AGE RESTRICTED DWELLING UNITS  
(22.5 DWELLING UNITS/GROSS ACRE)

- NOTES:**
1. WETLANDS SHOWN ON THIS PLAN WERE DELINEATED BY TNT ENVIRONMENTAL.
  2. THERE ARE NO KNOWN HISTORIC BUILDINGS OR ARCHEOLOGICAL FEATURES ON SITE.
  3. THERE ARE NO KNOWN PLACES OF BURIAL ON SITE.
  4. THE PROPOSED DEVELOPMENT LIES WITHIN FLOOD ZONES X & AE AS SHOWN ON COMMUNITY PANEL 5101540 212E DATED FEBRUARY 4, 2005. FLOOD ZONE X IS DEFINED AS AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN. FLOOD ZONE AE IS DEFINED AS AREAS WITH BASE FLOOD ELEVATIONS DETERMINED.
  5. FAIRBANKS & FRANKLIN PREPARED A BOUNDARY AND TOPOGRAPHIC SURVEY FOR THIS SITE IN DECEMBER OF 2017.
  6. TRANSITIONAL BUFFERS, STREET BUFFERS, AND STREET TREES SHALL BE PLANTED IN ACCORDANCE WITH THE STAFFORD COUNTY LANDSCAPING DESIGN STANDARDS MANUAL (DCSL).
  7. THE SITE SHALL BE GRADED SO THE LOWEST FLOOR OF EACH BUILDING IS ELEVATED ABOVE THE BASE FLOOD ELEVATION IN ACCORDANCE WITH THE FLOOD HAZARD OVERLAY DISTRICT REGULATIONS.

**DEVELOPMENT PLAN**



**LEGEND**

EXISTING STORM	15" HDPE
EXISTING STORM MANHOLE	6"
EXISTING SANITARY SEWER	6"
EXISTING SANITARY MANHOLE	6"
EXISTING WATER VALVE	6"
EXISTING WATER METER	6"
EXISTING STORM STRUCTURE	6"
PROPOSED CURB & GUTTER	6"
SUBJECT PARCEL PROPERTY LINE	6"
EXISTING CONTOUR LINE	350
EXISTING SIGN	6"
EXISTING OVERHEAD UTILITY	6"
PROPOSED PAVEMENT	6"
PROPOSED SIDEWALK	6"
EXISTING RIPRAP	6"
EXISTING SEWER EASEMENT	6"
PROPOSED SITE LIGHTING	6"
PROPOSED BUILDING ENTRANCE/EXIT	6"

**Fairbanks & Franklin**  
Civil Engineering  
Land Planning  
1005 Mahone Street  
Fredericksburg, VA 22401  
(540) 899-3700

**GENERALIZED DEVELOPMENT PLAN  
FOR REZONING & CONDITIONAL USE PERMIT**

**THE VISTAS AT FERRY FARM**  
STAFFORD COUNTY, VIRGINIA

COMMONWEALTH OF VIRGINIA  
CONATHAN D. FAIRBANKS  
Lic. No. 035219  
06-21-18  
PROFESSIONAL ENGINEER

DATE: 06-21-18  
DESIGNED: JDF  
DRAWN: JAC  
CHECKED: JRF

REVISIONS:

176-1048 THE VISTAS AT FERRY FARM GENERALIZED DEVELOPMENT PLAN 06-21-18