

SITE DEVELOPMENT PLANS

ZAREMBA GROUP, LLC

NORTH STAFFORD OFFICE COMPLEX

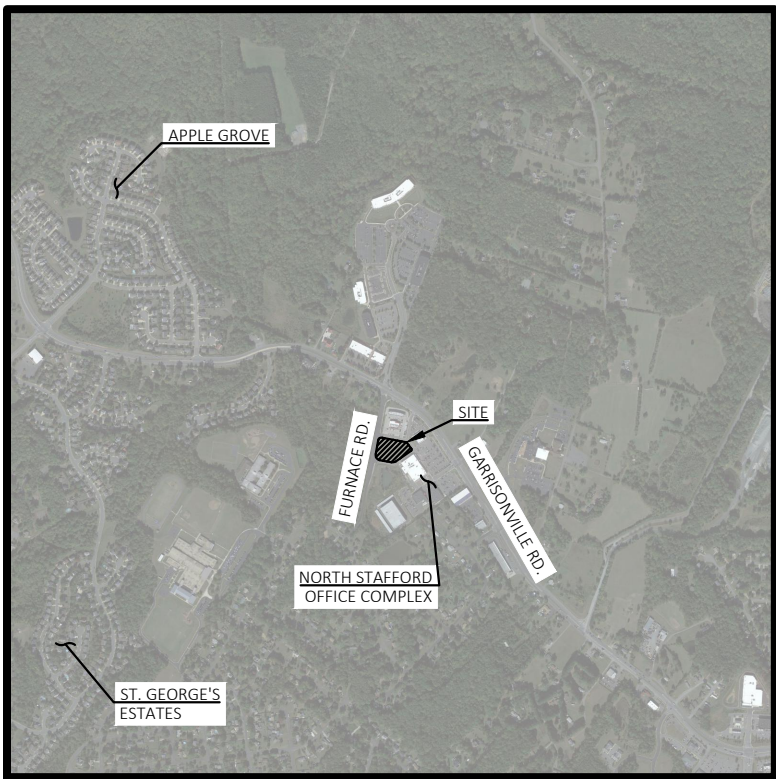
STAFFORD, VA

GENERAL NOTES:

- A. TOPOGRAPHIC BOUNDARY SURVEY, INCLUDING PROPERTY LINES, LEGAL DESCRIPTION, EXISTING UTILITIES, SITE TOPOGRAPHY WITH SPOT ELEVATIONS, OUTSTANDING PHYSICAL FEATURES AND EXISTING STRUCTURE LOCATIONS WAS PROVIDED BY THE FOLLOWING COMPANY, AS A CONTRACTOR TO THE SELLER/OWNER:
- TOPOGRAPHY: DONALDSON GARRETT & ASSOCIATES, INC.
9741-L SOUTHERN PINE BOULEVARD
CHARLOTTE, NC 28273
(704) 374-1955
- CEI ENGINEERING AND ITS ASSOCIATES WILL NOT BE HELD RESPONSIBLE FOR THE ACCURACY OF THE SURVEY OR FOR DESIGN ERRORS OR OMISSIONS RESULTING FROM SURVEY INACCURACIES.
- B. ALL PHASES OF SITE WORK FOR THIS PROJECT SHALL MEET OR EXCEED THE OWNER / DEVELOPER SITE WORK SPECIFICATIONS.
- C. CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF EXISTING STRUCTURES, RELATED UTILITIES, PAVING, UNDERGROUND STORAGE TANKS AND ANY OTHER EXISTING IMPROVEMENTS AS NOTED. SEE SITE WORK SPECIFICATIONS.
- D. CONTRACTOR IS TO REMOVE AND DISPOSE OF ALL DEBRIS, RUBBISH AND OTHER MATERIALS RESULTING FROM PREVIOUS AND CURRENT DEMOLITION OPERATIONS. DISPOSAL WILL BE IN ACCORDANCE WITH ALL LOCAL, STATE AND/OR FEDERAL REGULATIONS GOVERNING SUCH OPERATIONS.
- E. THE GENERAL CONTRACTOR WILL BE HELD SOLELY RESPONSIBLE FOR AND SHALL TAKE ALL PRECAUTIONS NECESSARY TO AVOID PROPERTY DAMAGE TO ADJACENT PROPERTIES DURING THE CONSTRUCTION PHASES OF THIS PROJECT.
- F. WARRANTY/DISCLAIMER: THE DESIGNS REPRESENTED IN THESE PLANS ARE IN ACCORDANCE WITH ESTABLISHED PRACTICES OF CIVIL ENGINEERING FOR THE DESIGN FUNCTIONS AND USES INTENDED BY THE OWNER AT THIS TIME. HOWEVER, NEITHER THE ENGINEER NOR ITS PERSONNEL CAN OR DO WARRANT THESE DESIGNS OR PLANS AS CONSTRUCTED EXCEPT IN THE SPECIFIC CASES WHERE THE ENGINEER INSPECTS AND CONTROLS THE PHYSICAL CONSTRUCTION ON A CONTEMPORANEOUS BASIS AT THE SITE.
- G. SAFETY NOTICE TO CONTRACTOR: IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR SHALL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. ANY CONSTRUCTION OBSERVATION BY THE ENGINEER OF THE CONTRACTOR'S PERFORMANCE IS NOT INTENDED TO INCLUDE REVIEW OF THE ADEQUACY OF THE CONTRACTOR'S SAFETY MEASURES, IN, ON OR NEAR THE CONSTRUCTION SITE.
- H. ALL CONSTRUCTION IN STATE HIGHWAY DEPARTMENT RIGHT-OF-WAY SHALL BE COORDINATED WITH THE HIGHWAY DEPARTMENT RESIDENT ENGINEER.
- I. WETLANDS NOTE: ANY DEVELOPMENT, EXCAVATION, CONSTRUCTION, OR FILLING IN A U.S. CORPS OF ENGINEERS DESIGNATED WETLAND IS SUBJECT TO LOCAL, STATE AND FEDERAL APPROVALS. THE CONTRACTOR SHALL COMPLY WITH ALL PERMIT REQUIREMENTS AND/OR RESTRICTIONS AND ANY VIOLATION WILL BE SUBJECT TO FEDERAL PENALTY. THE CONTRACTOR SHALL HOLD THE OWNER/DEVELOPER, THE ENGINEER AND THE LOCAL GOVERNING AGENCIES HARMLESS AGAINST SUCH VIOLATION.
- J. RESIDENT ENGINEERING SERVICES: WHEN REQUESTED BY THE OWNER, RESIDENT ENGINEERING SERVICES SHALL BE PROVIDED BY THE ENGINEERS (ON A TIME AND FREQUENCY BASIS) ACCEPTABLE TO THE CITY ENGINEER FOR IMPROVEMENTS TO PUBLIC WATER MAINS, PUBLIC SEWER, AND CITY STREETS, AT THE COMPLETION OF CONSTRUCTION, THE ENGINEER SHALL CERTIFY THE CONSTRUCTION TO BE IN COMPLIANCE WITH THE PLANS AND SPECIFICATIONS. THIS WORK WILL BE AT THE OWNER/DEVELOPER'S DIRECT EXPENSE AND SHALL BE COORDINATED WITH CEI ENGINEERING ASSOCIATES, INC. IT WILL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE RESIDENT ENGINEER OF ANY PRECONSTRUCTION / CONSTRUCTION CONFERENCES AND ANY PUBLIC CONSTRUCTION 24 HOURS PRIOR TO SAID ACTION.

FLOOD CERTIFICATION:

BY SCALED MAP LOCATION AND GRAPHICAL PLOTTING ONLY. THIS PROPERTY IS DETERMINED TO BE LOCATED WITHIN ZONE "X", OR AREAS OUTSIDE THE 0.2% ANNUAL CHANCE 100-YR FLOODPLAIN AS DETERMINED BY THE NATIONAL FLOOD INSURANCE PROGRAM. FLOOD INSURANCE MAP FOR STAFFORD COUNTY, VA.
MAP NUMBER: 5101540126E
MAP REVISED: 02/04/2005



VICINITY MAP

1" = 2000'

CEI CONTACT:

NAME: RADOSLAV NEDKOV
EMAIL: RNEDKOV@CEIENG.COM
PHONE: (800) 433-4173

OWNER/DEVELOPER CONTACT:

NAME: TODD HAMULA
EMAIL: THAMULA@ZAREMBAGROUP.COM
PHONE: (216) 221-2163



CIVIL ENGINEERING • LANDSCAPE ARCHITECTURE • LAND SURVEYING • PLANNING

BENTONVILLE | DALLAS | FRESNO | HOUSTON | JACKSONVILLE | MINNEAPOLIS | PHILADELPHIA | PHOENIX



CEI ENGINEERING ASSOCIATES, INC.
3108 SW REGENCY PKWY
BENTONVILLE, AR 72712
PHONE: (479) 273-9472
FAX: (479) 273-0844

REVISION		
NO.	DESCRIPTION	DATE

PLAN INDEX:

- C0.0 COVER SHEET
- C1.0 SITE PLAN
- C2.0 GRADING PLAN
- C3.0 UTILITY PLAN
- C4.0 LANDSCAPE PLAN
- C4.1 LANDSCAPE NOTES AND DETAILS

ASSOCIATED PLANS:

1. ALTA SURVEY BY DONALDSON GARRETT & ASSOCIATES, INC.

RESOURCE LIST:

STAFFORD COUNTY
DEPARTMENT OF PLANNING & ZONING
1300 COURTHOUSE ROAD P.O. BOX 339
STAFFORD, VA 22555-0339
PHONE: (540) 658-8668



ZAREMBA GROUP, LLC

NORTH STAFFORD OFFICE COMPLEX

STAFFORD, VA



PROFESSIONAL OF RECORD	TAB
PROJECT MANAGER	RKN
DESIGNER	IEM
CEI PROJECT NUMBER	33018
DATE	4/12/2023
REVISION	REV-0

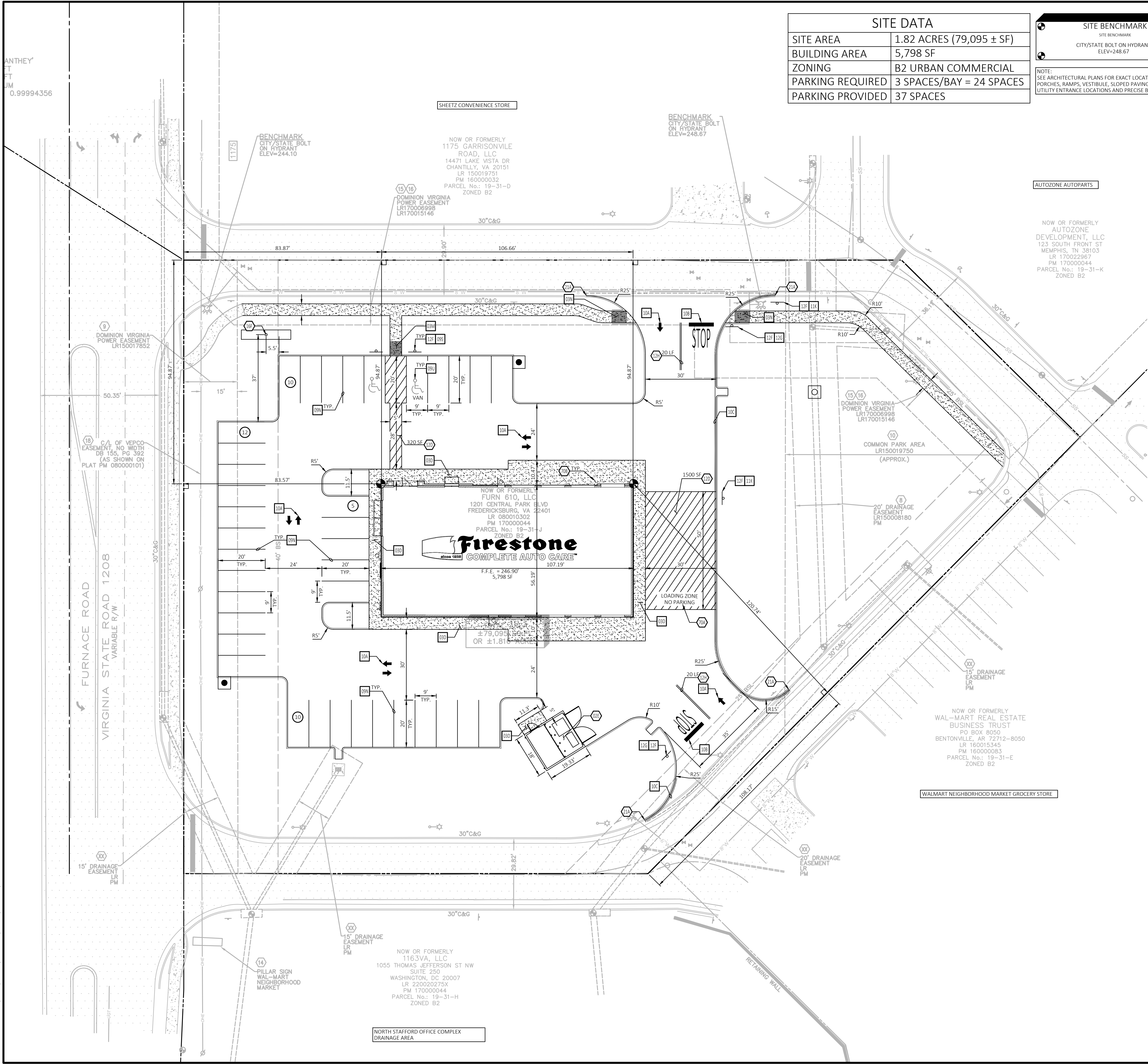
COVER SHEET

SHEET TITLE
SHEET NUMBER

C0.0

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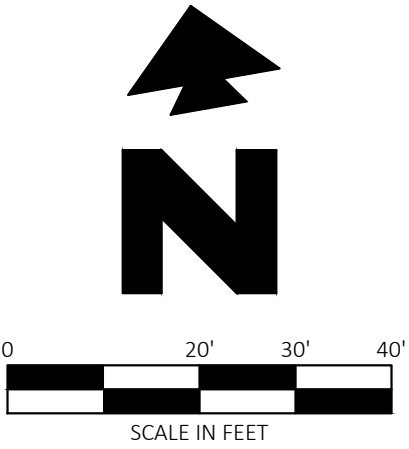
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SITE DATA	
SITE AREA	1.82 ACRES (79,095 ± SF)
BUILDING AREA	5,798 SF
ZONING	B2 URBAN COMMERCIAL
PARKING REQUIRED	3 SPACES/BAY = 24 SPACES
PARKING PROVIDED	37 SPACES

SITE BENCHMARK	
SITE BENCHMARK	
CITY/STATE BOLT ON HYDRANT	ELEV=248.67

NOTE:
SEE ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF PORCHES, RAMPS, VESTIBULE, SLOPED PAVING, TRUCK DOCKS, BUILDING UTILITY ENTRANCE LOCATIONS AND PRECISE BUILDING DIMENSIONS.



EXISTING LEGEND

PROPERTY LINE	---
ADJACENT PROPERTY LINE	---
EASEMENT LINE	---
FENCE LINE	---
GUIDE RAIL	---
BUILDING SETBACK LINE	---
LANDSCAPE BUFFER LINE	---
EXISTING CONTOUR LINE	---
OVERHEAD POWER LINE	---
UNDERGROUND TELEPHONE LINE	---
SANITARY SEWER LINE	---
STORM SEWER LINE	---
IRON PIN FOUND (SIZE AND TYPE AS NOTED)	---
NAIL FOUND	---
MAG NAIL SET	---
GEODETIC MONUMENT (AS NOTED)	---
SCHEDULE BII EXCEPTION	---
ENCROACHMENT	---
UTILITY POLE/GUY WIRE	---
LIGHT POLE	---
WATER VALVE	---
FIRE HYDRANT	---
STORM WATER MANHOLE	---
STORM WATER INLET	---
SANITARY SEWER MANHOLE	---
CLEANOUT	---
SOIL BORING	---
SIGN	---
MAILBOX	---
SPOT ELEVATION	---
STREET ADDRESS	---
ASPHALT	---
CONCRETE	---

PROPOSED LEGEND

PROPERTY LINE/RIGHT OF WAY LINE	---
CONCRETE CURB AND GUTTER. SEE DETAIL 01A/01B.	---
BUILDING CONTROL POINT	---
PROPOSED PARKING SPACES	---
LIMITS OF SIDEWALKS AND CONCRETE APRONS (PER ARCH. PLANS)	---
CURB INLET	---
AREA INLET	---
MONUMENT SIGN	---
SIGN	---
TRAFFIC FLOW ARROW	---

GENERAL SITE NOTES

- ALL DIMENSIONS SHOWN ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
- ALL CURB RETURN RADII SHALL BE 3', AS SHOWN TYPICAL ON THIS PLAN, UNLESS OTHERWISE NOTED.
- UNLESS OTHERWISE SHOWN, CALLED OUT OR SPECIFIED HEREON OR WITHIN THE SPECIFICATIONS: ALL CURB AND GUTTER ADJACENT TO ASPHALT PAVING SHALL BE INSTALLED PER DETAIL 01A. ALL CURBING ADJACENT TO CONCRETE PAVING SHALL BE INSTALLED PER DETAIL 01B. PAVEMENT SHALL BE INSTALLED IN ACCORDANCE WITH DETAIL 08A OVER THE ENTIRE PARKING LOT AREA AND ALL APPROACH DRIVES. ALL PARKING LOT STRIPING INCLUDING ACCESSIBLE AND VAN ACCESSIBLE SPACES SHALL BE PAINTED PER DETAIL 09N.
- ALL PARKING LOT SIGN BASE SUPPORTS SHALL BE INSTALLED PER DETAIL 12F.
- ALL ACCESSIBLE PARKING STALLS SHALL HAVE SIGNAGE INSTALLED PER DETAIL 09S.

SITE NOTES

- TRASH DUMPSTER ENCLOSURE (PER ARCH. PLANS).
- 4 INCH WIDE PAINTED YELLOW STRIPES. 2.0 FOOT O.C. @ 45 DEGREES (SEE SIZE INDICATED AT SYMBOL).
- 4 INCH DOUBLE TRAFFIC YELLOW LANE STRIPE (SEE LENGTH INDICATED AT SYMBOL).
- 4' 8" x 21' 0" @ 25' 0" O.A.H. PYLON SIGN (TO BE FURNISHED AND INSTALLED BY OTHERS).
- TAPER CURB TO MATCH EXISTING CURB.
- "LOADING ZONE NO PARKING" PAINTED 12" HIGH LETTERS WITH 2" MINIMUM STROKE
- BOLLARDS (PER ARCH. PLANS) TYPICAL AT EACH BAY

SITE DETAILS

- PRECAST CONCRETE WHEEL STOP
- CONCRETE SIDEWALK
- WHEELCHAIR RAMP IN SIDEWALK
- WHEELCHAIR RAMP IN SIDEWALK (TYPICAL AT EACH DRIVEWAY CURB RETURN)
- 90 DEGREE PARKING
- ACCESSIBLE / VAN ACCESSIBLE PARKING SIGN
- ACCESSIBLE PARKING SYMBOL
- TRAFFIC FLOW ARROW
- STOP BAR
- FIRE LANE MARKING
- NO PARKING FIRE LANE SIGN
- SIGN BASE
- STOP SIGN



CEI ENGINEERING ASSOCIATES, INC.
3108 SW REGENCY PKWY
BENTONVILLE, AR 72712
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ZAREMBA GROUP, LLC
NORTH STAFFORD OFFICE COMPLEX
STAFFORD, VA



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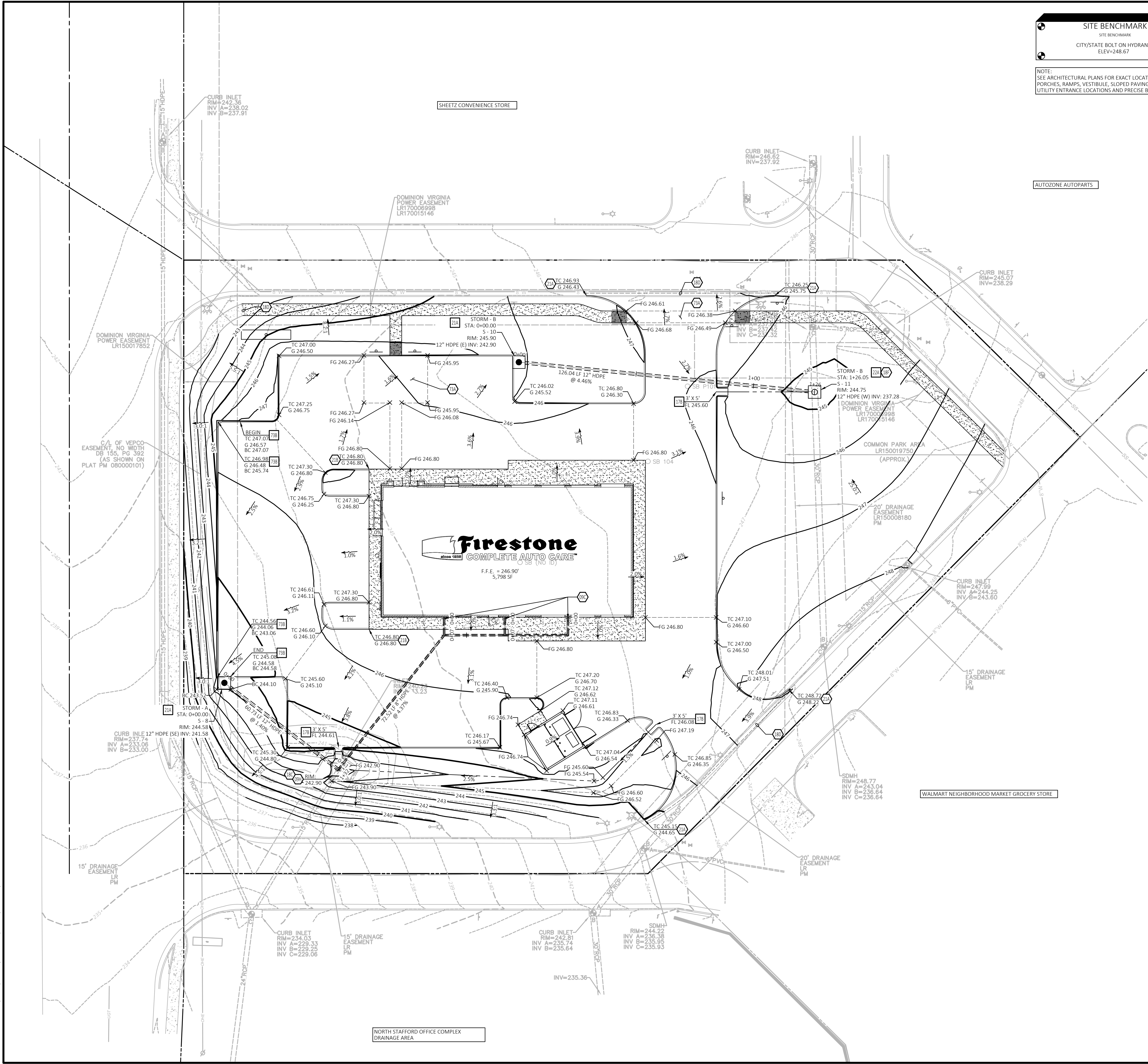
SITE PLAN

SHEET TITLE
SHEET NUMBER

C1.0

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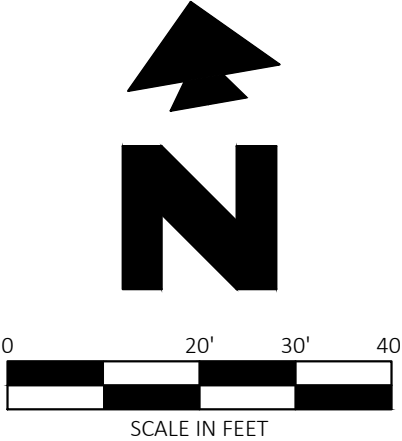
SITE BENCHMARK

SITE BENCHMARK

CITY/STATE BOLT ON HYDRANT

ELEV=248.67

NOTE:
SEE ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF PORCHES, RAMPS, VESTIBULE, SLOPED PAVING, TRUCK DOCKS, BUILDING UTILITY ENTRANCE LOCATIONS AND PRECISE BUILDING DIMENSIONS.



EXISTING LEGEND

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GEODETIC MONUMENT (AS NOTED)	---
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STORM WATER MANHOLE	---
STORM WATER INLET	---
SANITARY SEWER MANHOLE	---
CLEANOUT	---
SOIL BORING	---
MAILBOX	---
SPOT ELEVATION	---
STREET ADDRESS	---
ASPHALT	---
CONCRETE	---

PROPOSED LEGEND

---	PROPERTY LINE/RIGHT OF WAY LINE	x XX.XX	SPOT ELEVATIONS:
---	CONTOUR ELEVATIONS		TC = TOP OF CURB
---	GRADE BREAK		G = GUTTER
---	FLOWLINE		F.F.E. = FINISH FLOOR ELEVATION
---	STORM PIPE		FG = FINISH GRADE
			BC = BACK OF CURB
●	CURB INLET		
○	AREA INLET		

GRADING NOTES

- 09C CONNECT DOWN SPOUTS TO DRAIN PIPE. (SEE ARCH. PLANS FOR EXACT NO. AND LOCATION OF DOWN SPOUTS).
- 09H REMOVE TOP OF EXISTING DRAINAGE STRUCTURE. RECONSTRUCT TOP AND RIM TO MATCH FINISH GRADE.
- 18C CONNECT TO EXISTING STORM DRAIN MANHOLE OR INLET.
- 18D MATCH EXISTING PAVEMENT ELEVATIONS.
- 18F CONNECT TO EXISTING STORM DRAIN PIPE.
- 21A TAPER CURB TO MATCH EXISTING CURB.
- 21B TAPER CURB FROM 6 INCHES TO 0 INCHES OVER 2 FEET.
- 73A SLOPE NOT TO EXCEED 2% IN ADA AREAS.

GRADING DETAILS

- 17B CONCRETE FLUME
- 21A CURB INLET
- 22A AREA INLET
- 73B REINFORCED REVERSE CURB

CEI

Solutions for
Land and Life

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Firestone

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ZAREMBA GROUP, LLC
NORTH STAFFORD OFFICE COMPLEX
STAFFORD, VA

COMMONWEALTH OF VIRGINIA

THOMAS A. ZAREMBA

PROFESSIONAL ENGINEER

04/14/2023

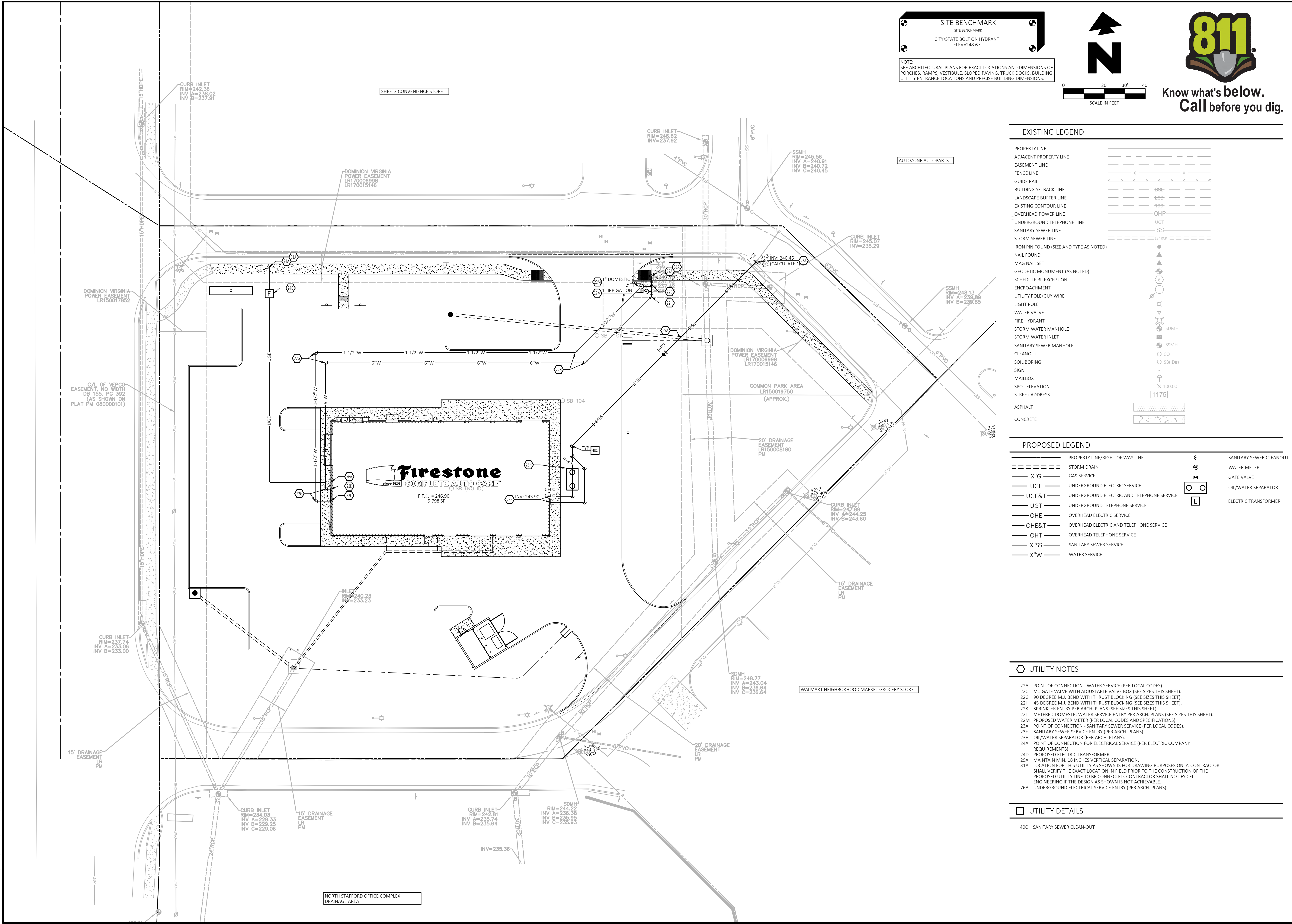
PROFESSIONAL OF RECORD	TAB
PROJECT MANAGER	RKN
DESIGNER	IEB
CEI PROJECT NUMBER	33018
DATE	4/13/2023
REVISION	REV-0

GRADING PLAN
SHEET TITLE
SHEET NUMBER

C2.0

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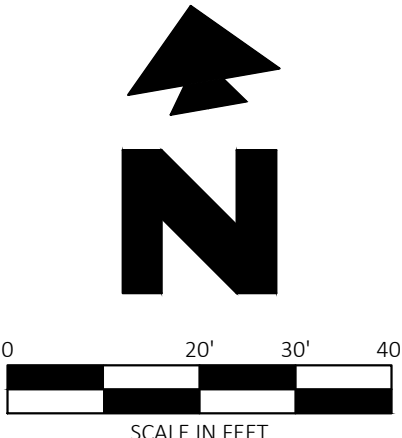
SITE BENCHMARK

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CITY/STATE BOLT ON HYDRANT

ELEV=248.67

NOTE:
SEE ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF PORCHES, RAMPS, VESTIBULE, SLOPED PAVING, TRUCK DOCKS, BUILDING UTILITY ENTRANCE LOCATIONS AND PRECISE BUILDING DIMENSIONS.



Know what's below.
Call before you dig.

EXISTING LEGEND

PROPERTY LINE	---
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EASEMENT LINE	---
FENCE LINE	---
GUIDE RAIL	---
BUILDING SETBACK LINE	---
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CLEANOUT	---
SOIL BORING	---
SIGN	---
MAILBOX	---
SPOT ELEVATION	---
STREET ADDRESS	---
ASPHALT	---
CONCRETE	---

PROPOSED LEGEND

---	PROPERTY LINE/RIGHT OF WAY LINE	---	SANITARY SEWER CLEANOUT
---	STORM DRAIN	---	WATER METER
X" G	GAS SERVICE	---	GATE VALVE
UGE	UNDERGROUND ELECTRIC SERVICE	---	OIL/WATER SEPARATOR
UGE&T	UNDERGROUND ELECTRIC AND TELEPHONE SERVICE	---	ELECTRIC TRANSFORMER
UGT	UNDERGROUND TELEPHONE SERVICE		
OHE	OVERHEAD ELECTRIC SERVICE		
OHE&T	OVERHEAD ELECTRIC AND TELEPHONE SERVICE		
OHT	OVERHEAD TELEPHONE SERVICE		
X"SS	SANITARY SEWER SERVICE		
X"W	WATER SERVICE		

UTILITY NOTES

- 22A POINT OF CONNECTION - WATER SERVICE (PER LOCAL CODES).
22C M.J. GATE VALVE WITH ADJUSTABLE VALVE BOX (SEE SIZES THIS SHEET).
22G 90 DEGREE M.J. BEND WITH THRUST BLOCKING (SEE SIZES THIS SHEET).
22H 45 DEGREE M.J. BEND WITH THRUST BLOCKING (SEE SIZES THIS SHEET).
22K SPRINKLER ENTRY (PER ARCH. PLANS) (SEE SIZES THIS SHEET).
22L METERED DOMESTIC WATER SERVICE ENTRY (PER ARCH. PLANS) (SEE SIZES THIS SHEET).
22M PROPOSED WATER METER (PER LOCAL CODES AND SPECIFICATIONS).
23A POINT OF CONNECTION - SANITARY SEWER SERVICE (PER LOCAL CODES).
23E SANITARY SEWER SERVICE ENTRY (PER ARCH. PLANS).
23H OIL/WATER SEPARATOR (PER ARCH. PLANS).
24A POINT OF CONNECTION FOR ELECTRICAL SERVICE (PER ELECTRIC COMPANY REQUIREMENTS).
24D PROPOSED ELECTRIC TRANSFORMER.
29A MAINTAIN MIN. 18 INCHES VERTICAL SEPARATION.
31A LOCATION FOR THIS UTILITY AS SHOWN IS FOR DRAWING PURPOSES ONLY. CONTRACTOR SHALL VERIFY THE EXACT LOCATION IN FIELD PRIOR TO THE CONSTRUCTION OF THE PROPOSED UTILITY LINE TO BE CONNECTED. CONTRACTOR SHALL NOTIFY CEI ENGINEERING IF THE DESIGN AS SHOWN IS NOT ACHIEVABLE.
76A UNDERGROUND ELECTRICAL SERVICE ENTRY (PER ARCH. PLANS).

UTILITY DETAILS

40C SANITARY SEWER CLEAN-OUT



CEI ENGINEERING ASSOCIATES, INC.
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BENTONVILLE, AR 72712
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Firestone

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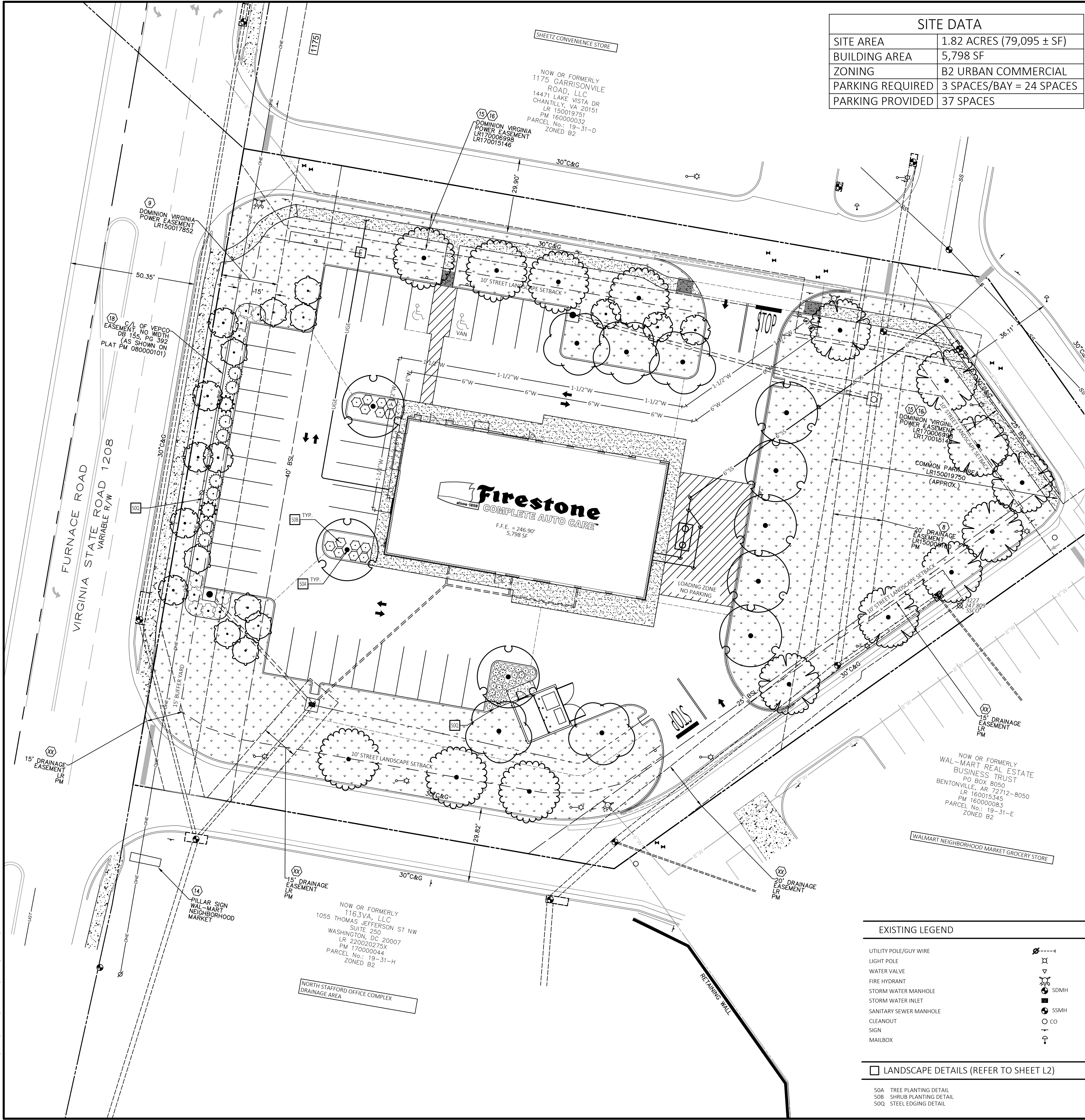
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UTILITY PLAN
SHEET TITLE
SHEET NUMBER

C3.0

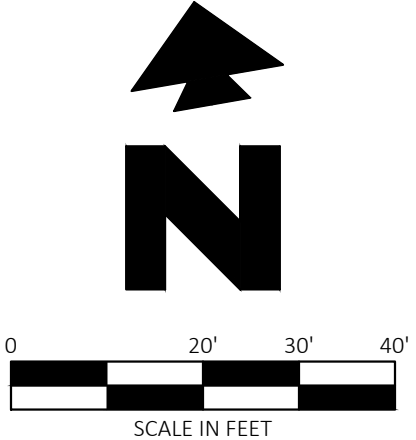


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BUILDING AREA	5,798 SF
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SITE BENCHMARK

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CITY/STATE BOLT ON HYDRANT
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Know what's below.
Call before you dig.

2023-04-13 11:06

PLANT SCHEDULE						
LARGE TREE	QTY	BOTANICAL / COMMON NAME	SIZE	DETAIL	INSTALL HT.	CAL.
	7	ACER BUERGERIANUM 'RUSTYALLEN' / BLOOD MOON® TRIDENT MAPLE	B&B	50A	12' MIN HT	3.00" CAL.
	5	GLEDTISIA TRIACANTHOS INERMIS 'SHADEMASTER' / SHADEMASTER HONEY LOCUST	B&B	50A	12' MIN HT	3.00" CAL.
	8	LIRIODENDRON TULIPEFERA / TULIP POPLAR	B&B	50A	12' MIN HT	3.00" CAL.
	8	QUERCUS COCCINEA / SCARLET OAK	B&B	50A	12' MIN HT	3.00" CAL.
EVERGREEN UNDERSTORY	QTY	BOTANICAL / COMMON NAME	SIZE	DETAIL	INSTALL HT.	CAL.
	2	CEDRUS DEODARA 'SNOW SPRITE' / SNOW SPRITE DEODAR CEDAR	B&B	50A	6' MIN HT.	
UNDERSTORY TREE	QTY	BOTANICAL / COMMON NAME	SIZE	DETAIL	INSTALL HT.	CAL.
	9	CERCIS CANADENSIS 'TENNESSEE PINK' / TENNESSEE PINK EASTERN REDBUD	B&B	50A	6' MIN HT.	1.50" CAL.
	9	CORNUS FLORIDA 'CHEROKEE PRINCESS' / CHEROKEE PRINCESS DOGWOOD	B&B	50A	6' MIN HT.	1.50" CAL.
LARGE EVERGREEN SHRUB	QTY	BOTANICAL / COMMON NAME	SIZE	DETAIL	INSTALL HT.	
	8	PRUNUS LAUROCERASUS 'OTTO LUYKEN' / OTTO LUYKEN ENGLISH LAUREL	5 GAL	50B		
LARGE SHRUB	QTY	BOTANICAL / COMMON NAME	SIZE	DETAIL	INSTALL HT.	
	14	CLETHRA ALNIFOLIA 'HUMMINGBIRD' / HUMMINGBIRD SUMMERSWEET	3 GAL	50B		
ORNAMENTAL GRASS	QTY	BOTANICAL / COMMON NAME	SIZE	DETAIL	INSTALL HT.	
	25	MUHLENBERGIA CAPILLARIS 'AUTUMN BLUSH' / AUTUMN BLUSH PINK MUHLY GRASS	3 GAL	50B		
SMALL SHRUBS	QTY	BOTANICAL / COMMON NAME	SIZE	DETAIL	INSTALL HT.	
	10	RHUS AROMATICA 'GRO-LOW' / GRO-LOW FRAGRANT SUMAC	3 GAL	50B		
SOD/SEED	QTY	BOTANICAL / COMMON NAME	SIZE	DETAIL	INSTALL HT.	
	28,647 SF	FESTUCA ARUNDINACEA / TALL FESCUE	SOD			

CITY LANDSCAPE REQUIREMENTS			
	REQUIREMENT	REQUIRED	PROVIDED
OPEN SPACE	25% OF TOTAL SITE AREA SHALL BE OPEN SPACE TOTAL SITE AREA = 79,097 SF X 0.25 = 19,774 SF	19,774 SF (25%)	29,819 SF (37%)
INTERIOR PARKING LANDSCAPING	5% OF PARKING LOT SHALL BE LANDSCAPED WITH TREES AND/OR SHRUBS AND/OR ORNAMENTAL GRASSES 25,634 SF TOTAL PARKING AREA X 0.05 = 1,282 SF	1,282 SF	3,363 SF
	12 PLANT UNITS FOR EVERY 150 SF AND SHALL INCLUDE ONE TREE 3,363 SF / 150 SF = 22 X 12 P.U. = 264 P.U.	264 P.U.	267 P.U.
	150 SF MIN. ISLAND REQUIRED AT THE END OF ALL PARKING ROWS	MIN. 22 TREES	23 TREES
PERIMETER PARKING LANDSCAPING	5' WIDE PLANTING AREA WITH 35 PLANT UNITS FOR EVERY 100 LF ALONG ALL PARKING AREAS UNLESS COVERED UNDER STREET TREES REQUIREMENTS	NO - SIDE IS BOUND BY STREETS COVERED BY STREET TREE REQUIREMENTS ON ALL SIDES	NO - SIDE IS BOUND BY STREETS COVERED BY STREET TREE REQUIREMENTS ON ALL SIDES
VEHICLE ACCESS DRIVE LANDSCAPING	PLANTING AREAS REQUIRED ON BOTH SIDES OF ACCESS DRIVES IF OVER 50' LONG	NO - ALL DRIVES ARE LESS THAN 50' LONG	NO - ALL DRIVES ARE LESS THAN 50' LONG
STREET TREES	A 10 FEET WIDE PLANTING AREA WITH 21 PLANT UNITS / 100 LF OF NET STREET FRONTAGE EXCLUDING DRIVES NET STREET FRONTAGE = 659 LF / 100 LF = 7 X 21 P.U. = 147 P.U.	10' WIDE 147 P.U.	10' WIDE 150 P.U.
BUFFER YARD	A 15 FEET WIDE BUFFER YARD WITH 50 PLANT UNITS / 100 LF IS REQUIRED ALONG FURNACE RD. FURNACE RD = 200 LF / 100 LF = 2 X 50 P.U. = 100 P.U.	15' WIDE 100 P.U.	15' WIDE 104 P.U.
	50% OF P.U. MUST BE LARGE TREES 100 X 0.50 = 50 P.U.	50 P.U.	DUE TO EXISTING OHE LINES, ADDITIONAL UNDERSTORY TREES AND LARGE SHRUBS ARE BEING USED
	30% OF P.U. MUST BE UNDERSTORY TREES 100 X 0.30 = 30 P.U.	30 P.U.	70 P.U.
	10% OF P.U. MUST BE LARGE SHRUBS 100 X 0.10 = 10 P.U.	10 P.U.	24 P.U.
	10% OF P.U. MUST BE SMALL SHRUBS OR ORNAMENTAL GRASSES 100 X 0.10 = 10 P.U.	10 P.U.	10 P.U.
	25% OF OF THE TOTAL NUMBER OF SHRUBS SHALL BE EVERGREEN 17 SHRUBS X 0.25 = 5 EVERGREEN SHRUBS	5 EVERGREEN SHRUBS	8 EVERGREEN SHRUBS
	20% OF OF THE TOTAL NUMBER OF LARGE TREES SHALL BE LARGE EVERGREEN TREES 5 LARGE TREES X 0.20 = 1 LARGE EVERGREEN TREE	1 LARGE EVERGREEN TREE	DUE TO EXISTING OHE LINES NO LARGE TREES ARE BEING PLANTED; AN EXTRA EVERGREEN UNDERSTORY TREE IS BEING ADDED
	20% OF OF THE TOTAL NUMBER OF UNDERSTORY TREES SHALL BE UNDERSTORY SIZED EVERGREEN TREES 5 UNDERSTORY TREES X 0.20 = 1 UNDERSTORY SIZED EVERGREEN TREE	1 UNDERSTORY SIZED EVERGREEN TREE	2 UNDERSTORY SIZED EVERGREEN TREE

EXISTING LEGEND

UTILITY POLE/GUY WIRE
LIGHT POLE
WATER VALVE
FIRE HYDRANT
STORM WATER MANHOLE
STORM WATER INLET
SANITARY SEWER MANHOLE
CLEANOUT
SIGN
MAILBOX

☐ LANDSCAPE DETAILS (REFER TO SHEET L2)

50A TREE PLANTING DETAIL
50B SHRUB PLANTING DETAIL
50Q STEEL EDGING DETAIL

Solutions for
Land and Life

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REVISION		
NO.	DESCRIPTION	DATE
REV-X		XX/XX/XXXX

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ZAREMBA GROUP, LLC

NORTH STAFFORD OFFICE COMPLEX
STAFFORD, VA

4/13/2023

PROFESSIONAL OF RECORD TAB
PROJECT MANAGER RKN
DESIGNER IEM
CEI PROJECT NUMBER 33018
DATE 4/13/2023
REVISION REV-0

LANDSCAPE PLAN

SHEET TITLE
SHEET NUMBER

C4.0

DRAWING LOCATION - P:\32000\2018\00\DRAWINGS\DESIGN\WORKING\2018 - LP.DWG - SAVED BY: SERVANT

- GENERAL NOTES
1.

CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ALL PROPOSED LANDSCAPING IS INSTALLED IN ACCORDANCE WITH PLANS, DETAILS, SPECIFICATIONS (IF APPLICABLE) AND ALL LOCAL CODES AND REQUIREMENTS.

2.

CONTRACTOR TO INSPECT SITE AND VERIFY CONDITIONS AND DIMENSIONING PRIOR TO PROCEEDING WITH WORK DESCRIBED HERE IN. NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES PRIOR TO BEGINNING ANY CONSTRUCTION.

3.

QUANTITIES PROVIDED IN THE PLANT LIST ARE FOR GENERAL USE ONLY. CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF ALL PLANT AND LANDSCAPE MATERIAL QUANTITIES. SYMBOL COUNT ON PLAN TAKES PRECEDENCE OVER TABLE QUANTITIES.

4.

IMMEDIATELY AFTER AWARD OF CONTRACT, NOTIFY THE OWNER'S REPRESENTATIVE AND/OR THE LANDSCAPE ARCHITECT OF UNAVAILABILITY OF SPECIFIED PLANT MATERIAL FROM COMMERCIAL NURSERIES. THE OWNER'S REPRESENTATIVE AND/OR LANDSCAPE ARCHITECT WILL PROVIDE ALTERNATE PLANT MATERIAL SELECTIONS IF UNAVAILABILITY OCCURS. SUCH CHANGES SHALL NOT ALTER THE ORIGINAL BID PRICE UNLESS A CREDIT IS DUE TO THE OWNER.

5.

ALL PLANT MATERIALS TO CONFORM TO THE AMERICAN STANDARD FOR NURSERY STOCK ANSI Z60.1.

6.

CONTAINER GROWN STOCK SHOULD HAVE GROWN IN A CONTAINER LONG ENOUGH FOR THE ROOT SYSTEM TO HAVE DEVELOPED SUFFICIENTLY TO HOLD ITS SOIL TOGETHER.

7.

ANY PLANT SUBSTITUTIONS, RELOCATION, OR REQUIRED CHANGE SHALL REQUIRE THE WRITTEN APPROVAL OF THE LANDSCAPE ARCHITECT OR OWNER.

8.

THE OWNER'S REPRESENTATIVE AND/OR LANDSCAPE ARCHITECT RESERVE THE RIGHT TO REFUSE ANY MATERIAL THEY DEEM UNACCEPTABLE.

9.

COORDINATE WITH PROJECT REPRESENTATIVE FOR DISTURBED SITE TREATMENTS OUTSIDE LANDSCAPE IMPROVEMENTS. SEE CIVIL PLANS FOR SOIL STABILIZATION FOR EROSION CONTROL.

10.

IF REQUIRED, CONTRACTOR TO ENSURE THAT AN AUTOMATED IRRIGATION SYSTEM THAT PROVIDES COMPLETE COVERAGE OF THE SITE IS INSTALLED PRIOR TO INSTALLING TREES/PALMS (SEE IRRIGATION PLAN SHEET IF PROVIDED). IF NO PLAN IS PROVIDED THE CONTRACTOR SHALL SUBMIT A PROPOSED DESIGN TO THE LANDSCAPE ARCHITECT/ENGINEER FOR APPROVAL PRIOR TO INSTALLATION. THE PROPOSED DESIGN MUST HAVE AN APPROVED BACKFLOW DEVICE AND RAIN SENSOR INSTALLED TO STOP IRRIGATION DURING RAIN EVENTS. CONTRACTOR SHALL ENSURE THAT THERE IS POSITIVE DRAINAGE AND NO PONDING OF WATER AT ROOT AREA.

11.

ALL HARDSCAPE MATERIALS SHALL BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS.

12.

ALL SLOPES AND AREAS DISTURBED BY CONSTRUCTION SHALL BE GRADED SMOOTH AND FOUR INCHES OF TOPSOIL APPLIED. IF ADEQUATE TOPSOIL IS NOT AVAILABLE ON SITE, THE CONTRACTOR SHALL PROVIDE TOPSOIL, APPROVED BY THE OWNER, AS NEEDED. THE AREA SHALL THEN BE SEEDED/SODDED, FERTILIZED, MULCHED, WATERED AND MAINTAINED UNTIL HARDY GRASS GROWTH IS ESTABLISHED IN ALL AREAS. ANY RELOCATED TREES SHALL BE MAINTAINED UNTIL SUCH POINT AS TREE IS RE-ESTABLISHED. ANY AREAS DISTURBED FOR ANY REASON PRIOR TO FINAL ACCEPTANCE OF THE PROJECT SHALL BE CORRECTED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.

13.

PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES AND SHALL AVOID DAMAGE TO ALL UTILITIES DURING THE COURSE OF THE WORK. LOCATIONS OF EXISTING BURIED UTILITY LINES SHOWN ON THE PLANS ARE BASED UPON BEST AVAILABLE INFORMATION AND ARE TO BE CONSIDERED APPROXIMATE. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR 1) TO VERIFY THE LOCATIONS OF UTILITY LINES AND ADJACENT TO THE WORK AREA 2) TO PROTECT OF ALL UTILITY LINES DURING THE CONSTRUCTION PERIOD 3) TO REPAIR ANY AND ALL DAMAGE TO UTILITIES, STRUCTURES, SITE APPURTENANCES, ETC. WHICH OCCURS AS A RESULT OF THE CONSTRUCTION AT NO COST TO THE OWNER.

14.

WEED MAT IS REQUIRED IN LANDSCAPED ISLANDS AS SPECIFIED.

15.

ALL PLANT MATERIAL QUANTITIES SHOWN ARE APPROXIMATE. CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLETE COVERAGE OF ALL PLANTING BEDS AT SPACING SHOWN.

16.

IF A SWPPP PLAN IS PROVIDED THIS PLAN IS TO BE IMPLEMENTED COOPERATIVELY WITH SWPPP PLAN, AS NEEDED, TO MAXIMIZE THE EFFECTIVENESS OF THE SWPPP PLAN FOR THIS SITE.

17.

THE CONTRACTOR IS ENCOURAGED TO COMPLETE TEMPORARY OR PERMANENT SEEDING OR SODDING IN STAGES FOR SOIL STABILIZATION AS AREAS ARE COMPLETED AFTER GRADING.

18.

ALL DISTURBED AREAS AS DESIGNATED ON THE GRADING PLAN SHALL BE SOOWN WITH GRASS SEED MIX OF 35% CHEWINGS FESCUE, 35% HARD FESCUE, 30% CREEPING FESCUE BY WEIGHT @ 5 LBS / 1000 SF.

19.

SEEDING ON SLOPES: HYDROSEED WITH GRASS SEED AS INDICATED ON PLANS. SEE LEGEND FOR SPECIFIC GRASS SEED TYPE. SEEDING SHALL BE ACCOMPLISHED IMMEDIATELY AFTER BED PREPARATION. HYDROSEED MIXTURE SHALL CONTAIN CELLULOSE MULCH APPLIED AT A RATE OF 2,000 LBS./ACRE, WITH A MAXIMUM OF 50 LBS./100 GAL. OF WATER. IF SEEDING IS DELAYED AFTER MIXING 1/2 - 2 HOURS ADD AN ADDITIONAL 50% OF SEED MIX. IF DELAY IS LONGER THAN 2 HOURS, BEGIN WITH NEW MIXTURE. ALL SLOPES 2:1 OR GREATER SHALL BE COVERED WITH EROSION CONTROL BLANKET AS SHOWN IN THE EROSION CONTROL BLANKET DETAIL. SEE SPECIFICATIONS FOR SEED ESTABLISHMENT REQUIREMENTS.

20.

ALL PLANT MATERIAL IN TREE HOLDING AREAS SHALL BE MANUALLY WATERED/IRRIGATED TO KEEP MOIST UNTIL PLANTED.

- CITY NOTES
1.

CONTRACTOR SHALL FURNISH AND INSTALL ALL PLANTS AS SHOWN ON THE APPROVED LANDSCAPE PLAN IN ACCORDANCE WITH THE TYPE, SIZES, QUANTITIES, AND SPECIFICATIONS LISTED IN THE PLANT SCHEDULE.

2.

TOTAL NUMBER OF PLANTS SHALL BE DRAWN ON THE LANDSCAPE PLAN. IF THE ACTUAL TOTAL IS DIFFERENT FROM THE APPROVED LANDSCAPE PLAN, THE CONTRACTOR SHALL NOTIFY THE OWNER AND/OR OWNERS REPRESENTATIVE AND APPROVED BY THE COUNTY.

3.

ALL PLANTS SHALL BE NURSERY GROWN AND SHALL BE HARDY UNDER THE CLIMATE CONDITIONS IN THE LOCALITY OF THE PROJECT.

4.

PLANT DIMENSIONS SHALL BE IN ACCORDANCE WITH THE MOST RECENT EDITION OF THE STANDARDIZED LANDSCAPE SPECIFICATIONS FOR THE COMMONWEALTH OF VIRGINIA, WHICH REFERENCES THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI).

5.

BALLED AND BURLAPPED PLANTS SHALL BE DUG WITH FIRM, NATURAL BALLS OF EARTH AND SHALL BE PRUNED, STORED, AND DUG IN ACCORDANCE WITH CURRENT ANSI STANDARDS. NO BALLED AND BURLAPPED PLANTS SHALL BE PLANTED IF THE BALL IS EITHER CRACKED OR BROKEN DURING THE PROCESS OF PLANTING.

6.

ALL PLANTS SHALL HAVE A NORMAL HABIT OF GROWTH AND SHALL BE SOUND, HEALTHY, VIGOROUS, WELL ROOTED, AND FREE FROM DISEASE AND INSECT INFESTATION. ANY TREE WITH WEAK, THIN TRUNKS NOT CAPABLE OF SUPPORTING ITSELF WILL NOT BE ACCEPTABLE. THE MINIMUM ACCEPTABLE SIZE OF ALL PLANTS MEASURED BEFORE PRUNING WITH THE BRANCHES IN NORMAL POSITION SHALL CONFORM TO DIMENSIONS AS SHOWN ON THE APPROVED LANDSCAPE PLAN. LARGER PLANTS OF EQUAL QUALITY MAY BE ACCEPTED AT NO ADDITIONAL COST TO THE OWNER.

7.

SUBSTITUTION OF PLANTS SHALL NOTE BE PERMITTED UNLESS AUTHORIZED BY THE OWNER AND/OR OWNERS REPRESENTATIVE AND APPROVED BY THE COUNTY.

8.

THE CONTRACTOR SHALL LAY OUT, WITH IDENTIFIABLE STAKES, THE LOCATION OF ALL TREES, OUTLINES OF PLANTING BEDS, AND UNDERGROUND UTILITIES AS INDICATED ON THE APPROVED LANDSCAPE PLAN. IN THE EVENT THAT ROCK, UTILITY LINES, OR ANY UNDERGROUND OBSTRUCTIONS ARE ENCOUNTERED DURING THESE OPERATIONS, OR IN THE EXCAVATION OF ANY PLANT PITS, ALTERNATE LOCATIONS MAY BE SELECTED BY THE OWNER AND/OR OWNER'S REPRESENTATIVE AND APPROVED BY COUNTY WITH NO ADDITIONAL COST TO THE OWNER.

9.

PLANTING SOIL SHALL BE PER SPECIFICATIONS.

10.

MULCH SHALL BE APPLIED IMMEDIATELY AFTER PLANTING OPERATIONS. MULCH SHALL BE SHREDDED HARDWOOD, FREE OF DEBRIS, WEEDS, SPORES OR OTHER FOREIGN MATERIAL, WELL ROTTED AND OF SUCH CHARACTER AS TO NOT BE EASILY REMOVED BY THE ELEMENTS.

11.

PRIOR TO INSTALLATION, THE CONTRACTOR SHALL NOTIFY THE OWNER AND/OR OWNER'S REPRESENTATIVE OF ALL SOIL OR DRAINAGE CONDITIONS THAT ARE DETRIMENTAL TO THE GROWTH OF PLANTS. THE CONTRACTOR SHALL STATE THE CONDITIONS AND SUBMIT A PROPOSAL, IN WRITING, CORRECTING THE CONDITIONS, INCLUDING ANY CHANGE IN COST, FOR REVIEW AND ACCEPTANCE BY THE OWNER.

12.

A CONTAINER GROWN PLANT SHALL BE DEFINED AS A PLANT TRANSPLANTED INTO A CONTAINER AND GROWN IN THAT CONTAINER SUFFICIENTLY LONG FOR THE NEW FIBROUS ROOTS TO HAVE DEVELOPED SO THAT THE CONTAINER MASS WILL RETAIN ITS SHAPE AND HOLD TOGETHER WHEN REMOVED FROM THE CONTAINER. ALL CONTAINER GROWN PLANTS SHALL BE SOUND, HEALTHY, VIGOROUS, WELL ROOTED, FREE FROM DISEASE AND INSECT INFESTATION, AND ESTABLISHED IN THE CONTAINER IN WHICH THEY ARE SOLD. THEY SHALL HAVE TOPS THAT ARE OF GOOD QUALITY AND ARE IN HEALTHY CONDITION. NO ROOT BOUND CONTAINER GROWN PLANTS WILL BE PERMITTED. NO CONTAINER GROWN PLANT SHALL BE PLANTED IF THE ROOT MASS IS BROKEN EITHER BEFORE OR DURING THE PROCESS OF PLANTING.

13.

ALL PLANT PITS SHALL BE CIRCULAR IN OUTLINE. ALL EXCAVATIONS SHALL HAVE VERTICAL SIDES. THE DEPTHS AND WIDTHS FOR EXCAVATION OF PLANT PITS SHALL BE THE DEPTHS AND WIDTHS AS SPECIFIED IN THE LANDSCAPE PLAN. LOOSEN SUBGRADE 6" BELOW BOTTOM OF THE PIT. SUBGRADE SOILS SHALL BE SEPARATED FROM THE UPPER TOPSOIL PORTIONS AND REMOVED IMMEDIATELY WHEREVER ENCOUNTERED DURING PLANTING OPERATIONS. EXCESS SOILS SHALL BE REMOVED AND LEGALLY DISPOSED.

14.

IN GENERAL, SET PLANTS AT SAME RELATION TO FINISHED GRADE AS THE BORE TO THE GROUND FROM WHICH THEY WERE DUG. PREPARE PLANTING PITS AS SPECIFIED AND AS SHOWN ON THE LANDSCAPE PLAN. PRIOR TO INSERTING PLANTS, USE TOPSOIL MIXTURE TO BACKFILL APPROXIMATELY 2/3 FULL. WATER THOROUGHLY BEFORE INSTALLING REMAINDER OF THE SOIL TO THE TOP OF THE PIT. SET TREES PLUMB AND BRACE RIGIDLY IN POSITION UNTIL THE PLANTING SOIL HAS BEEN TAMPED SOLIDLY AROUND THE BALL AND ROOTS.

15.

GUYNIG AND STAKING SHALL BE REQUIRED FOR ALL TREES IN ACCORDANCE WITH THE LANDSCAPE PLAN AND MUST BE COMPLETED WITHIN 24 HOURS AFTER PLANTING.

16.

MAINTENANCE OF NEW PLANTS SHALL CONSIST OF PRUNING, WATERING, CULTIVATING, WEEDING, MULCHING, TIGHTENING, AND RESETTING PLANTS TO PROPER GRADES OR UPRIGHT POSITION. RESTORATION OF THE PLANTING SAUCER AND FURNISHING AND APPLYING SUCH SPRAYS ARE NECESSARY TO KEEP THE PLANT FREE FROM DISEASE AND INSECT INFESTATION. MAINTENANCE SHALL BE PROVIDED UNTIL TIME OF PROVISIONAL ACCEPTANCE.

- PLANTING NOTES
1.

LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR PREPARING ALL PLANTED AREAS. ALL DELETERIOUS MATERIALS SUCH AS ROCK, TRASH, CONSTRUCTION DEBRIS, AGGREGATE BASE MATERIAL, ASPHALT, ETC. SHALL BE REMOVED PRIOR TO ANY FILL OPERATIONS. FILL ALL PLANTING AREAS WITH CLEAN EARTHEN FILL. SOIL SHALL BE FREE OF HEAVY, STIFF CLAY AND ANY DELETERIOUS MATERIAL OVER ONE INCH IN SIZE. THE TOP SIX INCHES OF FILL MATERIAL STRIPPED FROM SITE MAY BE UTILIZED FOR PLANTER OR TOPSOIL FILL IF PRIOR APPROVAL HAS BEEN OBTAINED FROM THE OWNER'S REPRESENTATIVE AND/OR LANDSCAPE ARCHITECT.

2.

FINISH GRADE OF LANDSCAPE AREAS (TOP OF TURF AND MULCH) MUST BE GRADED TO 1 1/2" BELOW ADJACENT PAVEMENT SURFACES.

3.

LOCATE SHRUBS A DISTANCE OF HALF OF THEIR AVERAGE MATURE SPREAD AWAY FROM WALKS, STRUCTURES, CONCRETE PADS, ETC. LOCATE GROUND COVER PLANTINGS A MINIMUM OF 2' FROM WALKS, STRUCTURES, CONCRETE PADS, ETC.

4.

ALL LAWN AREAS NOT OTHERWISE BORDERED BY WALKS, OR OTHER STRUCTURES, SHALL HAVE MANUFACTURED EDGING AS REQUIRED.

5.

TREES PLANTED ADJACENT TO PUBLIC ROADS AND PEDESTRIAN SIDEWALKS SHALL BE PRUNED SUFFICIENTLY TO AVOID VISUAL BLOCKS TO INTERSECTING VEHICULAR ACCESS OR INTERFERENCE WITH PEDESTRIAN WALKWAYS. TREES WITH A 4" OR LARGER CALIPER SHALL BE PRUNED UP TO 6'-0" ABOVE PAVEMENTS.

6.

ALL TREES WITHIN 4' OF PAVED SURFACES (SUCH AS CURBS, WALLS, BUILDINGS AND SIDEWALKS) SHALL BE PROVIDED WITH A DEEP ROOT BARRIER CONTROL DEVICE OR EQUAL. INSTALL PER MFR'S SPECIFICATIONS.

7.

TOPSOIL DEPTH SHALL BE AS FOLLOWS :
PLANTER BEDS - 12" MINIMUM
GRASS/SOD AREAS - 4" MINIMUM (AFTER COMPACTION)

8.

BACKFILL ALL TREES, SHRUBS, GROUND COVER WITH A MIXTURE OF 2 PARTS NATIVE SOIL AND 1 PART SOIL. CONDITIONING WITH WOOD MULCH.

9.

THE LANDSCAPE CONTRACTOR SHALL WATER TEST ALL PLANTING HOLE PRIOR TO PLANTING. IF HOLES DO NOT DRAIN PROPERLY, EXCAVATE FURTHER UNTIL IMPERMEABLE LAYER IS BREACHED. EXCAVATED PLANT PITS SHALL HAVE POSITIVE DRAINAGE. PLANT PITS (WHEN FULLY FLOODED WITH WATER) SHALL DRAIN WITHIN 1 HOUR OF FILLING. ENSURE THAT ALL PLANT PITS HAVE POSITIVE DRAINAGE.

10.

ALL PLANTING BEDS SHALL BE TREATED WITH A PRE-EMERGENT HERBICIDE. PRE-EMERGENT HERBICIDE SHALL BE APPLIED PER MANUFACTURE'S RECOMMENDATIONS AND SHALL OCCUR AFTER TOPSOIL PLACEMENT AND PRIOR TO INSTALLATION OF PLANT MATERIALS AND MULCH.

11.

FERTILIZE ALL PLANTS AT THE TIME OF PLANTING WITH A TIME RELEASE FERTILIZER PER BRAND'S SPECIFIED APPLICATION RATES.

12.

ALL PLANTING BED SOILS SHALL BE AMENDED WITH 2" OF ORGANIC COMPOST

13.

ALL TREES AND SHRUBS SHALL BE PLANTED IN SUCH A MANNER AS TO ENSURE THEIR SURVIVAL.

14.

ANY ROPE OR WIRE BINDING THE BALL SHALL BE CUT PRIOR TO PREVENT GIRDLING OF THE TREE. REMOVE WIRE, TWINE, AND BURLAP FROM THE TOP HALF OF ALL B&B PLANT MATERIAL.

15.

IF A NON-BIODEGRADABLE MATERIAL IS USED AROUND THE BALL, IT SHALL BE COMPLETELY REMOVED PRIOR TO BACKFILLING.

16.

PRIOR TO INSTALLATION, THE ROOTS OF CONTAINER GROWN STOCK SHALL BE SEPARATED OR SPLIT TO ENSURE PROPER ROOT DEVELOPMENT.

17.

CONTRACTOR SHALL BE RESPONSIBLE FOR DELIVERY SCHEDULE AND PROTECTION BETWEEN DELIVERY AND PLANTING TO MAINTAIN HEALTHY PLANT CONDITIONS.

18.

ANY PLANT MATERIAL WHICH IS DISEASED, DISTRESSED, DEAD, OR REJECTED (PRIOR TO SUBSTANTIAL COMPLETION) SHALL BE PROMPTLY REMOVED FROM THE SITE AND REPLACED WITH MATERIAL OF THE SAME SPECIES, QUANTITY, AND SIZE AND MEETING ALL PLANT LIST SPECIFICATIONS. TREES & SHRUBS SHALL BE PLANTED AS SOON AS POSSIBLE AFTER DELIVERY.

19.

ALL TREES MUST BE STRAIGHT-TRUNKED, FULL-HEADED AND MEET ALL REQUIREMENTS SPECIFIED.

20.

ALL TREES MUST BE STAKED AS SHOWN IN THE DETAILS.

21.

NO SUBSTITUTIONS OR ALTERNATIVES WILL BE ALLOWED FOR GROUND SURFACE MATERIALS UNLESS APPROVED IN WRITING BY THE LANDSCAPE ARCHITECT OR OWNER.

22.

MAINTAIN 5' MIN. HORIZONTAL SEPARATION BETWEEN TREE PLANTINGS AND ALL UTILITIES UNLESS OTHERWISE SPECIFIED.

23.

A FOUR INCH (4") TOP DRESSING/MULCHING OF NATURAL COLOR SHREDDED HARDWOOD MULCH SHALL BE PLACED IN ALL PLANT BEDS AND AROUND ALL TREES. SINGLE TREES OR SHRUBS SHALL HAVE TOP DRESSING TO THE OUTSIDE EDGE OF THE MANUFACTURED EDGING OR LANDSCAPE ISLAND. (SEE PLANTING DETAILS) TOP DRESSING CAN BE WOOD MULCH, ROCK, OR ANY OTHER DECORATIVE MATERIAL SPECIFIED ON PLANS. SEE LANDSCAPE PLAN FOR TYPE.

24.

THE FOLLOWING PLANTING SEASONS ARE RECOMMENDED:
EVERGREEN SHRUBBERY NOV-MAR
DECIDUOUS SHRUBBERY & TREES NOV-MAR
EVERGREEN TREES NOV-MAR

- SOLID SOD NOTES
1.

ADJUST FINE GRADE TO ACHIEVE POSITIVE DRAINAGE AWAY FROM BUILDINGS. PROVIDE UNIFORM ROUNDING AT TOP AND BOTTOM OF SLOPES AND OTHER BREAKS IN GRADE. CORRECT IRREGULARITIES AND AREAS WHERE WATER MAY STAND.

2.

ALL LAWN AREAS TO RECEIVE SOLID SOD SHALL BE LEFT IN A MAXIMUM OF 1 1/2" BELOW FINAL FINISH GRADE. CONTRACTOR TO COORDINATE OPERATIONS WITH ON-SITE CONSTRUCTION MANAGER.

3.

CONTRACTOR TO COORDINATE WITH ON-SITE CONSTRUCTION MANAGER FOR AVAILABILITY OF EXISTING TOPSOIL.

4.

IMPORTED TOPSOIL SHALL BE NATURAL, FRIABLE SOIL FROM THE REGION KNOWN AS BOTTOM LAND SOIL; FREE FROM LUMPS, CLAY TOXIC SUBSTANCES, ROOTS, DEBRIS, VEGETATION, STONES; CONTAINING NO SALT AND BE BLACK TO BROWN IN COLOR.

5.

ALL LAWN AREAS TO BE FINE GRADED, SETTLED, AND FINISH GRADE APPROVED BY THE OWNER'S REPRESENTATIVE OR LANDSCAPE ARCHITECT PRIOR TO SOD INSTALLATION.

6.

ALL ROCKS 3/4" DIAMETER AND LARGER, DIRT CLODS, STICKS, CONCRETE SPOILS, CONSTRUCTION WASTE, ETC. SHALL BE REMOVED PRIOR TO PLACING TOPSOIL AND ANY LAWN INSTALLATION.

7.

PLANT SOD BY HAND TO COVER INDICATED AREA COMPLETELY. INSURE EDGES OF SOD ARE TOUCHING. TOP DRESS JOINTS BY HAND WITH TOPSOIL TO FILL VOIDS.

8.

ROLL GRASS AREAS TO ACHIEVE A SMOOTH, EVEN SURFACE, FREE FROM UNNATURAL UNDULATIONS.

9.

FERTILIZE ALL SOD AT THE TIME OF PLANTING WITH A TIME RELEASE FERTILIZER PER BRAND'S SPECIFIED APPLICATION RATES.

10.

WATER SOD THOROUGHLY AS SOD OPERATION PROGRESSES.

11.

IF SOD IS INSTALLED ON SLOPES OF 3:1 OR GREATER, SOD SHALL BE STAKED TO AVOID SLIPPING OR SLIDING AMT. STAKING OR STAPLES SHALL BE INSTALLED FLUSH AS TO NOT CREATE A MAINTENANCE ISSUE WITH CARE EQUIPMENT.

12.

CONTRACTOR SHALL MAINTAIN ALL LAWN AREAS UNTIL FINAL ACCEPTANCE. THIS SHALL INCLUDE, BUT NOT LIMITED TO: MOWING, WATERING, WEEDING, CULTIVATING, CLEANING AND REPLACING DEAD OR BARE AREAS TO KEEP PLANTS IN VIGOROUS, HEALTHY CONDITIONS.

13.

CONTRACTOR SHALL GUARANTEE ESTABLISHMENT OF AN ACCEPTABLE TURF AREA AND SHALL PROVIDE REPLACEMENT FROM LOCAL SUPPLY IF NECESSARY.

14.

IF INSTALLATION OCCURS BETWEEN OCTOBER AND MARCH ALL SOD AREAS TO BE OVER-SEEDED WITH PERENNIAL RYE GRASS
- PLANT GUARANTEE, REPLACEMENT AND MAINTENANCE

A.

GUARANTEE:

ACCEPTANCE OF GRADING AND SEEDING SHALL BE BY LANDSCAPE ARCHITECT AND/OR OWNER. THE CONTRACTOR SHALL ASSUME MAINTENANCE RESPONSIBILITIES UNTIL FINAL ACCEPTANCE. MAINTENANCE SHALL INCLUDE WATERING, WEEDING, RESEEDING AND OTHER OPERATIONS NECESSARY TO KEEP ALL LAWN AREAS IN A THRIVING CONDITION. UPON FINAL ACCEPTANCE, OWNER SHALL ASSUME ALL MAINTENANCE RESPONSIBILITIES. AFTER LAWN AREAS HAVE GERMINATED, AREAS WHICH FAIL TO SHOW A UNIFORM STAND OF GRASS FOR ANY REASON WHATSOEVER SHALL BE RE-SEEDED REPEATEDLY UNTIL ALL AREAS ARE COVERED WITH A SATISFACTORY STAND OF GRASS. MINIMUM ACCEPTANCE OF SEEDED LAWN AREAS MAY INCLUDE SCATTERED BARE SPOTS, NONE OF WHICH ARE LARGER THAN 1 SQUARE FOOT, AND WHEN COMBINED DO NOT EXCEED 2% OF TOTAL SEEDED LAWN AREA.

B.

REPLACEMENT:

ANY PLANT UNDER THIS SPEC WHICH IS DEAD, MISSING, UNHEALTHY, OR OTHERWISE NOT ACCEPTABLE AND NOT IN SATISFACTORY GROWING CONDITION DURING CONSTRUCTION MAINTENANCE PERIOD, OR AT THE END OF THE GUARANTEE PERIOD, SHALL BE REMOVED FROM SITE AND REPLACED WITH SUITABLE, ACCEPTABLE PLANT AS SPECIFIED, WITHIN FIVE (5) DAYS.

C.

MAINTENANCE:

GENERAL CONTRACTOR SHALL PROVIDE ONE YEAR OF LANDSCAPE MAINTENANCE, FROM THE TIME THE PROJECT RECEIVES THE CERTIFICATE OF OCCUPANCY AND THERE AFTER, FOR ALL NEW LANDSCAPE. IF EXISTING LANDSCAPE EXISTS ON-SITE, GENERAL CONTRACTOR IS TO PROVIDE THE OPTION OF MAINTENANCE FOR THE OWNER'S REVIEW.

HERBICIDES NOTES

1.

APPLICATION OF GRADING AND SEEDING SHALL BE IN COMPLIANCE WITH STATE PESTICIDES REGULATIONS. IT IS THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR TO CONSULT WITH THE REGULATORY AGENCIES FOR LOCAL HERBICIDES APPLICATION REQUIREMENTS.

2.

IF THERE IS A DISCREPANCY BETWEEN STATE REGULATIONS AND ADDITIONAL REQUIREMENTS BELOW, MOST STRINGENT SHALL RULE

3.

NO AERIAL APPLICATION OF HERBICIDES IS PERMITTED ON SITE.

4.

CARCINOGENS AND EPA TOXIC CATEGORY I AND II ARE PROHIBITED TO USE ON SITE.

CEI

Solutions for Land and Life

CEI ENGINEERING ASSOCIATES, INC.
3108 SW REGENCY PKWY
BENTONVILLE, AR 72712
PHONE: (479) 273-9472
FAX: (479) 273-0844

REVISION		
NO.	DESCRIPTION	DATE
REV-X		XX/XX/XXXX

Firestone

COMPLETE AUTO CARE

THIS DRAWING IS THE PROPERTY OF FIRESTONE RETAIL OPERATIONS, LLC AND IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. ANY REUSE OR ALTERATION OF THIS DRAWING WITHOUT THE WRITTEN PERMISSION OF FIRESTONE RETAIL OPERATIONS, LLC IS PROHIBITED. THE USER ASSUMES ALL LIABILITY FOR ANY DAMAGE TO PERSONS OR PROPERTY CAUSED BY THE USE OF THIS DRAWING.

ZAREMBA GROUP, LLC

NORTH STAFFORD OFFICE COMPLEX
STAFFORD, VA

COMMONWEALTH OF VIRGINIA
CHARLES A. ASHLEY
Lic. No. 0406001783

4/13/2023

PROFESSIONAL OF RECORD

AD5?

PROJECT MANAGER

RKN

DESIGNER

DEM

CEI PROJECT NUMBER

33018

DATE

4/12/2023

REVISION

REV-0

LANDSCAPE NOTES AND DETAILS

SHEET TITLE

SHEET NUMBER

C4.1

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SCHEDULE B SECTION II

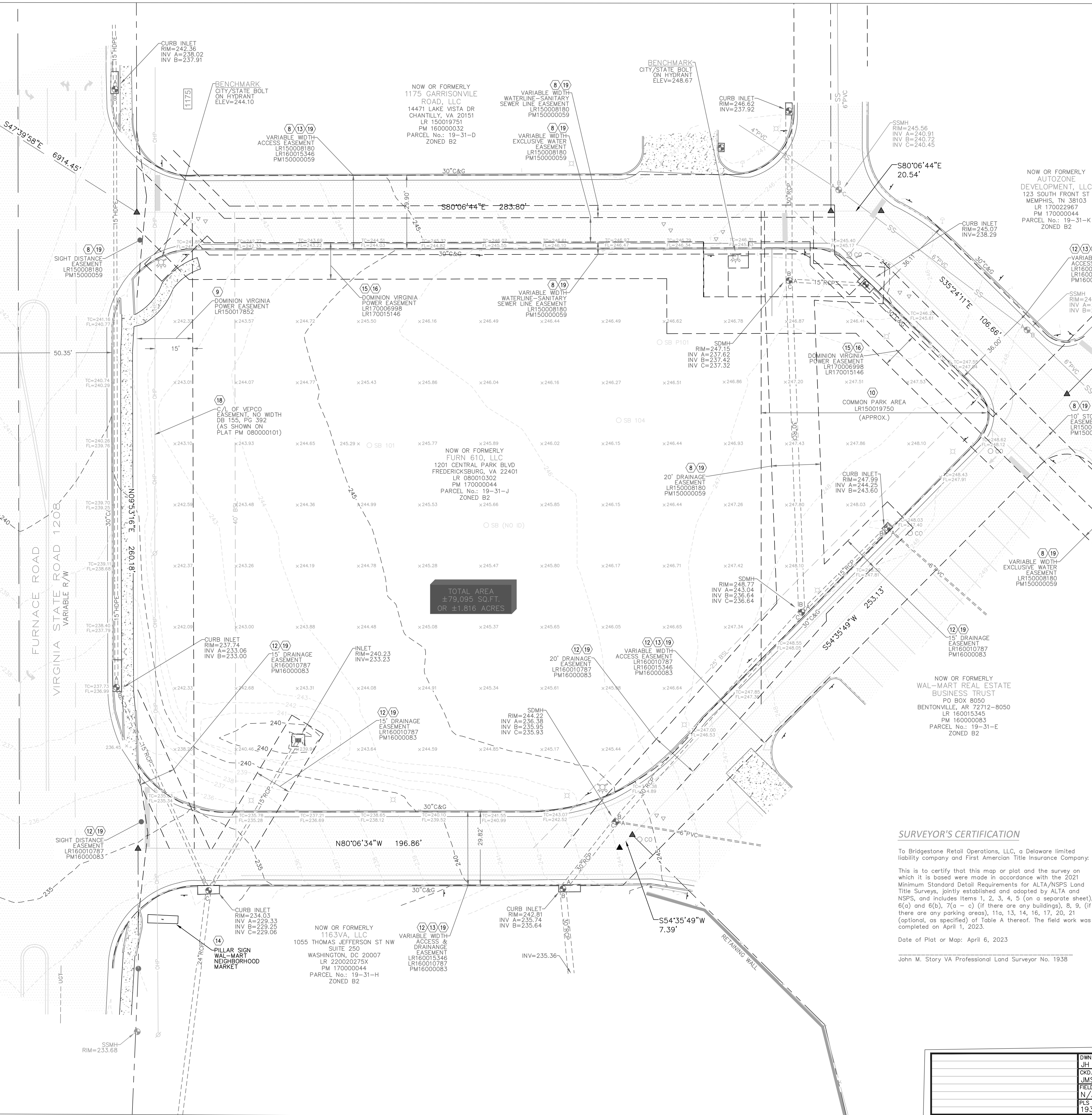
FIRST AMERICAN TITLE INSURANCE COMPANY
COMMITMENT NO. NCS-1166018-CLE
EFFECTIVE DATE: FEBRUARY 12, 2023 @ 8:00 A.M.

1. EASEMENT GRANTED TO VIRGINIA ELECTRIC AND POWER COMPANY, DATED NOVEMBER 20, 1980, RECORDED DECEMBER 24, 1980, IN DEED BOOK 394 PAGE 119. BLANKET EASEMENT IN NATURE. PLAT MENTIONED THEREIN SHOWING LOCATION OF SAID EASEMENT WAS NOT ATTACHED, CANNOT DETERMINE IF AFFECTS SUBJECT PROPERTY. HOWEVER, ACCORDING TO PLAT RECORDED IN PM080000101, LOCATION OF SAID EASEMENT IS PLOTTED THEREIN AND ITS LOCATION DOES NOT AFFECT SUBJECT PROPERTY.
2. EASEMENT GRANTED TO THE STAFFORD COUNTY, VIRGINIA, DATED APRIL 08, 1981, RECORDED APRIL 16, 1981, IN DEED BOOK 400 PAGE 48. PLAT MENTIONED THEREIN SHOWING LOCATION OF SAID EASEMENT WAS NOT ATTACHED, CANNOT DETERMINE IF AFFECTS SUBJECT PROPERTY. HOWEVER, ACCORDING TO PLAT RECORDED IN PM080000101, LOCATION OF SAID EASEMENT IS PLOTTED THEREIN AND ITS LOCATION DOES NOT AFFECT SUBJECT PROPERTY.
3. EASEMENT AS CONTAINED IN CERTIFICATE OF TAKE WITH NO. C-697035 GRANTED TO THE COMMONWEALTH TRANSPORTATION COMMISSIONER OF VIRGINIA, DATED SEPTEMBER 16, 1997 AND RECORDED OCTOBER 24, 1997 AS INSTRUMENT NO. 970106063. PLANS MENTIONED THEREIN SHOWING LOCATION OF SAID EASEMENT WERE NOT ATTACHED, CANNOT DETERMINE IF AFFECTS SUBJECT PROPERTY.
4. MAINTENANCE AGREEMENT FOR STORMWATER MANAGEMENT SYSTEM BY AND BETWEEN R.E.T.H. PROPERTIES, LLC AND THE BOARD OF SUPERVISORS OF STAFFORD COUNTY, VIRGINIA, DATED JULY 06, 2006 AND RECORDED AUGUST 2, 2006 AS INSTRUMENT NO. 060025007. AFFECTS SUBJECT PROPERTY, NO MATTERS TO SHOW.
5. DEED OF SUBDIVISION, DEDICATION AND EASEMENT GRANTED TO THE COUNTY OF STAFFORD, VIRGINIA, DATED AS OF MAY 22, 2015 AND RECORDED MAY 22, 2015 AS INSTRUMENT NO. 150008180, AS AFFECTED BY THE VACATION OF EASEMENTS AS SET FORTH IN DEED OF EASEMENTS AND VACATION OF EASEMENTS RECORDED APRIL 5, 2016, AS INSTRUMENT NO. 160005403 AND DEED OF EASEMENTS AND VACATION OF EASEMENTS RECORDED JUNE 24, 2016, AS INSTRUMENT NO. 160010787. AS SHOWN HEREON.
6. EASEMENT GRANTED TO VIRGINIA ELECTRIC AND POWER COMPANY, DATED AS OF JULY 29, 2015, RECORDED OCTOBER 09, 2015, AS INSTRUMENT NO. 150017852. AS SHOWN HEREON.
7. COVENANTS, CONDITIONS, RESTRICTIONS, EASEMENTS, ETC., AS SET FORTH IN DECLARATION OF EASEMENTS COVENANTS AND RESTRICTIONS FOR FURNACE COMMERCIAL DEVELOPMENT, DATED AS OF OCTOBER 30, 2015, RECORDED NOVEMBER 02, 2015, AS INSTRUMENT NO. 150019750, AND AS ASSIGNED TO FURNACE ROAD SELF STORAGE LLC, A VIRGINIA LIMITED LIABILITY COMPANY BY ASSIGNMENT OF MAINTENANCE OBLIGATIONS DATED AS OF OCTOBER 17, 2017, RECORDED OCTOBER 18, 2017, AS INSTRUMENT NO. 170018870. COMMON PARK AREA AS SHOWN HEREON.
8. DEED OF EASEMENTS AND VACATION OF EASEMENTS GRANTED TO THE COUNTY OF STAFFORD, VIRGINIA, DATED AS OF APRIL 4, 2016 AND RECORDED APRIL 5, 2016 AS INSTRUMENT NO. 160005403. EASEMENTS MENTIONED THEREIN ARE VACATED AND NO LONGER AFFECT SUBJECT PROPERTY.
9. DEED OF EASEMENTS AND VACATION OF EASEMENTS GRANTED TO THE COUNTY OF STAFFORD, VIRGINIA, RECORDED JUNE 24, 2016 AS INSTRUMENT NO. 160010787. AS SHOWN HEREON.
10. COVENANTS, CONDITIONS, RESTRICTIONS, EASEMENTS, ETC., AS SET FORTH IN DECLARATION OF EASEMENTS COVENANTS AND RESTRICTIONS FOR FURNACE COMMERCIAL DEVELOPMENT, DATED AS OF OCTOBER 30, 2015, RECORDED NOVEMBER 02, 2015, AS INSTRUMENT NO. 150019750, AND AS ASSIGNED TO FURNACE ROAD SELF STORAGE LLC, A VIRGINIA LIMITED LIABILITY COMPANY BY ASSIGNMENT OF MAINTENANCE OBLIGATIONS DATED AS OF OCTOBER 17, 2017, RECORDED OCTOBER 18, 2017, AS INSTRUMENT NO. 170018870. COMMON PARK AREA AS SHOWN HEREON.
11. DEED OF EASEMENTS AND VACATION OF EASEMENTS GRANTED TO THE COUNTY OF STAFFORD, VIRGINIA, RECORDED JUNE 24, 2016 AS INSTRUMENT NO. 160010787. AS SHOWN HEREON.
12. COVENANTS, CONDITIONS, RESTRICTIONS, EASEMENTS, ETC., AS SET FORTH IN DECLARATION OF EASEMENTS COVENANTS AND RESTRICTIONS FOR FURNACE COMMERCIAL DEVELOPMENT, DATED AS OF OCTOBER 30, 2015, RECORDED NOVEMBER 02, 2015, AS INSTRUMENT NO. 150019750, AND AS ASSIGNED TO FURNACE ROAD SELF STORAGE LLC, A VIRGINIA LIMITED LIABILITY COMPANY BY ASSIGNMENT OF MAINTENANCE OBLIGATIONS DATED AS OF OCTOBER 17, 2017, RECORDED OCTOBER 18, 2017, AS INSTRUMENT NO. 170018870. COMMON PARK AREA AS SHOWN HEREON.
13. DEED OF EASEMENTS AND VACATION OF EASEMENTS GRANTED TO THE COUNTY OF STAFFORD, VIRGINIA, RECORDED JUNE 24, 2016 AS INSTRUMENT NO. 160010787. AS SHOWN HEREON.
14. TERMS, CONDITIONS, AGREEMENTS AND EASEMENTS AS SET FORTH IN SIGN AGREEMENT BY AND BETWEEN FURN 610, LLC, A VIRGINIA LIMITED LIABILITY COMPANY AND WAL-MART REAL ESTATE BUSINESS TRUST, A DELAWARE STATUTORY TRUST, DATED AS OF AUGUST 25, 2016 AND RECORDED AUGUST 26, 2016, AS INSTRUMENT NO. 160015347. SIGN LOCATION AS SHOWN HEREON.
15. EASEMENT GRANTED TO VIRGINIA ELECTRIC AND POWER COMPANY, DATED AS OF MARCH 06, 2017, RECORDED APRIL 21, 2017, AS INSTRUMENT NO. 170006998. AS SHOWN HEREON.
16. EASEMENT GRANTED TO VIRGINIA ELECTRIC AND POWER COMPANY, DATED AS OF MARCH 06, 2017, RECORDED AUGUST 22, 2017, AS INSTRUMENT NO. 170015146. AS SHOWN HEREON.
17. COVENANTS, CONDITIONS, RESTRICTIONS, EASEMENTS, ETC., AS SET FORTH IN DECLARATION OF RESTRICTIONS, DATED AS OF DECEMBER 18, 2017, RECORDED DECEMBER 27, 2017, AS INSTRUMENT NO. 170022966. AFFECTS SUBJECT PROPERTY, NO MATTERS TO SHOW.
18. MATTERS NOTED AND/OR SHOWN ON PLAT MAP RECORDED AS INSTRUMENT NO. 080000101. AS SHOWN HEREON.
19. MATTERS NOTED AND/OR SHOWN ON PLAT MAP RECORDED AS INSTRUMENT NO. 170000044. SAID MAP SHOWS ALL EASEMENTS SHOWN HEREON LABELED "PM15000059" OR "PM16000083".

FLOOD ZONE INFORMATION

ACCORDING TO MAPPINGS PROVIDED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY AND SHOWN ON THE FLOOD INSURANCE RATE MAP (FIRM) STAFFORD COUNTY, VIRGINIA PANEL NUMBER 5101540126E, EFFECTIVE DATE: FEBRUARY 4, 2005, THE PROPERTY SHOWN HEREON IS NOT LOCATED WITHIN A SPECIAL FLOOD HAZARD AREA. THE PROPERTY IS ENTIRELY WITHIN AN AREA DESIGNATED ZONE X - AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.

NGS MONUMENT "MANTHEY"
N: 6,863,350.90 sFT
E: 11,771,484.83 sFT
NAD 83(2011) DATUM
COMBINED FACTOR: 0.99994356



LEGEND

PROPERTY LINE	---
ADJACENT PROPERTY LINE	---
EASEMENT LINE	---
FENCE LINE	---
GUIDE RAIL	---
BUILDING SETBACK LINE	---
LANDSCAPE BUFFER LINE	---
EXISTING CONTOUR LINE	---
OVERHEAD POWER LINE	---
UNDERGROUND TELEPHONE LINE	---
SANITARY SEWER LINE	---
STORM SEWER LINE	---
IRON PIN FOUND (SIZE AND TYPE AS NOTED)	---
NAIL FOUND	---
MAG NAIL SET	---
GEODETIC MONUMENT (AS NOTED)	---
SCHEDULE BII EXCEPTION	---
ENCROACHMENT	---
UTILITY POLE/GUY WIRE	---
LIGHT POLE	---
WATER VALVE	---
FIRE HYDRANT	---
STORM WATER MANHOLE	---
STORM WATER INLET	---
SANITARY SEWER MANHOLE	---
CLEANOUT	---
SOIL BORING	---
SIGN	---
MAILBOX	---
SPOT ELEVATION	---
STREET ADDRESS	---
ASPHALT	---
CONCRETE	---

NOTES

1. THERE IS NO PUBLISHED STREET ADDRESS FOR THE SUBJECT PROPERTY.
2. THE TAX PARCEL IDENTIFICATION NUMBER FOR THE SUBJECT PROPERTY IS 19-31-J.
3. THE PROPERTY SHOWN HEREON HAS ACCESS TO FURNACE ROAD, A PUBLIC STREET.
4. THE TOTAL AREA OF THE PROPERTY SURVEYED CONTAINS 79,095 SQUARE FEET OR 1.816 ACRES, MORE OR LESS.
5. THIS PROPERTY AREA WAS DETERMINED BY THE COORDINATE COMPUTATION METHOD.
6. DISTANCES SHOWN HEREON ARE HORIZONTAL GROUND DISTANCES UNLESS OTHERWISE NOTED.
7. UNADJUSTED RATIO OF PRECISION 1:53,174.
8. ANY UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED, ALTHOUGH HE DOES STATE THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES. BEFORE BEGINNING ANY CONSTRUCTION OR BORINGS, CONTACT THE UTILITIES PROTECTION CENTER.
9. THIS SURVEY IS REFERENCED TO THE VIRGINIA STATE PLANE COORDINATE SYSTEM, NORTH ZONE, NAD 83(2011).
10. ONE FOOT CONTOUR INTERVALS SHOWN. ELEVATIONS ARE TIED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88 - GEOD 18).
11. THE REFERENCE BEARING FOR THIS DRAWING IS BASED UPON THE VIRGINIA STATE PLANE COORDINATE SYSTEM, NORTH ZONE, NAD 83(2011).
12. DONALDSON, GARRETT & ASSOCIATES, INC. AND THE LAND SURVEYOR WHOSE SEAL IS AFFIXED HEREON DO NOT GUARANTEE THAT ALL EASEMENTS WHICH MAY AFFECT THIS PROPERTY ARE SHOWN.
13. THIS DOCUMENT WAS CREATED ELECTRONICALLY. THIS MEDIA SHOULD NOT BE CONSIDERED A CERTIFIED DOCUMENT UNLESS IT HAS BEEN PROPERLY SEALED AND ORIGINALLY SIGNED BY A REGISTERED LAND SURVEYOR OF DONALDSON, GARRETT AND ASSOCIATES, INC.
14. THIS SURVEY WAS PERFORMED WITH THE BENEFIT OF A TITLE COMMITMENT.
15. THERE WAS NO OBSERVED EVIDENCE OF CURRENT EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS AS OF APRIL 1, 2023.
16. THERE WAS NO OBSERVED EVIDENCE OF THIS SITE BEING USED AS A SOLID WASTE DUMP, SUMP OR SANITARY LANDFILL.

SURVEYOR'S CERTIFICATION

To Bridgestone Retail Operations, LLC, a Delaware limited liability company and First American Title Insurance Company:

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes items 1, 2, 3, 4, 5 (on a separate sheet), 6(a) and 6(b), 7(a - c) (if there are any buildings), 8, 9, (if there are any parking areas), 11a, 13, 14, 16, 17, 20, 21 (optional, as specified) of Table A thereof. The field work was completed on April 1, 2023.

Date of Plat or Map: April 6, 2023

John M. Story VA Professional Land Surveyor No. 1938

ALTA/NSPS LAND TITLE SURVEY

FOR
BRIDGESTONE RETAIL OPERATIONS,
a Delaware Limited Liability Company
FIRST AMERICAN TITLE INSURANCE COMPANY

PARCEL 6 - NORTH STAFFORD OFFICE COMPLEX
PM 170000044

ROCK HILL MAGISTERIAL DISTRICT
STAFFORD COUNTY VIRGINIA



Donaldson
Garrett
&
Associates, Inc.

1600 CHARLOTTE BOULEVARD
CHARLOTTE, N.C. 28273
(704) 274-1955
http://www.dg-a.com
John.Story@dg-a.com
NC CORPORATE LICENSE NO. C-1518

DATE: 4/5/2023

SCALE: 1"=20'

PROJECT NO. 1570-108-N1

DRAWING NO. NC-000-00-D