GENERAL PROJECT INFORMATION

SITE LOCATION / ADDRESS
10 LEELAND ROAD, FREDERICKSBURG, VA 22405

PARCEL ID: 54 12NE

OWNER: MHC 86 (FREDERICKSBURG VA) LLC
OWNER'S ADDRESS: 41 FLATBUSH AVE STE 3C BROOKLYN NY 11217-1146
OWNER'S CONTACT: (646) 674 0840
MDiBenedetto@extrapropson.com

JURISDICTION & CODES

JURISDICTION: FREDERICKSBURG
PLANNING DEPARTMENT
PHONE: 540-370-1170

BUILDING CODES IN EFFECT:
2018 VIRGINIA UNIFORM STATEWIDE BUILDING CODE (USBC)
2018 VIRGINIA EXISTING BUILDING CODE
2012 VIRGINIA MECHANICAL CODE
2012 VIRGINIA PLUMBING CODE
2018 VIRGINIA STATEWIDE FIRE PREVENTION CODE
2018 VIRGINIA ENERGY CONSERVATION CODE
2018 VIRGINIA FUEL GAS CODE
2014 NATIONAL ELECTRICAL CODE
2010 A.D.A. STANDARDS

SCOPE OF WORK

RENOVATE (1) NEW "S-1" OCCUPANCY, MINI SELF-STORAGE BUILDINGS ON AN EXISTING NON-DEVELOPED COMMERCIAL LOT IN STAFFORD COUNTY VA.

SCOPE TO INCLUDE:

-ELECTRICAL: NEW LIGHT FIXTURES, EMERGENCY LIGHTING AND EXIT SIGNS

-PLUMBING: NEW TOILET AND SINK FIXTURES, CAPPING OF EXISTING UNUSED PIPES

-MECHANICAL: EXISTING TO REMAIN UNLESS NOTED OTHERWISE FOR RELOCATION

-SEE SHEETS WITHIN THIS DOCUMENT FOR MORE SPECIFICITY TO THE SCOPE OF WORK.

NOTE: *THE SHELL IS A PRE-MANUFACTURED BUILDING. ALL EXTERIOR DETAILS, WATERPROOFING, AND SHEATHING INFORMATION IS BEING PROVIDED BY OTHERS. THE ARCHITECTURAL DOCUMENTS ARE A BUILD OUT OF THE INTERIOR SPACE.*

SITE LOCATION DATA

DESCRIPTION

PT BEKTON PARCEL 77 ON ACADEMY PLACE Mini STORAGE

LAND ACRES: 7.71

LAND TYPE: 82-82 GENL COMMERCIAL

NEIGHBORHOOD: 540008 MAIN MAP 84

PROPERTY CLASS: WAREHOUSE MINI - STORAGE

ALTERNATE ID/PIN: 32413

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DESIGN DATA

LOAD SCHEDULE

	LIVE LOAD	DEAD LOAD	SNOW	TOTAL
GROUND FLOOR	125 PSF	60 PSF	75 PSF	260 PSF
SECOND FLOOR	N/A	N/A	N/A	N/A
ROOF	PRE ENGINEERED	PRE ENGINEERED	N/A	PRE ENGINEERED

WIND SPEED
ULTIMATE (V_{ult}): 115 MPH
NOMINAL (V_{asd}): 90 MPH

SEISMIC DATA
IMPORTANCE FACTOR, I_e: 1.00 S_s = 17.1%, S_1 = 4.8%
RISK CATEGORY: II S_{DS} = 18.4%, S_{D1} = 7.7%
SEISMIC DESIGN CATEGORY: B
SITE CLASS: D
(F_a 1.6, F_v 2.4)
RESPONSE COEFF= .046
DESIGN BASE SHEAR (V_{BASE}) = 62 (1-STORY)
RESPONSE MOD FACTOR, R = 4

BUILDING SHELL
[■] ENCLOSED
[ ] PARTIALLY ENCLOSED
OPEN

PRESSURES
INTERNAL PRESSURE COEFFICIENT: +/-0.18
COMPONENTS AND CLADDING PRESSURES:
ROOF ZONES: 1. EXISTING 2. EXISTING 3. EXISTING
WALL ZONES: SEE ELEVATIONS
BEARING PRESSURES:
MINIMUM SOIL BEARING PRESSURE: 2500 PSF
PRESUMPTIVE SOIL BEARING PRESSURE: 2500 PSF

ADJUSTMENT FACTORS
HEIGHT & EXPOSURE: N/A
IMPORTANCE FACTOR: 1.0

ROOF DATA
ROOF PITCH: EXISTING
MEAN ROOF HEIGHT: EXISTING

RISK CATEGORY *CH. 1604*

- I — LOW HAZARD AGRICULTURAL, TEMPORARY, MINOR STORAGE
- [■] II — BUILDINGS NOT I, III, OR IV
- III — SUBSTANTIAL HAZARD (ASSEMBLY >300, SCHOOLS >250, I2> 250, B, ANY OCCUPANCY WITH >5000, PUBLIC UTILITIES NOT IN CAT IV, BUILDINGS CONTAINING TOXIC SUBSTANCES.
- IV — HIGH SURVIVAL & TREATMENT, PUBLIC SERVICES & UTILITIES, SHELTERS, HIGH/TOXIC MATERIALS, AVIATION CONTROL TOWERS, NATL DEF. BUILDINGS, WATER, STORAGE AND PUMP STATIONS.

EXPOSURE CATEGORY *1609.4.3*

- [■] B — MEAN ROOF > 30 FT: W/ SURFACE ROUGHNESS "B" UPWIND 1500 FT; MEAN ROOF < 30 FT: W/ SURFACE ROUGHNESS "B" UPWIND 2600 FT
- C — WHERE EXPOSURES "B" & "D" DO NOT APPLY
- D — WHERE SURFACE ROUGHNESS "D" EXTENDS 5000 FT UPWIND INLAND FROM THE SHORELINE 600 FT OR (20 x BUILDING HEIGHT)

SURFACE ROUGHNESS *1609.2*

- [■] B — URBAN, SUBURBAN, WOODED W/ NUMEROUS OBSTRUCTIONS
- C — OPEN TERRAIN W/ SCATTERED OBSTRUCTIONS LESS THAN 30FT 100 FT HORIZONTALLY FROM AREA ("C" OR "D") 300' W x 600' D UPWIND
- D — FLAT UNOBSTRUCTED AREAS & WATER SURFACES

CONSTRUCTION TYPE

- TYPE I: BUILDING ELEMENTS ARE NON-COMBUSTIBLE
- [■] TYPE II: EXTERIOR WALLS NON-COMBUSTIBLE INTERIOR - ANY
- TYPE III: EXTERIOR WALLS NON-COMBUSTIBLE INTERIOR - ANY
- TYPE IV: HEAVY TIMBER
- TYPE V: EXTERIOR & INTERIOR ANY MATERIAL PERMITTED BY CODE

A - PROTECTED [■] B - UNPROTECTED SPRINKLERED [■] UNSPRINKLERED

BUILDING CLASSIFICATION

A1 - FIXED SEATING	I1 - INSTITUTIONAL HOUSING 16+
A2 - FOOD AND/OR DRINKS	I2 - INSTITUTIONAL MEDICAL CARE
A3 - WORSHIP/RECREATION	I3 - INSTITUTIONAL JAILS
A4 - INDOOR SPORTS	M - MERCANTILE
A5 - STADIUMS BLEACHERS	R1 - RESIDENTIAL (TRANSIENT)
B - BUSINESS	R2 - RESIDENTIAL (2+ DWELLINGS)
E - EDUCATIONAL	R3 - RESIDENTIAL (SINGLE FAMILY)
F1 - FACTORY (MODERATE HAZARD)	R4 - RESIDENTIAL CARE (>16 PERSONS)
F2 - FACTORY (LOW HAZARD)	[■] S1 - STORAGE (MODERATE HAZARD)
F3 - FACTORY (SPECIAL PURPOSE)	S2 - STORAGE (LOW HAZARD)
H - HIGH HAZARD	U - UTILITY/MISCELLANEOUS

NEW STRUCTURE/ OCCUPANCY [■] EXISTING STRUCTURE/ OCCUPANCY

STRUCTURE IS ORDINARY HAZARD PER NFPA 101 2018 CH. 6.2.2

OCCUPANCY CALCULATION

FBC 1004.1.1
LS 7.3.1.2

TOTAL BUILDING "A" AREA: 11,341 FT² (11,088 FT² WORK AREA)
(2,520 FT² HABITABLE AREA / OCCUPIABLE HALLWAYS)

TOTAL BUILDING "B" AREA: 12,098 FT² (12,253 FT² WORK AREA)
(491 FT² HABITABLE AREA / OCCUPIABLE HALLWAYS)

TOTAL "S-1" FACILITY AREA: 90,670 FT² (12,341 FT² WORK AREA)
(3,520 FT² HABITABLE / OCCUPIABLE HALLWAYS)

FUNCTION OF SPACE	OCCUPANT LOAD FACTOR	OCCUPANT LOAD
WAREHOUSES	GROSS AREA PER SEC. 1.7 500 GROSS	3,520 FT² = 8 PERSONS

TOTAL FACILITY OCCUPANTS..... 8 PERSONS

NFPA 101 - 42.1.7* OCCUPANT LOAD
THE OCCUPANT LOAD, IN NUMBER OF PERSONS FOR WHOM MEANS OF EGRESS AND OTHER PROVISIONS ARE REQUIRED, SHALL BE DETERMINED ON THE BASIS OF THE MAXIMUM PROBABLE POPULATION OF THE SPACE UNDER CONSIDERATION.

A. 42.1.7
THERE IS NO OCCUPANT LOAD FACTOR SPECIFIED FOR STORAGE OCCUPANCIES, RATHER, THE PROBABLE MAXIMUM NUMBER OF PERSONS PRESENT NEEDS TO BE CONSIDERED IN DETERMINING THE OCCUPANT LOAD.

**THE AREA USED FOR THE OCCUPANT LOAD FOR ALL "S-1" AREAS IS THE HALLWAY SPACE ONLY AS THE INDIVIDUAL STORAGE UNITS ARE LOCKED AND INACCESSIBLE TO THE PUBLIC*

FIXTURE CALCULATIONS

TOILET CALCULATIONS ARE BASED ON THE FLOOR AREA OF THIS PROJECT. PER FPC 403.1 THE OCCUPANT LOAD SHALL BE COMPOSED 50 PERCENT OF EACH SEX.

STORAGE AND ACCESSORY BUSINESS OCCUPANCY

CLASSIFICATION: S-1 (STORAGE)
TOTAL OCCUPANTS: 8 PERSONS
OCCUPANTS: 4 MALE 4 FEMALE

	REQUIRED	PROVIDED A. D.A.	PROVIDED EXISTING
LAVATORIES:	1 PER 100 *ADJ. TO 2*	1	1
WATER CLOSETS:	1 PER 100 *ADJ. TO 2*	1	1
URINALS:	NOT REQUIRED	0	0
DRINKING FOUNTAINS:	1 PER 1,000 *ADJ. 2*	0	0
HAND WASH:	N/A	N/A	N/A
SERVICE SINK:	REQUIRED *2*	1 PROVIDED	

NOTES:
E. FOR BUSINESS AND MERCANTILE OCCUPANCIES WITH AN OCCUPANT LOAD OF 15 OR FEWER, SERVICE SINKS SHALL NOT BE REQUIRED.

403.2 SEPARATE FACILITIES. WHERE PLUMBING FIXTURES ARE REQUIRED, SEPARATE FACILITIES SHALL BE PROVIDED FOR EACH SEX.

EXCEPTIONS:
2. SEPARATE FACILITIES SHALL NOT BE REQUIRED IN STRUCTURES OR TENANT SPACES WITH A TOTAL OCCUPANCY LOAD INCLUDING BOTH EMPLOYEES AND CUSTOMERS, OF 15 OR FEWER.

DRINKING FOUNTAINS
410.2 SMALL OCCUPANCIES. DRINKING FOUNTAINS SHALL NOT BE REQUIRED FOR AN OCCUPANT LOAD OF 15 OR FEWER.

MIXED USE OCCUPANCIES

ACCESSORY OCCUPANCIES:
AGGREGATE ACCESSORY OCCUPANCIES SHALL NOT OCCUPY MORE THAN 10 PERCENT OF THE FLOOR AREA OF THE STORY

NON-SEPARATED OCCUPANCIES:
NON-SEPARATED OCCUPANCIES SHALL BE INDIVIDUALLY CLASSIFIED TO ITS USE, THE REQUIREMENTS OF THE CODE SHALL APPLY TO EACH PORTION OF THE BUILDING BASED ON THE OCCUPANCY CLASSIFICATION OF THAT SPACE. IN ADDITION, THE MOST RESTRICTIVE PROVISIONS OF CHAPTER 9 THAT APPLY TO NON-SEPARATED OCCUPANCIES SHALL APPLY TO THE TOTAL NON-SEPARATED OCCUPANCY AREA. 508.3.3 NO SEPARATION IS REQUIRED BETWEEN NON-SEPARATED OCCUPANCIES.

[■] SEPARATED OCCUPANCIES:
SEPARATED OCCUPANCIES SHALL BE INDIVIDUALLY CLASSIFIED. EACH SEPARATED SPACE SHALL COMPLY WITH THIS CODE BASED ON THE OCCUPANCY CLASSIFICATION. INDIVIDUAL OCCUPANCIES SHALL BE SEPARATED FROM ADJACENT OCCUPANCIES IN ACCORDANCE WITH TABLE 508.4.

FIRE RATING REQUIREMENTS

FBC 601, FBC 803.11, LS 10.2.2

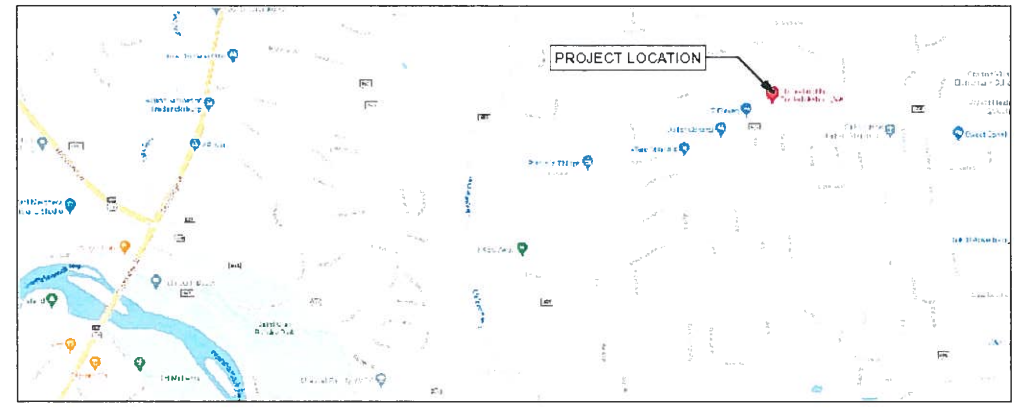
BEARING WALLS:	EXTERIOR	=	0	
	INTERIOR	=	0	
NON-BEARING WALLS:	EXTERIOR	=	0	
	INTERIOR	=	0	
FLOOR CONSTRUCTION:	RATING	=	0	
ROOF CONSTRUCTION:	RATING	=	0	

FINISHES

EXITS:	A or B; (IOR II (LS 10.2.2))
EXIT ACCESS CORRIDORS:	A or B (LS 10.2.7)
OTHER SPACES:	A, B or C (LS 10.2.5)
EXIT ENCLOSURE:	A (SEC 803.11)
CORRIDORS:	B (SEC 803.11)
ROOMS & ENCLOSED SPACES:	C (SEC 803.11)

IBC TABLE 508.4 - REQUIRED SEPARATION OF OCCUPANCIES (HOURS)

OCCUPANCY	R, M, S-1 SPRINKLERED	R, M, S-1 NON-SPRINKLERED
R, M, S-1	NO REQUIREMENT	NO REQUIREMENT



LOCATION MAP

NOT TO SCALE

SHEET INDEX

ID	NAME	#	REVISION DATE
GENERAL			
G-001	GENERAL PROJECT DATA, LOCATION MAP, & SHEET INDEX		-
G-002	GENERAL NOTES, ABBREVIATIONS, & DIRECTORY		-
ARCHITECTURE			
A-001	NOTES, SYMBOLS		-
A-002	DOOR SCHEDULE, ELEVATIONS, AND DETAILS		-
A-008	DEMOLITION/STORAGE DOOR DETAILS		-
A-101	ARCHITECTURAL SITE PLAN		-
A-101.1	PROPOSED SITE MODIFICATIONS		-
A-102(A)	EXISTING FLOOR PLAN		-
A-102(B)	EXISTING FLOOR PLAN		-
A-103(A)	DEMOLITION PLAN		-
A-103(B)	DEMOLITION PLAN		-
A-104(A)	PROPOSED RENOVATION PLAN		-
A-104(B)	PROPOSED RENOVATION PLAN		-
A-105(A)	REFLECTED CEILING PLAN		-
A-105(B)	REFLECTED CEILING PLAN		-
A-110(A)	ARCHITECTURAL SECTIONS		-
A-400(A)	ENLARGED BATHROOM PLAN AND ELEVATIONS		-
A-401(A)	ACCESSIBLE FIXTURE NOTES / A.D.A. DETAILS		-
A-801	LIFE SAFETY NOTES		-
A-802	LIFE SAFETY NOTES		-
A-803(A)	LIFE SAFETY PLAN		-
A-803(B)	LIFE SAFETY PLAN		-
A-901(A)	FIRE PENETRATION NOTES/DETAILS		-

ID	NAME	#	REVISION DATE
MECHANICAL AND PLUMBING			
DMP-101	DEMOLITION PLAN-HVAC AND PLUMBING BUILDING "A"		-
DMP-101	DEMOLITION PLAN-HVAC AND PLUMBING BUILDING "B"		-
MP-101	ROOF PLAN-HVAC & PLUMBING BUILDING "A"		-
ELECTRICAL			
DE-101	DEMOLITION-ELECTRICAL BUILDING "A"		-
DE-101	DEMOLITION-ELECTRICAL BUILDING "B"		-
E-001	SPECIFICATIONS-ELECTRICAL BUILDING "A"		-
E-001	SPECIFICATIONS-ELECTRICAL BUILDING "B"		-
E-002	LEGEND AND SCHEDULE-ELECTRICAL BUILDING "A"		-
E-002	LEGEND AND SCHEDULE-ELECTRICAL BUILDING "B"		-
E-101	POWER PLAN-ELECTRICAL BUILDING "A"		-
E-101	ROOF PLANS-ELECTRICAL BUILDING "B"		-
E-201	LIGHTING PLAN-ELECTRICAL BUILDING "A"		-

GDC ARCHITECTS ENGINEERS
COA#3050, AA#26005145
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ESS #7515-TENANT IMPROVEMENT

EXTRA SPACE STORAGE

PROJECT ADDRESS: 10 LEELAND ROAD
PROJECT CITY: FREDERICKSBURG
PROJECT STATE: VA
PROJECT ZIP CODE: 22405
PARCEL ID: 54 12GE

ISSUED FOR PERMIT

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COMMONWEALTH OF VIRGINIA
JOHN H. CRESWELL
Lic. No. 402057681
05/23/2021
PROFESSIONAL ENGINEER

JOHN H. CRESWELL
PE #402057681
C: (863) 467-1111
E: john@gdcflorida.com

REVISION

WRITTEN DIMENSIONS ON THESE DOCUMENTS SHALL TAKE PRECEDENCE OVER ALL SCALED DIMENSIONS.

DRAWN BY J.E.T.
CHECKED BY J.H.C.
DATE 5/21/2021
SHEET G-001

John H Creswell
Digitally signed by John H Creswell
DN: cn=US, o=Unaffiliated, ou=A01410D00000170C6E1AB1D0000CFFD, cn=John H Creswell
Date: 2021.05.23 13:11:06 -04'00'

GENERAL PROJECT DATA, LOCATION MAP, & SHEET INDEX

GENERAL NOTES

1. DRAWINGS ARE NOT TO BE SCALED. ON SITE VERIFICATION OF ALL DIMENSIONS AND CONDITIONS SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND ALLOWED DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS.
2. CONTRACTOR TO VERIFY ALL DIMENSIONS & ADVISE ENGINEER OF ANY DISCREPANCIES. CONSTRUCTION SHALL NOT PROCEED UNTIL SUCH DISCREPANCIES HAVE BEEN RESOLVED AND APPROVED BY ENGINEER.
3. NO MATERIALS OR SYSTEMS ARE TO BE FABRICATED UNTIL ALL DIMENSIONS HAVE BEEN VERIFIED BY THE CONTRACTOR & SHOP DRAWINGS HAVE BEEN REVIEWED AND ACCEPTED BY THE ENGINEER. CONTRACTOR TO SUBMIT SHOP DRAWINGS FOR APPROVAL BEFORE COMMENCING FABRICATION AND/OR INSTALLATION OF ALL APPLICABLE ITEMS OF CONSTRUCTION. ALL SHOP DRAWINGS SHALL BE FIELD VERIFIED, REVIEWED AND APPROVED BY CONTRACTOR BEFORE SUBMITTAL. UNCORRECTED SHOP DRAWINGS OR LACKING SUFFICIENT INFORMATION WILL BE RETURNED WITHOUT REVIEW. ALL SHOP DRAWINGS REQUIRE APPROVAL FROM THE CITY. CONTRACTOR TO SUBMIT A MINIMUM OF FIVE (5) SETS OF COMPLETE SHOP DRAWINGS OR ASSEMBLIES FOR APPROVAL BEFORE COMMENCING FABRICATION AND/OR INSTALLATION OF ALL APPLICABLE ITEMS OF CONSTRUCTION. ALL SHOP DRAWING DIMENSIONS SHALL BE FIELD VERIFIED, REVIEWED AND APPROVED BY THE CONTRACTOR BEFORE SUBMITTAL AND 30 NOTED FOR REVIEW BY ARCHITECT OR ENGINEER REQUIRED BY SUBMITTAL NOTES VALIDATED AND APPROVED BY CONTRACTOR SHALL BE FAXED PDF BY THE CONTRACTOR ON HOURLY RATES ESTABLISHED IN ARCHITECT CONTRACT OF SERVICES FOR THE PROJECT.
4. PLANS AS DESIGNED ARE THE SOLE PROPERTY OF GDC ARCHITECTS AND ENGINEERS AND MAY NOT BE USED OR REPRODUCED WITHOUT THE EXPRESS WRITTEN CONSENT OF GDC ARCHITECTS AND ENGINEERS OR ITS DULY AUTHORIZED REPRESENTATIVE. PLANS MAY BE PURCHASED SEPARATELY BY CONTACTING GDC ARCHITECTS AND ENGINEERS @ (863) 467-1111.
5. THE ENGINEER WILL NOT BE RESPONSIBLE FOR AND WILL NOT HAVE CONTROL OR CHARGE OF CONSTRUCTION METHODS, TECHNIQUES, PROGRAM, SEQUENCES OR PROCEDURES OR FOR THE SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK. NOR OF THE WILL NOT BE RESPONSIBLE FOR THE CONTRACTORS FAILURE TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. THE ENGINEER SHALL NOT HAVE CONTROL CHARGE OR BE RESPONSIBLE FOR THE ACTS OR OMISSIONS OF THE CONTRACTOR, SUB-CONTRACTORS, OR ANY OF THEIR AGENTS OR EMPLOYEES OR ANY OTHER PERSON PERFORMING ANY OF THE WORK ON THE WEBSITE.
6. THE STRUCTURAL ENGINEER OF RECORD IS NOT RESPONSIBLE FOR THE DESIGN OF STEEL STAIRS, HANDRAILS, CURTAIN WALLS, WINDOWS, PRECAST CLADDING, COLD-FORMED METAL FRAMING OR OTHERS ITEMS NOT SHOWN IN THE STRUCTURAL DOCUMENTS. SUCH SYSTEMS SHALL BE DESIGNED, FURNISHED, AND INSTALLED BY OTHERS AS REQUIRED IN OTHER PORTIONS OF THE CONTRACT DOCUMENTS.
7. CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL BUILDING CODES. PERMIT SHALL BE POSTED ON A VISIBLE PLACE AT ALL TIMES.
8. ALL WORK, MATERIALS AND EQUIPMENT UTILIZED IN THIS PROJECT SHALL BE INSTALLED IN STRICT ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS AND SPECIFICATIONS.
9. ALL WORK FOR THE SITE SHALL CONFORM TO STANDARDS PUBLISHED BY RECOGNIZED PROFESSIONAL AND INDUSTRY ORGANIZATIONS AS REFERENCED.
10. ALL MATERIALS USED SHALL BE NEW, DELIVERED TO THE JOB IN ORIGINAL SEALED CONTAINERS BEARING ORIGINAL MANUFACTURERS LABELS.
11. BEFORE COMMENCING WITH THE WORK, THE CONTRACTOR SHALL FILE WITH THE OWNER CERTIFICATE OF INSURANCE CERTIFICATIONS ON THE AMOUNTS REQUESTED BY THE OWNER FOR WORKMAN COMPENSATION, COMPREHENSIVE GENERAL LIABILITY, BODILY INJURY AND PROPERTY DAMAGE. IT IS THE INTENTION OF THE PARTIES THAT CONTRACTOR SHALL INDEMNIFY THE OWNER AND ARCHITECT FOR ANY AND ALL COSTS, CLAIMS, SUITS, AND JUDGEMENTS FOR PROPERTY DAMAGE AND PERSONAL INJURY, ARISING OUT OF THE WORK CONTRACTOR.
12. THE CONTRACTOR SHALL COORDINATE THE WORK OF ALL TRADES. STRUCTURAL, PLUMBING, FIRE PROTECTION, ELECTRICAL & AIR CONDITIONING AT THE TIME THE WORK IS PERFORMED ON THE STRUCTURE.
13. CONTRACTOR SHALL BE RESPONSIBLE FOR VISITING THE SITE PRIOR TO BIDDING AND FAMILIARIZING HIMSELF WITH ALL EXISTING CONDITIONS AFFECTING THE WORK, INCLUDING BUT NOT LIMITED TO PRIVATE AND PUBLIC UTILITIES, ON AND OFF SITE ACCESS ROADS, AND OTHER SUPPORT FACILITIES.
14. THE CONTRACTOR HAS THE SOLE RESPONSIBILITY OF DESIGNING THE ERECTION PROCEDURE AND SEQUENCE TO ENSURE THE SAFETY OF THE BUILDING AND ITS CONSTITUENT PARTS DURING ERECTION. THIS INCLUDES, BUT IS NOT LIMITED TO, TEMPORARY BRACING, GUYS, FALSE WORK OR OTHERWISE THAT MAY BE NECESSARY TO STABILIZE THE STRUCTURE DURING ERECTION, UNDER ALL LOADING CONDITIONS. SUCH MATERIAL SHALL BE REMOVED AND SHALL REMAIN THE PROPERTY OF THE CONTRACTOR AFTER COMPLETION OF THE PROJECT.
15. REFER TO ARCHITECTURAL, MECHANICAL, ELECTRICAL, PLUMBING AND CIVIL DRAWINGS FOR INSERTS, SLEEVES, CURBS, PADS, ETC. THAT AFFECT STRUCTURAL WORK.
16. CONTRACTOR SHALL VERIFY ALL EXISTING UTILITIES SHOWN ON THE CIVIL SHEETS PRIOR TO THE EXCAVATION FOR THE BUILDING FOUNDATIONS. THE STRUCTURAL ENGINEER SHALL BE NOTIFIED OF POTENTIAL CONFLICTS BETWEEN THE FOUNDATIONS AND ANY REQUIRED UTILITY PIPES.
17. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO ORDERING ANY MATERIALS, AND SHALL IMMEDIATELY NOTIFY THE ENGINEER WHEN CONDITIONS MAY VARY FROM WHAT APPEARS SHOWN ON THE DRAWINGS.
18. WHERE A DETAIL IS LABELED "TYPICAL" ON THE STRUCTURAL DRAWINGS, IT SHALL APPLY TO ALL SIMILAR CONDITIONS ON THE PROJECT.
19. CONTRACTOR SHALL NOTIFY ARCHITECT/ENGINEER FOR CLARIFICATION PRIOR TO BIDDING OF ANY DISCREPANCIES BETWEEN, BUT NOT LIMITED TO THE ARCHITECTURAL, STRUCTURAL, MECHANICAL AND ELECTRICAL DRAWINGS. ANY DISCREPANCIES AFTER BIDDING SHALL BE INTERPRETED AS IF IT WAS BID BASED ON THE MOST EXPENSIVE METHOD OF FINISH.
20. CONTRACTOR TO OBTAIN WRITTEN APPROVAL FROM OWNER AND ARCHITECT/ENGINEER PRIOR TO ANY CHANGES OR DEVIATION FROM CONTRACT DOCUMENTS.
21. SUBSTANTIAL COMPLETION SHALL BE ATTAINED WHEN ALL PHASES OF THE WORK ARE COMPLETED INCLUDING ALL FINAL PUNCH LISTS ITEMS, REGARDLESS OF OWNERS USAGE OF OCCUPANCY OF THE IMPROVEMENT.
22. UNDER NO CIRCUMSTANCES WILL ASSUMPTIONS BY THE CONTRACTOR BE CONSIDERED THE DESIGN INTENT OR APPROVAL OF THE ARCHITECT OR ENGINEER UNLESS THERE IS WRITTEN APPROVAL BY THEM.
23. CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR AND/OR THE REPLACEMENT OF ANY EQUIPMENT DAMAGED DURING CONSTRUCTION OR CLEAN-UP. CONSTRUCTION PERSONNEL SHALL BE CONFINED TO THE LIMITS OF THE CONSTRUCTION AREA. ALL OSHA REGULATIONS FOR CONSTRUCTION AREAS SHALL BE STRICTLY FOLLOWED.
24. ALL DIMENSIONS ARE BASED ON NOMINAL SIZES OF MEMBERS AND ARE GIVEN TO THE OUTER FACE OF SUCH MEMBERS, NOT TO FACE OF FINISH MATERIAL UNLESS OTHERWISE NOTED ON DRAWINGS.
25. THE CONTRACTOR SHALL BE AWARE THAT SPECIFIC FIRE RATED SEPARATION WITHIN THE BUILDING'S CONSTRUCTION ARE REQUIRED BY CODE. THE USE OF SPECIFIC MATERIALS AND COMBINATIONS OF WITHIN FIRE RATED ASSEMBLIES AS CALLED FOR ON THE DRAWINGS AND SPECIFICATIONS ARE FOR THE PURPOSE OF ACHIEVING THOSE REQUIRED FIRE SEPARATION. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THAT CHANGE IN MATERIALS THAT ARE PROPOSED BY OR MADE BY THE CONTRACTOR AND/OR ITS SUBCONTRACTORS, FROM THOSE MATERIALS SHOWN OR SPECIFIED, DOES NOT IN ANY WAY AFFECTED OR LESSEN THE REQUIRED FIRE RATED CONSTRUCTION OF ASSEMBLIES.
26. UPON COMPLETION OF THE PROJECT, THE CONTRACTOR SHALL GIVE THE OWNER AND ARCHITECT A COMPLETE SET OF AS-BUILT ARCHITECTURAL, MECHANICAL AND ELECTRICAL DRAWINGS ALONG WITH THE WRITTEN GUARANTEE, OPERATION AND MAINTENANCE MANUALS OF ALL EQUIPMENT AND FINISHES INSTALLED. THE CONTRACTOR SHALL MAINTAIN A CURRENT SET OF AS-BUILT DRAWINGS. INFORMATION SHALL BE RECORDED BY CONTRACTOR AS CONSTRUCTION PROGRESSES.
27. OPENING WORK AS MAY BE NECESSARY FOR PROPER INSTALLATION OF HIS OWN OR OTHER CONTRACTOR WORK CONSULTING WITH OTHER CONTRACTORS CONCERNED PREPARING PROPER LOCATION AND SIZE OF SAME, IN CASE OF HIS FAILURE TO LEAVE OR CUT SAME IN THE PROPER PLACE, HE SHALL CUT THEM AFTERWARDS AT HIS OWN EXPENSE. NO EXCESSIVE CUTTING WILL BE PERMITTED NOR SHALL ANY STRUCTURAL MEMBERS WILL BE CUT WITHOUT THE CONSENT OF THE ARCHITECT. CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR THE COORDINATION OF ALL WORK OF TRADES, PLUS THE COORDINATION, REPAIR AND PREPARATION OF THE WORK OF ANY OTHER TRADES THAT WILL BE USED WHEN LEFT UNDER SEPARATE CONTRACT BY THE OWNER.
28. CONTRACTOR SHALL COORDINATE WITH MECHANICAL AND ELECTRICAL CONTRACTORS THE LOCATION OF ALL ACCESS PANELS SO AS TO ALLOW FOR PROPER EQUIPMENT ACCESSIBILITY, MAINTENANCE AND/OR OPERATION OF THE BUILDING SYSTEMS PRIOR TO THE START OF WORK. THE OMISSION OF ANY OF ALL ACCESS PANELS DOES NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY FROM PROVIDING AND INSTALLING SUCH PANELS OR DOORS.
29. CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING ALL DEBRIS AND CONSTRUCTION MATERIAL FROM THE SITE. CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR PROPERLY CLEANING ALL AREAS PRIOR TO FINAL ACCEPTANCE BY THE OWNER INCLUDING BUT NOT LIMITED TO WINDOWS, STOREFRONT, FLOORS, CARPETS, WALLS, DOORS, EQUIPMENT, ETC.
30. THE CONTRACTOR SHALL GUARANTEE IN WRITING FORM AS ACCEPTABLE TO THE OWNER ALL LABOR AND MATERIALS INSTALLED BY HIM FOR A PERIOD OF NOT LESS THAN (1) ONE YEAR AFTER DATE OF ACCEPTANCE OF WORK BY THE OWNER EXCEPT AS NOTED HEREIN OR ON OTHER DRAWINGS. SHOULD DEFECTS OCCUR ALL WORK SHALL BE REPLACED OR PROPERLY REPAIRED AT NO ADDITIONAL COST TO THE OWNER.
31. ALL WORK COMPLETED OR OTHERWISE SHALL BE PROPERLY PROTECTED AT ALL TIMES. CONTRACTOR SHALL FOLLOW ALL ACCEPTED METHODS OF SAFETY PRACTICE AND PROVIDE ALL FENCES, BARRICADES, ETC. AS MAY BE NEEDED TO PROTECT LIFE AND PROPERTY AND AS MAY BE REQUIRED BY AUTHORITIES HAVING JURISDICTION OVER THE WORK. HE SHALL REPAIR AT HIS OWN COST ANY DAMAGES TO THE PREMISES OR ADJACENT WORK CAUSED BY HIS OPERATION.

ABBREVIATIONS

ABV.	--	ABOVE	JT.	--	JOINT
A.C.	--	AIR CONDITIONING	KIT	--	KITCHEN
ACOUS.	--	ACOUSTICAL	LAV.	--	LAVATORY
A.C.T.	--	ACOUSTICAL CEILING TILE	L.F.	--	LINEAR FEET
ADMIN.	--	ADMINISTRATION	L.P.	--	LOW POINT
A.DRAIN	--	AREA DRAIN	MAX.	--	MAXIMUM
ADJ.	--	ADJACENT	MECH.	--	MECHANICAL
A.F.F	--	ABOVE FINISH FLOOR	MFR.	--	MANUFACTURER
AFP	--	ACOUSTICAL FINISH PLASTER	MGR.	--	MANAGER
A.H.U.	--	AIR HANDLING UNIT	MH	--	MANHOLE
ALUM.	--	ALUMINUM	MIN.	--	MINIMUM
ANOD.	--	ANODIZED	MISC.	--	MISCELLANEOUS
ARCH.	--	ARCHITECTURAL	M.O.	--	MASONRY OPENING
A.S.B.	--	ASBESTOS	MTL.	--	METAL
ASPH.	--	ASPHALT	N.A.	--	NOT APPLICABLE
ASST.	--	ASSISTANT	N.C.	--	NON-COMBUSTIBLE
BATT	--	BATT INSULATION	N.I.C.	--	NOT IN CONTRACT
BB.	--	BACKER BOARD	NO. / NUM	--	NUMBER
BD.	--	BOARD	NOM.	--	NOMINAL
BLDG.	--	BUILDING	N.T.S.	--	NOT TO SCALE
BLK.	--	BLOCK (BLOCKING)	O.C.	--	ON CENTER
BM.	--	BEAM	O.D.	--	OUTSIDE DIAMETER
BOTT.	--	BOTTOM	O.F.I.C.	--	OWNER FURNISHED, CONTRACTOR INSTALLED
CAB.	--	CABINET			
CB	--	CATCH BASIN	O.H.	--	OVERHEAD
CEM.	--	CEMENT	OFF.	--	OFFICE
CEM.PL	--	CEMENT PLASTER	O.S.H.A	--	OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION STANDARDS
C.G.	--	CORNER GUARD			
C.HGT.	--	CEILING HEIGHT	OPNG.	--	OPENING
C.JNT.	--	CONTROL JOINT	P.L.	--	PROPERTY LINE
CLR.	--	CLEAR (FINISH TO FINISH)	P.LAM.	--	PLASTIC LAMINATE
COMP.	--	COMPUTER	PLAS.	--	PLASTER
CPT.	--	CARPET	PLUM.	--	PLUMBING
CT.	--	CERAMIC TILE	PLYWD.	--	PLYWOOD
CLG.	--	CEILING	P.O.B.	--	POINT OF BEGINNING
CLO.	--	CLOSET	PR.	--	PAIR
C.O.	--	CLEAN OUT	PTD.	--	PAINTED
CONC.	--	CONCRETE	RISE	--	RISER
CONT.	--	CONTINUOUS	RAD.	--	RADIUS
C.M.U.	--	CONCRETE MASONRY UNIT	R.D.	--	ROOF DRAIN
DETL.	--	DETAIL	REF.	--	REFERENCE
DIA.	--	DIAMETER	REFL.	--	REFLECTED
DIR.	--	DIRECTOR	REINF.	--	REINFORCED
DN	--	DOWN	REQ.	--	REQUIRED
D.O.	--	DOOR OPENING	RM.	--	ROOM
DR.	--	DOOR	R.O.	--	ROUGH OPENING
DWR.	--	DRAWER	RT	--	RESILIENT TILE
DWG.	--	DRAWING	SC	--	SOLID CORE
EA.	--	EACH	SCHD.	--	SCHEDULE
ELEC.	--	ELECTRONICAL	SERV.	--	SERVICE
ELEV.	--	ELEVATION	SHR.	--	SHOWER
EL	--	ELEVATOR	SHT.	--	SHEET
E.N.C.	--	EXISTING, NO CHANGE	SIM.	--	SIMILAR
E.O.S.	--	EDGE OF SLAB	SPECS.	--	SPECIFICATIONS
EQ.	--	EQUAL	SQ.	--	SQUARE
EQUIP.	--	EQUIPMENT	SL.	--	SLOPE
E.W.C.	--	ELECTRIC WATER COOLER	SLD.	--	SLIDING
EXH.	--	EXHAUST	SREF	--	STATE REQUIREMENTS FOR EDUCATIONAL FACILITIES (2014 ED.)
EXIST.	--	EXISTING			
EXT.	--	EXTERIOR	S.S.	--	SERVICE SINK
EXP. JT.	--	EXPANSION JOINT	S.STL.	--	STAINLESS STEEL
FBC 2017	--	FLORIDA BUILDING CODE (2017)	STL	--	STEEL
F.D.	--	FIRE DAMPER	STOR.	--	STORAGE
F.F.E.	--	FINISH FLOOR ELEVATION	STRUCT.	--	STRUCTURAL
F.F.E.	--	FIXTURES, FURNITURES AND EQUIPMENT	SUSP.	--	SUSPENDED
			SYM.	--	SYMMETRICAL
F.F.P.C.	--	FLORIDA FIRE PROTECTION CODE	T	--	TREAD
FIXT.	--	FIXTURE	TEL.	--	TELEPHONE
FLASH.	--	FLASHING	TEMP.	--	TEMPERED
FL.D.	--	FLOOR DRAIN	THK	--	THICKNESS
F.O.F.	--	FACE OF FINISH	T.O.	--	TOP OF
F.R.	--	FIRE RATED	TYP.	--	TYPICAL
GA.	--	GAUGE	U.A.	--	UNLIMITED AREA
GALV.	--	GALVANIZED	U.C.	--	UNDER COUNTER
GEN.	--	GENERATOR	U.L.	--	UNDERWRITERS LABORATORY
GL	--	GLASS	U.N.O.	--	UNLESS OTHERWISE NOTED
G.W.B.	--	GYPSUM WALL BOARD	VERT.	--	VERTICAL
HC	--	HANDICAP	VEST.	--	VESTIBULE
HC	--	HOLLOW CORE	V.I.F.	--	VERIFY IN FIELD
HD WD.	--	HARD WOOD	VWC	--	VINYL WALL COVERING
HM	--	HOLLOW METAL	VT	--	VINYL TILE
HORIZ.	--	HORIZONTAL	WI	--	WITH
HGT.	--	HEIGHT	W.C.	--	WATER CLOSET
H.P.	--	HIGH POINT	WD	--	WOOD
I.D.A.	--	INSIDE DIAMETER	W/O	--	WITHOUT
INSUL	--	INSULATION	W.P.	--	WATERPROOF
INT.	--	INTERIOR	WT.	--	WEIGHT
INV.	--	INVERT			

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FRONT PERSPECTIVE
NOT TO SCALE

REAR PERSPECTIVE
NOT TO SCALE

GDC ARCHITECTS ENGINEERS
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ESS #7515-TENANT IMPROVEMENT

EXTRA SPACE STORAGE

PROJECT ADDRESS: 10 LEELAND ROAD
PROJECT CITY: FREDERICKSBURG
PROJECT STATE: VA
PROJECT ZIP CODE: 22405
PARCEL ID: 54 126E

ISSUED FOR PERMIT

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COMMONWEALTH OF VIRGINIA
JOHN H. CRESWELL
Lic. No. 025201
05/23/2021
PROFESSIONAL ENGINEER

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REVISION

WRITTEN DIMENSIONS ON THESE DOCUMENTS SHALL TAKE PRECEDENCE OVER ALL SCALED DIMENSIONS.

DRAWN BY J.E.T.

CHECKED BY J.H.C.

DATE 5/21/2021

SHEET G-002

GENERAL NOTES, ABBREVIATIONS, & DIRECTORY

ARCHITECTURAL NOTES

1. THE GENERAL CONDITIONS OF THE CONTRACT FOR THE CONSTRUCTION OF BUILDING OF THE AMERICAN INSTITUTE OF ARCHITECTS, DOCUMENT A-201, LATEST EDITION, HEREBY MADE PART OF CONTRACT DOCUMENTS. THESE GENERAL NOTES, SPECIFICATIONS AND CONTRACT BETWEEN THE OWNER AND CONTRACTOR SHALL TAKE PRECEDENCE OVER THE 'GENERAL CONDITIONS' IN THE EVENT OF A CONFLICT.
2. SCHEDULE OF VALUES. CONTRACTOR SHALL SUBMIT A DETAILED COST BREAKDOWN 'SCHEDULE OF VALUES' IN THE OF AIA G702 PRIOR TO THE FIRST PAYMENT. THIS SCHEDULE OF VALUES SHALL COINCIDE FOLLOW THE STANDARD CSI FORMAT, AND SHALL BREAKDOWN UNITS OF WORK IN SUFFICIENT DETAIL TO ALLOW ARCHITECT TO EVALUATE THE WORK COMPLETED. THE BREAKDOWN SHALL BE A TRUE REFLECTION OF THE COST OF WORK AND SHALL NOT BE "FRONT-END" LOADED. THE SCHEDULE OF VALUES SHALL BE 5% AND SHALL BE HELD UNTIL SUBSTANTIAL COMPLETION OF WORK.
3. ALL CONDITIONS AND APPLICABLE REQUIREMENTS OF THE CONTRACT BETWEEN THE CONTRACTOR AND OWNER SHALL GOVERN ALL SECTIONS OF THE SPECIFICATIONS OF CODES AND MANUFACTURER WHICHEVER IS MORE RESTRICTIVE.
4. CONTRACTOR TO REMOVE, RELOCATE OR RE-ROUTE AS NECESSARY ELECTRICAL, WATER, GAS OR ANY OTHER UTILITY LINES ENCOUNTERED DURING CONSTRUCTION.
5. ALL PERMITS, INSPECTIONS, APPROVALS, ETC. SHALL BE APPLIED FOR AND PAID FOR (AS PART OF BID PRICE) BY THE CONTRACTOR IN ALL FIELDS OF THE WORKS, AND HE SHALL BE RESPONSIBLE FOR THE COORDINATE OF INSPECTION AND APPROVAL OF THE WORK. PRIME BUILDING PERMITS SHALL NOT BE OBTAINED BY THE CONTRACTOR.
6. SUBMIT A COPY OF THE CONTRACT DOCUMENTS ISSUED FOR PERMIT BY THE BUILDING DEPARTMENT, TO THE ENGINEER/ARCHITECT TO ALLOW HIM/HER TO INCORPORATE ANY BUILDING DEPARTMENT MODIFICATIONS INTO THE PLANS PRIOR TO THE START OF CONSTRUCTION.
7. CONTRACTOR MUST NOTIFY ENGINEER/ARCHITECT IMMEDIATELY OF ANY UNEXPECTED OR UNKNOWN CONDITIONS, DISCREPANCIES IN THE DRAWINGS AND CONTRACT DOCUMENTS, AND ERRORS OR OMISSIONS ON THE DRAWINGS IN THE FIELD PRIOR TO PROCEEDING WITH WORK OR SHOP FABRICATION.
8. OMISSIONS. IN THE EVENT THAT CERTAIN FEATURES OF THE CONSTRUCTION ARE NOT FULLY SHOWN ON THE DRAWINGS, THEN THEIR CONSTRUCTION SHALL BE OF THE SAME CHARACTER AS FOR SIMILAR CONDITIONS THAT ARE SHOWN OR NOTED.
9. CONTRACTOR SHALL PREPARE AND MAINTAIN ALL CONSTRUCTION AREAS, AS WELL AS SURROUNDING AREAS FREE OF DEBRIS OR HAZARDOUS EQUIPMENT.
10. CONTRACTOR SHALL VERIFY THAT ALL INTERIOR FINISHES COMPLY W/ IBC 803.9 FLAME SPREAD INDEX AND SMOKE-DEVELOPED INDEX FOR WALL CEILING FINISHES. WALL AND CEILING FINISHES SHALL HAVE A FLAME SPREAD INDEX OF NOT GREATER THAN 200. WALL AND CEILING FINISHES SHALL HAVE A SMOKE-DEVELOPMENT INDEX OF NOT GREATER THAN 450. TESTING SHALL BE DONE IN ACCORDANCE WITH ASTM E84, OR UL 723.
11. CONTRACTOR SHALL VERIFY THAT ALL INSULATION COMPLIES W/ IBC 803.1.10. FLAME SPREAD INDEX AND SMOKE INDEX FOR INSULATION. INSULATION MATERIALS SHALL HAVE A FLAME SPREAD INDEX NOT TO EXCEED 25 WITH AN ACCOMPANYING SMOKE-DEVELOPED INDEX NOT TO EXCEED 450.
12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND THE COST OF ALL THE REQUIRED BUILDING AND TRADE PERMITS.
13. ALL CONTRACTORS WORK SHALL BE PERFORMED IN A FIRST CLASS WORKMAN-LIKE MANNER MATCHING AND ALIGNING ALL SURFACES WHERE APPLICABLE TO AFFORD A FINISHED, NEAT APPEARANCE. CONTRACTOR SHALL BE CLEAN ALL SURFACES FREE OF ALL DIRT AND REFUSE CAUSED BY DEBRIS FROM ALL INSTALLATION TECHNIQUES OF TRADE. ALL ADJACENT SURFACES TO THEIR WORK SHALL BE LEFT AS THEY APPEAR PRIOR TO THE COMMENCEMENT OF THE CONTRACTOR'S WORK TO BE DONE. CONTRACTOR SHALL PROPERLY PROTECT ALL ADJACENT SURFACES DURING THE COURSE OF HIS INSTALLATIONS. ALL GLASS AND HARDWARE SHALL BE THOROUGHLY CLEANED IN A MANNER ACCEPTABLE TO THE OWNER.
14. WHERE CMU IS INDICATED TO HAVE A SPECIFIC HOURLY FIRE RATING, THIS SHALL BE TAKEN AS THE MINIMUM ALLOWED.
15. ALL WOOD FRAMING, INCLUDING PLYWOOD, WHICH IS CONCEALED WITHIN WALLS OR CEILINGS OR USED FOR SUPPORT OF WALLS OR CEILINGS MUST BE FIRE RETARDANT AND, PRESSURE TREATED WOOD MUST BE USED WHERE IN CONTACT WITH CONCRETE OR MASONRY.
16. ALL PIPING SLEEVED THROUGH SLAB, CONTRACTOR TO FULLY SEAL SPACE AROUND PIPES WITH A 2-HOUR U.L. APPROVED FIRE RESISTIVE "THERMAFIBER" GLASS FIBER SAFING INSULATION AS MANUFACTURED BY U.S. GYPSUM CO. COMPLYING WITH ASTM E-119 OR APPROVED SIMILAR. PENETRATIONS THROUGH FIRE RATED WALLS SHALL BE PROTECTED AS TO MAINTAIN THE FIRE RATING OF SAID WALL.
17. ALL SHAFTS WHERE APPLICABLE TO BE 2-HOUR RATED WITHOUT EXCEPTION, U.L. DESIGN NO. U-505 OR APPROVED SIMILAR AND SHALL CONTINUE AS SUCH TO UNDERSIDE OF ROOF OR FLOOR STRUCTURAL DECKING. SEE WALL TYPE DETAILS FOR WALL DESIGN.
18. CHAPTER 23 & SEE FIRE PROTECTION, MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS.
19. THE UNDERSIDE OF ALL EXTERIOR SOFFITS AND SLABS EXPOSED TO WEATHER SHALL RECEIVE A CONTINUOUS DRIP STRIP WITHOUT EXCEPTION.
20. ALL METAL FLASHING, SCUPPERS, ETC. TO RECEIVE PAINT AS RECOMMENDED BY MANUFACTURER UNLESS OTHERWISE NOTED ON THE DRAWINGS OR PROJECT MANUAL.
21. BLOCKING AND / OR VERTICAL OR HORIZONTAL FRAMING REQUIRED FOR WALL MOUNTED OR BRACED FIXTURES, MILLWORK, SHELVES, BATHROOM FIXTURES, ACCESSORIES THE AND STONE WORK OR BY OTHER ITEMS DESCRIBED IN INTERIOR DESIGN AND ARCHITECTURAL DRAWINGS.
22. IN ADDITION TO WALL TYPES SHOWN ON PLANS THE CONTRACTOR SHALL REFER TO THE ROOM FINISH SCHEDULE, INTERIOR ELEVATIONS AND DETAILS FOR ADDITIONAL INFORMATION REGARDING FINISHES, INCLUDING INTERIOR DESIGN DRAWINGS.
23. CONTRACTOR TO PROVIDE ACCESS PANELS FOR ALL A/C FIRED AMPERS.
24. CONTRACTOR SHALL PAINT ALL VISIBLE SURFACES OF FACTORY PRIMED OR FACTORY PAINT FINISHED EQUIPMENT, A/C GRILLS OR REGISTERS, COVERS, ETC. UNLESS SPECIFICALLY NOTED. OTHERWISE VERIFY AND COORDINATE COLOR WITH INTERIOR DESIGNER AND ENGINEER/ARCHITECT.
25. BEFORE INSTALLATION, THE CONTRACTOR SHALL COORDINATE WITH THE ENGINEER/ARCHITECT AND INTERIOR DESIGNER THE EXACT MOUNTING LOCATION OF ALL SWITCHES, WALL RECEPTACLES, PLUGS, THERMOSTATS AND OTHER WALL MOUNTED FIXTURES UNLESS NOTED ON PLANS.
26. ALL INTERIOR AND EXTERIOR JOINTS BETWEEN DISSIMILAR MATERIALS OR FINISHES SHALL RECEIVE A BEAD OF CAULKING TO MATCH COLOR OF ADJACENT SURFACE. COORDINATE COLORS WITH ARCHITECT/OWNER.
27. CIVIL ENGINEERING, INTERIOR DESIGN AND LANDSCAPE/IRRIGATION DRAWINGS ARE PART OF THIS PROJECT AND SHALL BE USED BY THE CONTRACTOR IN FULL COORDINATION W/ ALL THE DWGS. ISSUED BY GDC ARCHITECTS AND ENGINEERS.
28. CONTRACTOR IS RESPONSIBLE FOR INCLUDING IN HIS BID, LABOR AND MATERIAL COSTS FOR ANY CHANGE OR ALTERATION OF ADJACENT AREAS TO BE DISTURBED DURING CONSTRUCTION SUCH AS, BUT NOT LIMITED TO, PAVING SIDEWALKS, STREETS, EXISTING TREES AND LANDSCAPE TO INSURE THEIR PROPER DRAINAGE AND RETURN THEM TO THEIR ORIGINAL FINISHED CONDITION.
29. ALL REQUIRED TESTS SHALL BE PERFORMED AT THE EXPENSE OF THE CONTRACTOR AND BY AN APPROVED TESTING LABORATORY. TESTS RESULTS SHALL BE SUBMITTED TO THE ENGINEER/ARCHITECT.
30. ALL SLABS ON GRADE, INTERIOR AND EXTERIOR, TO BEGIN 6 MILL POLYETHYLENE VAPOR BARRIER WITHOUT EXCEPTION, UNLESS OTHERWISE NOTED.
31. THE CONTRACTOR, AND ALL SUBCONTRACTORS AND SUPPLIERS, SHALL GRANT TO THE OWNER/DEVELOPER, INSTITUTIONAL MORTGAGEE AND TO THE PURCHASER OF EACH UNIT, IMPLIED WARRANTIES OF FITNESS AS TO THE WORK PERFORMED OR MATERIALS SUPPLIED BY THEM AS FOLLOWS: (AS REQUIRED BY VIRGINIA STATUTE

"COMPLETION OF A BUILDING OR IMPROVEMENT" MEANS FINAL COMPLETION OF CONSTRUCTION, FINISHING, AND EQUIPPING OF THE BUILDING OR IMPROVEMENT ACCORDING TO THE PLANS AND SPECIFICATIONS AND THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY FOR THE ENTIRE BUILDING OR IMPROVEMENT, OR THE EQUIVALENT AUTHORIZATION BY THE GOVERNMENTAL BODY HAVING JURISDICTION. THE WARRANTIES PROVIDED HEREIN SHALL INSURE TO THE BENEFIT OF EACH OWNER AND ITS SUCCESSOR TO THE BENEFIT OF THE OWNER/DEVELOPER, AND TO THE BENEFIT OF THE INSTITUTIONAL MORTGAGEE.

32. A SEPARATE PERMIT AND PRODUCT CONTROL APPROVAL, WHEN APPLICABLE, IS REQUIRED FOR THE FOLLOWING:

RIDGE VENTILATION, AWNINGS, DEMOLITION, STEEL JOISTS, GLASS BLOCK, ALUMINUM TRELLIS & GRID PANELS & LOUVERS, CANOPIES & RAIL, STAIR RAIL & BALCONY GUARDRAIL, STEEL FRAMES & METAL DECKS, STRUCTURAL GLAZING, CURTAIN WALLS, SIGNS, FENCES, WINDOWS, DOORS, STOREFRONTS, PRECAST SYSTEMS, ROOFING, BUILINGS, MULLIONS, HANDRAIL, METAL STRUCTURAL COLUMN, METAL ROOF FEATURE, ELEVATORS, GLASS & TRANSLUCENT MATERIAL "KALWALL".

33. ALL DOORS SWINGING INTO SERVICE CORRIDOR MUST HAVE 180 DEGREE HINGE.
34. INTERIOR WALL AND PARTITIONS. INTERIOR WALLS AND PARTITIONS THAT EXCEED 6 FEET IN HEIGHT, INCLUDING THEIR FINISH MATERIALS, SHALL HAVE ADEQUATE STRENGTH TO RESIST THE LOADS TO WHICH THEY ARE SUBJECTED BUT NOT LESS THAN A HORIZONTAL LOAD OF 5 PSF.
35. CERTIFICATE OF PROTECTIVE TREATMENT FOR PREVENTION OF TERMITES. A WEATHER RESISTANT JOB SITE POSTING BOARD SHALL BE PROVIDED TO RECEIVE TURICATE TREATMENT CERTIFICATES AS EACH REQUIRED PROTECTIVE TREATMENT IS COMPLETED, PROVIDING A COPY FOR THE PERSON THE PERMIT IS ISSUED TO AND ANOTHER COPY FOR THE BUILDING PERMIT FILES. THE TREATMENT CERTIFICATE SHALL PROVIDE THE PRODUCT USED, IDENTITY OF THE APPLICATOR, TIME AND DATE OF THE TREATMENT, SITE LOCATION, AREA TREATED, CHEMICAL USED, PERCENT CONCENTRATION, AND NUMBER OF GALLONS USED, TO ESTABLISH A VERIFIABLE RECORD OF PROTECTIVE TREATMENT. IF THE SOIL CHEMICAL BARRIER METHOD FOR TERMITE PREVENTION HAS USED, FINAL EXTERIOR TREATMENT SHALL BE COMPLETED PRIOR TO FINAL BUILDING APPROVAL.
36. NOTICE OF TERMITE PROTECTION. A PERMANENT SIGN WHICH IDENTIFIES THE TERMITE TREATMENT PROVIDER AND NEED FOR RE-INSPECTION AND TREATMENT CONTRACT RENEWAL SHALL BE PROVIDED. THE SIGN SHALL BE POSTED NEAR THE WATER HEATER OR ELECTRIC PANEL.
37. ALL STEEL LINK BEAMS WITH PENETRATIONS TO HAVE A 2 HR RATED COVERAGE AS SHOWN ON THIS DRAWINGS OR REFER TO SPECS.
38. FINISH FLOOR TO BE SLIP RESISTANT IBC 1114.5
39. ALL OPENINGS WILL BE PROTECTED BY FLOOD BARRIERS & ALL FINISH CONSTRUCTION MATERIALS BELOW THE BASE FLOOD ELEVATION WILL BE FLOOD RESISTANCE MATERIAL BY MASTER PERMIT DOCUMENTS.

SYMBOL LEGEND

BUILDING SECTION DRG NO./SHT NO.

PLAN DETAIL CALL OUT DETAIL NO./SHT NO.

BUILDING EXTERIOR ELEVATION DRG NO./SHT NO.

WALL SECTION SECTION NO./SHT NO.

NORTH ARROW

SECTION TITLE DRG NO./SHT NO.

COLUMN GRID

DETAIL TITLE DETAIL NO./SHT NO.

DOOR REFERENCE

ELEVATION CHANGE

WINDOW REFERENCE

CENTERLINE

INTERIOR ELEVATION DRG NO./SHT NO.

MATCH LINE

REVISION CLOUD

ELEVATION

ROOM, SPACE (SEE FINISH SCHEDULE)

ELEVATION OF FLOOR

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ESS #7515-TENANT IMPROVEMENT

EXTRA SPACE STORAGE

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PROJECT CITY: FREDERICKSBURG
PROJECT STATE: VA
PROJECT ZIP CODE: 22405
PARCEL ID: 64 126E

ISSUED FOR PERMIT

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COMMONWEALTH OF VIRGINIA
JOHN H. CRESWELL
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05/23/2021
PROFESSIONAL ENGINEER

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REVISION

WRITTEN DIMENSIONS ON THESE DOCUMENTS SHALL TAKE PRECEDENCE OVER ALL SCALED DIMENSIONS.

DRAWN BY J.E.T.

CHECKED BY J.H.C.

DATE 5/21/2021

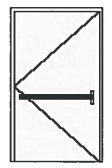
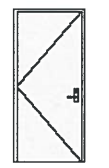
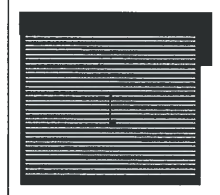
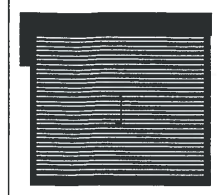
SHEET A-001

NOTES, SYMBOLS

DOOR SCHEDULE

ID	MANUFACTURER SIZE	TYPE	DOOR TYPE	HARDWARE	NOMINAL SIZE		FIRE RATING	REMARKS
					WIDTH	HEIGHT		
AA	3'-0" X 7'-0"	EXT. HOLLOW CORE METAL DOOR	T2	H5	3'-0"	7'-0"	Non-Rated	1, 5
BB	4'-0" X 7'-0"	EXT. HOLLOW CORE METAL DOOR	T2, T5	H1, H8, H2	4'-0"	7'-0"	Non-Rated	1, 5, 4, 5, 12
A	4'-0" X 7'-0"	INT. HOLLOW CORE METAL DOOR	T2	H1	4'-0"	7'-0"	3 hours	1, 4
B	4'-0" X 7'-0"	JANUS 28 OA, 650 MINI ROLL UP	T6	H10	4'-0"	7'-0"	Non-Rated	1
CC	8'-0" x 7'-0"	EXT. JANUS 28 OA, 650 MINI ROLL UP	T6	H10	8'-0"	7'-0"	Non-Rated	1
C	8'-0" X 7'-0"	JANUS 28 OA, 650 MINI ROLL UP	T6	H10	8'-0"	7'-0"	Non-Rated	1

DOOR LEGEND

ID	A	AA	B	BB	C	CC
VIEW						
TYPE	INT. HOLLOW CORE METAL D...	EXT. HOLLOW CORE METAL DOOR	JANUS 28 OA, 650 MINI ROLL UP	EXT. HOLLOW CORE METAL DOOR	JANUS 28 OA, 650 MINI ROLL UP	EXT. JANUS 28 OA, 650 MINI ROLL UP
MANUFACTURER SIZE	4'-0" X 7'-0"	3'-0" X 7'-0"	4'-0" X 7'-0"	4'-0" X 7'-0"	8'-0" X 7'-0"	8'-0" x 7'-0"

FINISH SCHEDULE

	ROOM NAME	FLOOR: CONC NO FINISH	FLOOR: CONC CURED NO SEAL	FLOOR: EXISTING TO REMAIN	BASE: 4" TPR WALL BASE (RUBBER) STEEL WOOD BY PATCRAFT	BASE: EXISTING WALL BASE	BASE: NONE	WALLS: 1/2" GYPSUM BOARD SW 7046 HUMMINGBIRD SHELL	WALLS: 1/2" GYPSUM BOARD SW 7046 SIMPLY GLOSS	WALLS: MARLITE FRP PANEL PEWTER MESH TO 48" A.F.F.	WALLS: UNFINISHED DRYWALL	WALLS: JANUS 20 GA. CORRUGATED METAL HALLWAY SYSTEM	WALLS: EXISTING TO REMAIN	CEILING: 2 X 2 ACOUSTIC CEILING BY ARMSTRONG (MOLD RESISTANT)	CEILING: JANUS SOFFIT SYSTEM	CEILING: 2" X 2" GALV. SECURITY MESH	CEILING: EXISTING ACOUSTIC CEILING TO REMAIN	CEILING HEIGHT A.F.F.	REMARKS
101	CORRIDOR		●				●		●								●	VARIES	SEE ELEVATIONS FOR PAINT LOCATIONS
102	PUBLIC RESTROOM		●			●				●	●			●				8'-0"	SEE ELEVATIONS FOR FRP AND CHAIR RAIL LOCATIONS
103	ELECTRICAL ROOM		●				●		●								●	VARIES	
104	CART STORAGE		●				●		●			●					●	VARIES	
	BUILDING "B"																		
101	CORRIDOR		●				●		●			●			●			8'-0"	
102	ELECTRICAL ROOM		●				●		●			●				●		8'-8"	
103	CART STORAGE		●				●		●			●			●			8'-0"	

NOTES:

1. IN ALL CASES WHERE PAINTED OVER IS NOTED, THE WALL AND/OR CEILING SHALL HAVE SMOOTH TEXTURE.
2. ALL WALLS SHALL BE PRIMED PRIOR TO RECEIVING FINISH PAINT.
3. ALL INTERIOR PAINT SHALL BE SHERWIN WILLIAMS PROMAR 200 INTERIOR LATEX ENAMEL OR EQUAL (2) COATS
4. INTERIOR PAINT AT RESTROOM AREAS SHALL BE SEMI-GLOSS
5. TILE GROUT SHALL BE STAR QUARTZ #30 UNLESS OTHERWISE SPECIFIED
6. IN ALL CASES WHERE TILE IS NOTED AS WALL FINISH, USE 2" BULLNOSE SAME PRODUCT LINE
7. IN ALL CASES WHERE TILE BASE IS NOTED, INSTALL 4" TILE BASE USING METAL TERMINATION CAP

DOOR TYPES:

T1 : COMMERCIAL STOREFRONT - ALUMINUM/GLASS (ALUMINUM FINISH TYP. U.N.O)
T2 : COMMERCIAL HOLLOW CORE METAL DOOR - 18 GA, A40 GALVANEAL, HONEYCOMB CORE, KD JAMB (TYP. U.N.O)
T3 : COMMERCIAL SOLID CORE WOOD DOOR , MDF CORE, CLEAR HARDWOOD LAMINATED FACE, KD JAMB
T4 : FAUX DOOR
T5 : BI-PARTING/SINGLE SLIDE WITH ACCESS CONTROL, ELECTRICONIC KEYPAD
T6 : STORAGE UNIT - METAL, ROLL-UP DOOR
T7 : STORAGE UNIT - METAL, SWINGING DOOR

HARDWARE:

H1 : FIRE EXIT DEVICE W/ LEVER, DOOR CLOSER, KICK PLATE, SEE 1 HINGES
H2 : MORTISE CYLINDER, DEADBOLT, INDICATOR, DEADBOLT LEVER, PUSH/PULL BAR, DOOR CLOSER, CONTINUOUS HINGE
H3 : LEVER LOCK, DEADBOLT, DOOR CLOSER, THRESHOLD
H4 : STORE ROOM LOCK, SURFACE CLOSER, SILENCER, SEE 1 HINGES
H5 : PRIVACY LOCK SET, DOOR STOP, KICK PLATE, DOOR CLOSER, SILENCERS, SEE 1 HINGES
H6 : ENTRY LOCK SET, DOOR STOP, SILENCERS, SEE 1 HINGES
H7 : PASSAGE LOCK SET, KICK PLATE, DOOR STOP, SILENCERS, SEE 1 HINGES
H8 : ELECTRONIC KEYPAD, REMAINING HARDWARE (BY DOOR MFD)
H9 : CYLINDER, REMAINING HARDWARE (AS REQ'D BY DOOR MFD)
H10 : MANUFACTURER PACKAGE---MFR. PROVIDED HARDWARE

GENERAL NOTES:

1. INTERIOR HOLLOW METAL DOOR FRAMES SHALL BE 18 GA COLD ROLLED STEEL, KNOCK DOWN TYPE WITH SLIP RESILIENT BUMPERS. FRAME SHALL BE FACTORY PRIMED THEN PAINTED WITH SHERWIN WILLIAMS INTERIOR SUPER PAINT (SEMI-GLOSS) MIN 2 COATS. PROVIDE MIN (3) 18 GA ANCHORS PER JAMB. DOOR TO BE FACTORY APPLIED GRADE "A" PRE-FINISHED VENEER.

2. EXTERIOR HOLLOW METAL DOOR FRAMES SHALL BE 18 GA HOT DIPPED GALV. STEEL, FULLY WELDED WITH MIN (3) GALV RED HEAD TYPE CONCRETE ANCHORS PER EACH JAMB SIDE. FRAME SHALL BE FACTORY PRIMED, THEN PAINTED WITH MIN (2) COATS SHERWIN WILLIAMS A-100 EXTERIOR GRADE PAINT (SEMI-GLOSS).

3. WHERE NEW STOREFRONT DOORS ARE INSTALLED, G.C. TO INSTALL CODE REQUIRED TEMPERED SIDE LITE OR TEMPERED KICK PANEL AS MATCHES APPLICABLE BUILDING CODES. AS PROJECT IS IN WINDBORNE DEBRIS REGION, ALL EXTERIOR DOORS SHALL BE IMPACT RATED AND DESIGN PRESSURES SHALL BE CALCULATED USING "C" EXPOSURE.

4. DOOR AND HARDWARE SOURCES:

EXTERIOR DOORS:	INTERIOR DOORS:	HARDWARE	STEEL DOORS:	FLUSH WOOD DOORS:
1. JELD-WEN INC.	1. JELD-WEN INC.	1. SCHLAGE	1. AMWELD BUILDING PRODUCTS, LLC	A. ALGOM A HARDWOODS
2. INGERSOLL RAND	2. MASONITE	2. IDEAL SECURITY INC.	2. BENCHMARK DOORS	B. LYNDEN DOOR COMPANY
3. WAYNE DALTON	3. PINECROFT	3. AMEROCK	3. CECO DOOR PRODUCTS	C. AMPCO PRODUCTS INC
4. MAJESTIC ENTRIES INC.	4. BUILDER CHOICE	4. WEISER	4. CURRIES COMPANY	D. BUELL DOOR COMPANY
5. ADVANCED GARAGE DOOR CORP.	5. BUILDER FIRST SOURCE	5. KWIKSET	5. DEANSTEEL MANUFACTURING, INC	E. CHAPPELL DOOR COMPANY
6. CANTERA DOORS INC.	6. REBUILT	6. OATEY HOUSE	6. FLEMING DOOR PRODUCTS, LTD	F. EAGLE PLYWOOD AND DOOR MANUFACTURING, INC
7. CURRIES DIVISION OF AADS, INC.	7. ANDERSON	7. HAGER	7. KEWANEE CORPORATION	G. GRAHAM MANUFACTURING CORP.
8. P.O.T. INDUSTRIES	8. P.O.T. INDUSTRIES	8. STANLEY	8. MESKER DOOR, INC	H. HALEY BROTHERS, INC.
9. INNOVATIVE METAL SOLUTIONS	9. INNOVATIVE METAL SOLUTIONS		9. PIONEER INDUSTRIES, INC	I. IDEAL WOOD PRODUCTS
10. ANDERSON	10. ANDERSON		10. REPUBLIC BUILDERS PRODUCTS	J. IPIK DOOR COMPANY
11. THERMA-TRU	11. PELLA CORP.		11. STEELCRAFT	K. LAMITON DOORS
12. PELLA CORP.				
13. BUILDERS FIRST SOURCE				
14. ATRIUM WINDOWS & DOORS				

5. ANY DEVIATION FROM THE APPROVED DOOR AND HARDWARE SOURCES SHALL BE FORMALLY REQUESTED IN THE FORM OF AN R.F.I. TO GREEN DESIGN. SUBMITTAL SHALL INCLUDE COVER PAGE AND ANY ALL OF PRODUCT APPROVAL/SPECIFICATION INFORMATION. SUBMITTAL OF R.F.I. DOES NOT GUARANTEE ACCEPTANCE OF ALTERNATE. GREEN DESIGN WILL RESPOND TO REQUEST WITHIN 7 BUSINESS DAYS FROM DATE NO ALTERNATES SHALL BE INSTALLED PRIOR TO APPROVAL FROM GREEN DESIGN.

6. ALL DOORS SHALL BE ENERGY STAR RATED, AND SHALL HAVE ARTICLE OF ACCEPTANCE BADGE CLEARLY VISIBLE PRIOR TO FINAL INSPECTION. ANY GLASS IN DOOR SHALL HAVE SHGC <0.25.

7. ALL LOCKSETS AND LATCH SET SHALL BE LEVER TYPE, ADA APPROVED.

8. WHERE NEW STOREFRONT DOORS ARE INSTALLED, G.C. TO INSTALL CODE REQUIRED TEMPERED SIDE-LITE OR TEMPERED KICK PANEL AS MATCHES APPLICABLE.

9. ALL INTERIOR HARDWARE SHALL BE EITHER BRUSHED ALUMINUM OR ANTIQUE BRONZE. G.C. TO VERIFY SELECTIONS WITH OWNER PRIOR TO ORDERING AND INSTALLING DOORS.

10. CONTRACTOR TO PROVIDE THE FOLLOWING :
    1. (1) GRAND MASTER KEY TO OPEN ALL DOORS ON SITE
    2. (1) MASTER KEY FOR THE OFFICE
    3. (1) KEY TO THE UTILITY DOOR AND REMAINDER OF SITE DOOR, TUMBLER TYPE HARDWARE OR EQUAL

11. EXIT ALARMS TO BE SURFACE MOUNTED WITH BATTERY-POWERED ALARM THAT SOUNDS WHEN UNAUTHORIZED USE OF DOOR OCCURS.

12. ALL CUSTOMER SWING DOORS SHALL HAVE DIAMOND ALUMINUM OR BRUSHED STAINLESS STEEL KICK PLATES ON "PUSH" SIDE. SWING DOORS SHALL BE EQUIPPED WITH HURRICAN EC HINGS AND TO BE ON PNEUMATIC DOOR CLOSURE. EXTERIOR/INTERIOR DOOR CODE TO BE EXERWASBI. DOORS TO INCLUDE A 10"X10" VISION PANEL (OPTIONAL)

13. ALL EXTERIOR DOORS THAT LEAD TO CLIMATE-CONTROLLED AREAS ARE TO BE EQUIPPED WITH A MAGNETIC HOLD-OPEN FEATURE WITH OCCUPANCY SENSOR AND A TEN-MINUTE TIMER, SET TIMER TO 5 MINUTES. PROVIDE VINYL OR NEOPRENE WEATHERSTRIPPING FOR ALL EXTERIOR EXPOSED HOLLOW METAL DOORS WITH FIDOR SWEEP. DOUBLE EXIT DOORS SHALL HAVE TAST PASSAGLAND FIDOR SWEEPS.

14. ALL UTILITY ROOM DOORS SHALL HAVE FIXED LATCH LEVER HARDWARE.

15. SITES WITH EXTERIOR RESTROOMS NOT CONNECTED TO THE OFFICES SHOULD HAVE SIMPLEX MECHANICAL PUSH BUTTON LOCK (L1000) INSTALLED ON THE DOOR FOR SECURITY PURPOSES.

16. LOADING/UNLOADING DOORS WITHIN PERIMETER SECURITY FENCING SHALL NOT HAVE KEYSTROKE HAVE KEYPAD ACCESS. DOORS TO REMAIN UNLOCKED UNLESS NOTED OTHERWISE.

EMERGENCY EGRESS DOORS:
1. (I.E. STAIRWAY EXIT) TO BE EXIT ONLY. USE 3'-0" HOLLOW METAL DOORS WITH EXIT PANIC HARDWARE PAINT EXTERIOR SIDE TO MATCH CODER OF THE EXTERIOR BUILDING. PAINT INTERIOR SIDE WHITE.

17. ALL LOADING SWING DOORS SHOULD BE 4'2". USE A FULL SURFACE REINFORCING PIVOT HINGE OR CONTINUOUS HINGES.

18. WHERE FIRE WALLS OCCUR, SHALL BE ON A SMOKE ACTIVATED MAGNETIC HOLD-OPEN DEVICE. (USE ONLY IF REQUIRED BY CODES) SEE HARDWARE SCHEDULE. 42" MINIMUM SWING DOOR.

19. (NON-FIRE RATED) TO HAVE MAGNETIC HOLD-OPENS WITH 2-MINUTE OCCUPANCY SENSOR TIMERS. 4'2" MINIMUM SWING DOOR.

20. LATCH, MINI LIBITS, WITHOUT PADLOCK SLOTS. SS (LIBI-CTS-N HSS) (SUITABLE DOOR PROFILES: JANUS, US DOOR, DECI) SEE CUTSHEET IN MANUEL C4A C-4ES-8, STEEL, TWO BOLT (SUITABLE DOOR PROFILES: WAYNE-DALTON, TRAC RITE, ROLL RITE)

REMARKS:

1 : PAINT DOOR AND FRAME
2 : INSTALL THRESHOLD, WEATHER STRIPPING, AND DOOR SWEEP
3 : TENANT TO SUPPLY AND INSTALL CODE APPROVED ADA SIGNAGE
4 : G.C. TO PROVIDE FIRE/PANIC DEVICE AND HARDWARE
5 : FIR EE PANIC EXIT DEVICE TO HAVE AUDIBLE ALARM
6 : 90 MINUTE FIRE-RATED
7 : 1" INSULATED GLASS OPTION
8 : SLIDE LEFT HAND OPTION
9 : FIR E-RATED INSULATED GLASS OPTION
10 : 4" JAMB, DUAL INSULATED LOW-E GLASS, NON-TINTED
11 : LOUVERED VENT OPTION
12 : PIN KEY PAD OPTION
13 : IRON ORE FINISH OPTION

NOTES:

FIELD VERIFY ALL ROUGH OPENINGS!

ALL DOORS AND WINDOWS SHGC AND U-VALUE TO BE LESS THAN OR EQUAL TO VALUE STATED IN ER REPORT.

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F. (772) 87 58 121
WWW.GDCFLORIDA.COM

ESS #7515-TENANT IMPROVEMENT

EXTRA SPACE STORAGE

PROJECT ADDRESS: 10 LEELAND ROAD
PROJECT CITY: FREDERICKSBURG
PROJECT STATE: VA
PROJECT ZIP CODE: 22405
PARCEL ID: 64 126E

ISSUED FOR PERMIT

LIABILITY NOTE

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COMMONWEALTH OF VIRGINIA
JOHN H. CRESWELL
Lic. No. 0402057681
05/23/2021
PROFESSIONAL ENGINEER

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REVISION

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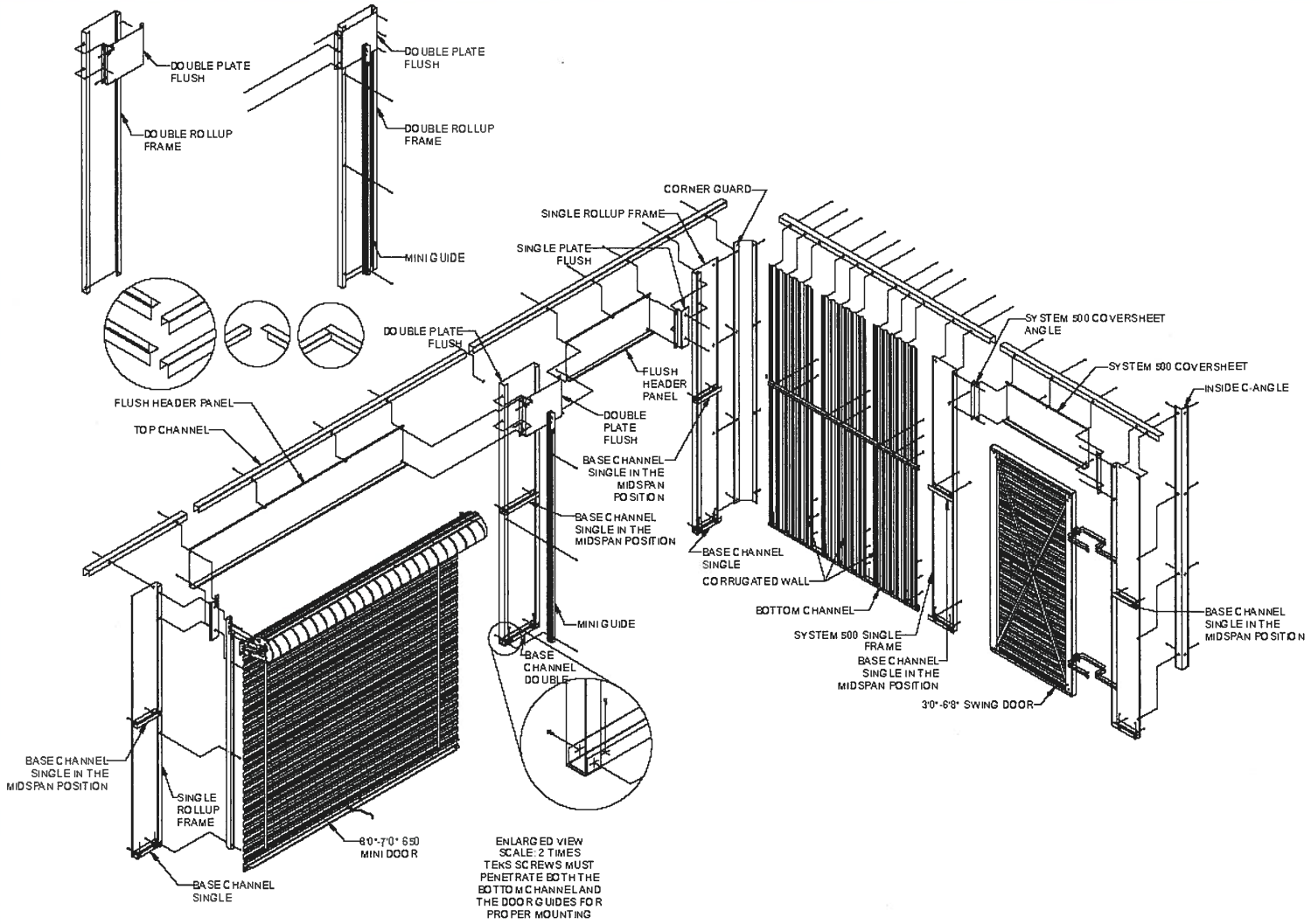
CHECKED BY J.H.C.

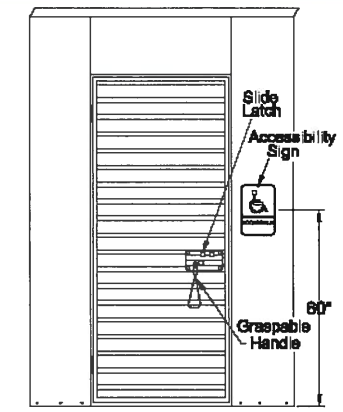
DATE 5/21/2021

SHEET A-002

DOOR SCHEDULES, ELEVATIONS, AND DETAILS

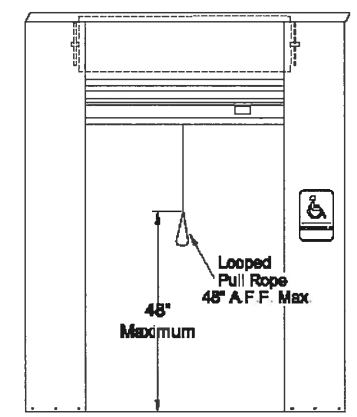


01 STORAGE PARTITION/ DOOR SHOP DRAWINGS
SCALE: 3/4" = 1'-0"

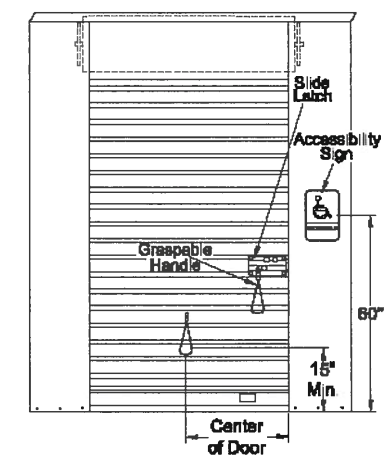


SWING DOOR
Front Elevation

Typical items required for Swing Door unit
- 12" Nylon Strap with 'S' Hook for Latch Slide.
- Accessibility Sign.



OPEN ROLL-UP DOOR
Front Elevation



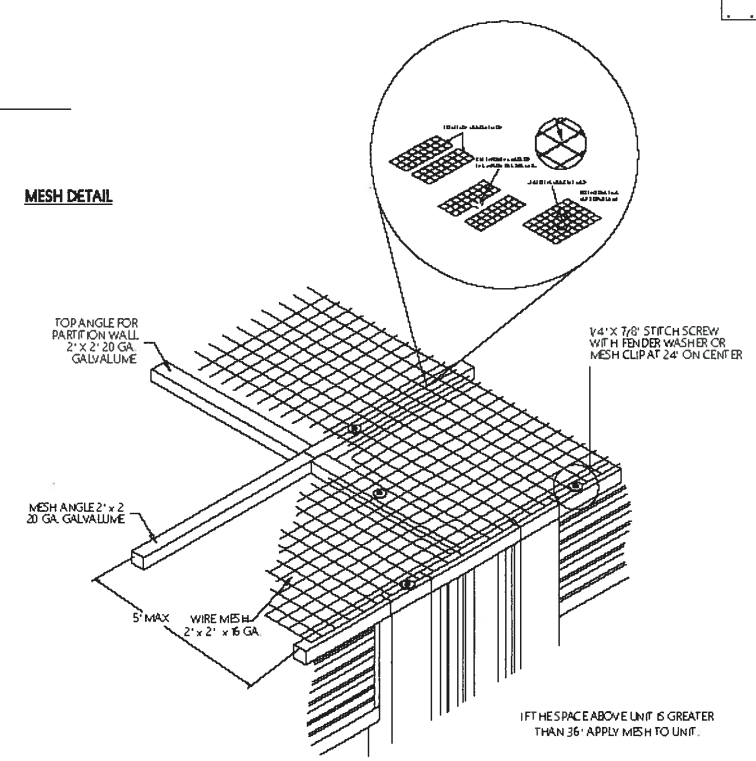
CLOSED ROLL-UP DOOR
Front Elevation

Typical items required for Roll-up unit
- 12" Nylon Strap with 'S' Hook for Latch Slide
- 12" Nylon Strap for graspable handle on front of door.
- 48" Hanging Strap for graspable pull rope.
- Attachment Hardware.
- Accessibility Sign.

ALL ACCESSIBLE DOORS SHALL REQUIRE A MAXIMUM OF 5 LBS OF FORCE TO OPEN AND CLOSE
HOPE A DESIGNED SURFACE WILL BRAKE TO BE NO MORE THAN 1 42" max. TO 30" min. TO CENTER OF DOOR

02 ADA STORAGE DOOR DETAIL
SCALE: 3/8" = 1'-0"

MESH DETAIL



03 SECURITY MESH DETAIL
SCALE: 1/2" = 1'-0"

ROLL-UP STORAGE DOOR DETAILS

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ESS #7515-TENANT IMPROVEMENT
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COMMONWEALTH OF VIRGINIA
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05/23/2021
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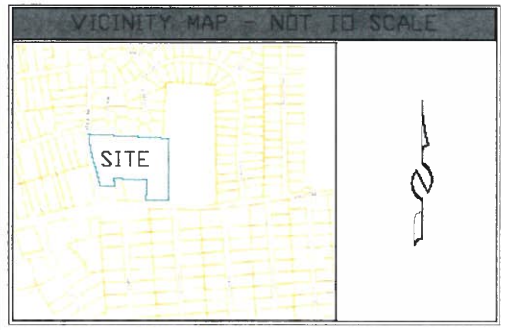
J.E.T.

CHECKED BY
J.H.C.

DATE
5/21/2021

SHEET
A-003

VICINITY MAP - NOT TO SCALE



ITEMS CORRESPONDING TO SCHEDULE B-II

5. Easements granted to Virginia Electric and Power Company recorded in Deed Book 96, page 383 (DOES NOT AFFECT THE SUBJECT PROPERTY), Deed Book 173, page 593 (AS SHOWN), Deed Book 178, page 326 (DOES NOT AFFECT THE SUBJECT PROPERTY), Deed Book 604, page 669 (AS SHOWN), and Deed Book 604, page 663. (AS SHOWN)

6. Terms and conditions of Certificates of Take recorded in Deed Book 172, page 471 in Deed Book 172, page 476 (AS SHOWN), with Orders recorded in Deed Book 192, page 486 and Deed Book 183, page 467, respectively. (AS SHOWN)

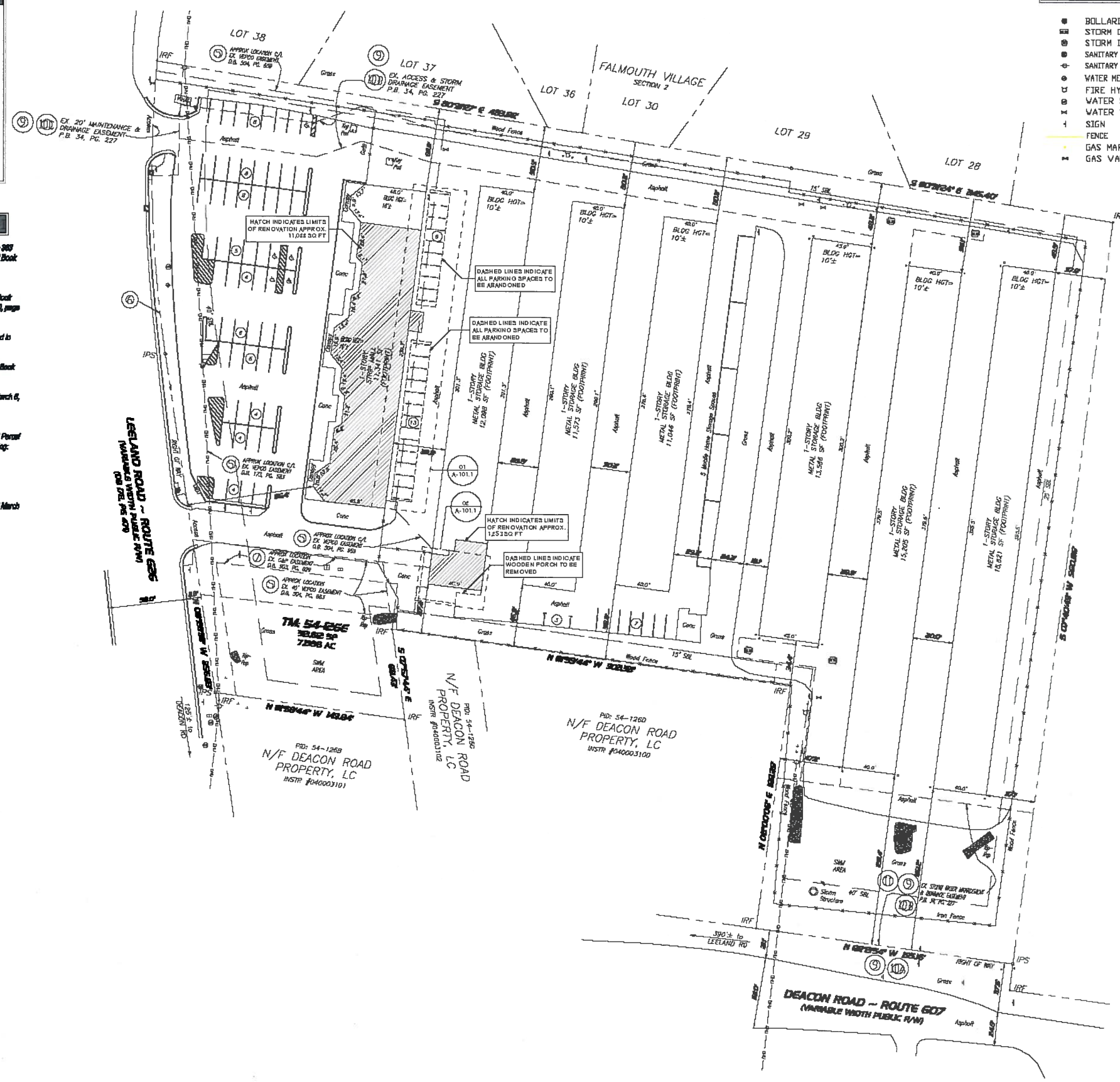
7. Easement granted to The Chesapeake and Potomac Telephone Company of Virginia recorded in Deed Book 503, page 629. (AS SHOWN)

8. Terms and conditions of the Deed of Easement dated November 18, 1997, recorded in Deed Book 588, page 549. (LIES WITHIN RIGHT OF WAY DEDICATION REFERENCED IN ITEM 10)

9. Terms and conditions of Deed of Dedication, Easement and Boundary Line Vacation dated March 6, 2000, recorded as Instrument No. 000003467. (AS SHOWN)

10. Matters disclosed by the Plat of Consolidation and Dedication of Right of Way and Various Easements on the Land of 900 Leeland Road Corporation, Tax Map 54 Parcel 126, Parcel 126A and Parcel 126E, Leeland Magisterial District, Stafford Co., Virginia, recorded in Plat Book 34, page 227, including:
a. right-of-way dedication (AS SHOWN)
b. stormwater management drainage easement (AS SHOWN)
c. 20' wide maintenance and drainage easement (AS SHOWN)
d. 25' and 30' access and storm drainage easement (AS SHOWN)

11. Terms and conditions of Maintenance Agreement for Stormwater Management System dated March 6, 2000, recorded as Instrument No. 000004149. (AS SHOWN)



01 LOCATION PLAN
SCALE: 1" = 40'

LEGEND OF SYMBOLS & ABBREVIATIONS

- BOLLARD
- STORM GRATE
- STORM DRAIN
- SANITARY SEWER MANHOLE
- SANITARY CLEANOUT
- WATER METER
- FIRE HYDRANT
- WATER METER
- WATER VALVE
- SIGN
- FENCE
- GAS MARKER
- GAS VALVE
- PARKING SPACES
- HANDICAP PARKING
- LIGHT POLE
- UTILITY POLE
- TELEPHONE PEDESTAL
- CABLE TV
- IPF - IRON PIPE FOUND
- IRF - IRON REBAR FOUND
- IPS - IRON PIPE SET
- NS - NAIL SET

N

GDC ARCHITECTS ENGINEERS
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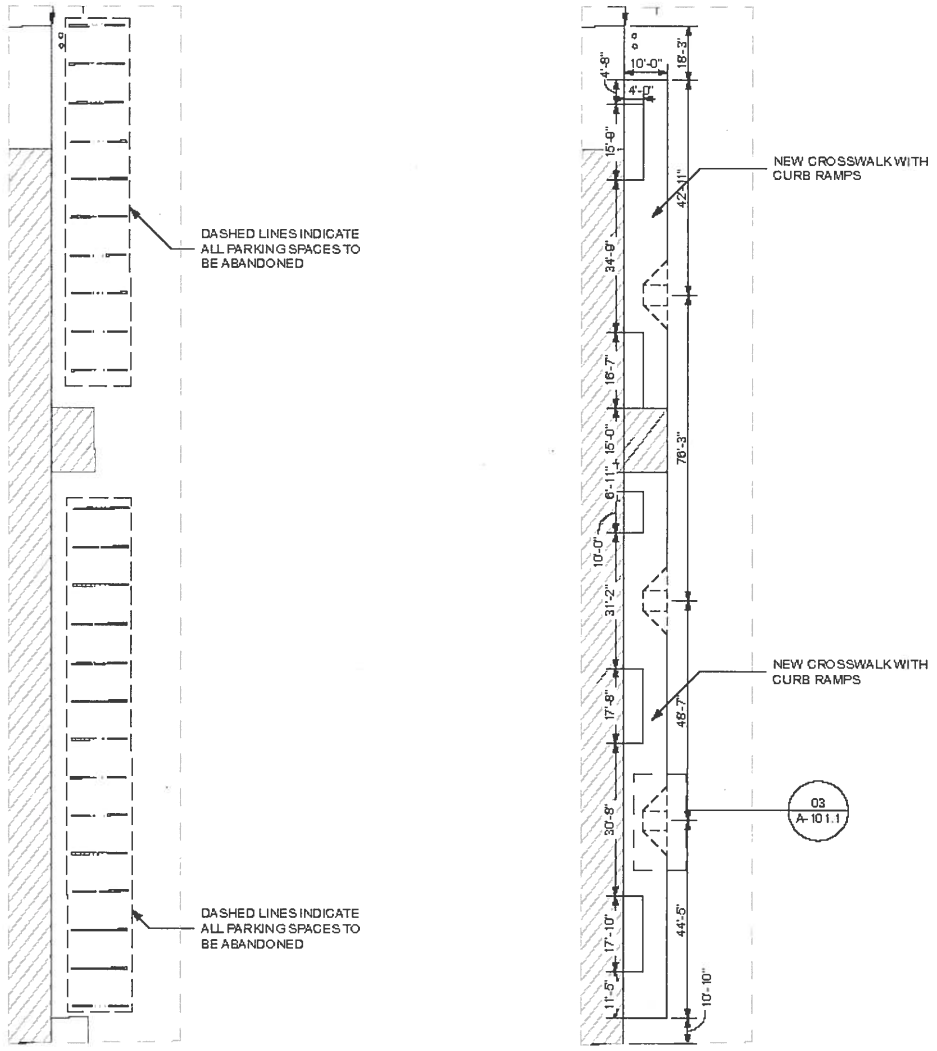
CHECKED BY J.H.C.

DATE 5/21/2021

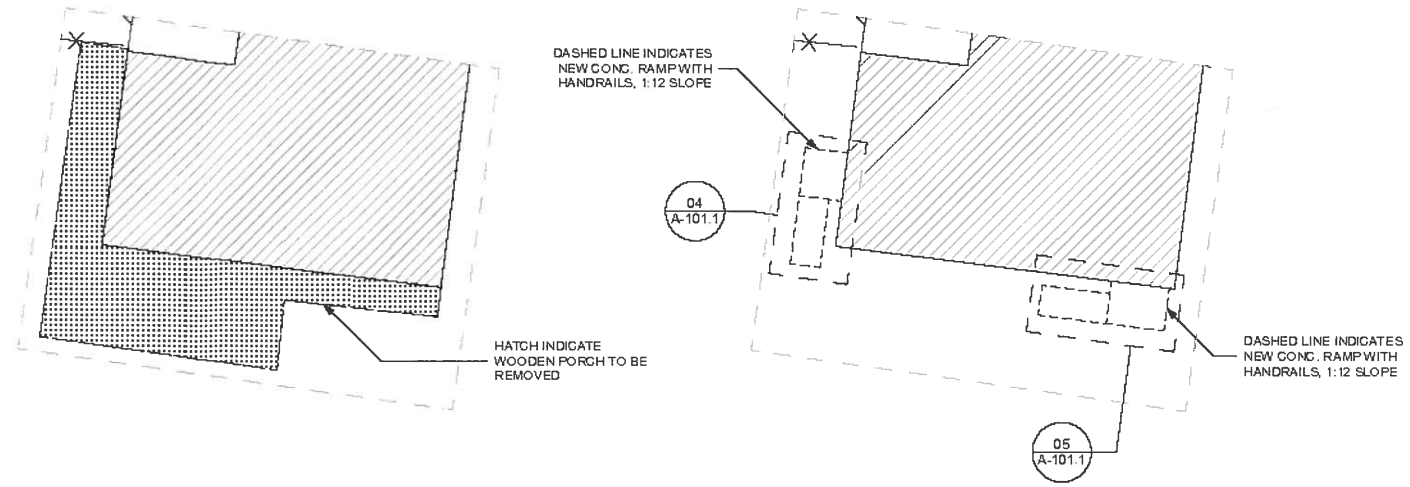
SHEET A-101

ARCHITECTURAL SITE PLAN



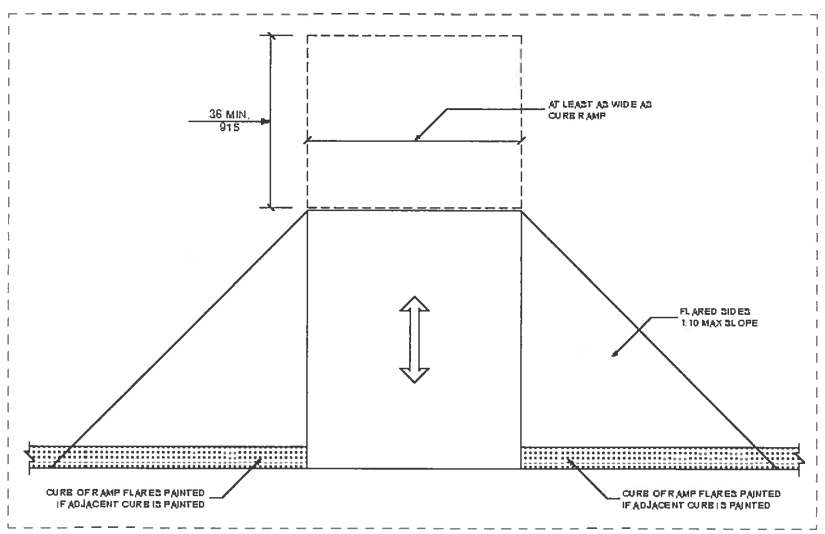
01 PROPOSED SITE MODIFICATION PLAN BLDG. "A"

SCALE: 1" = 20'



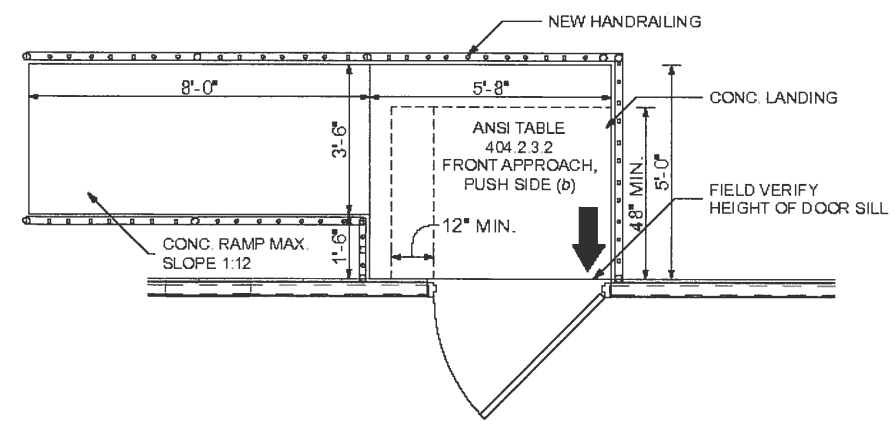
02 PROPOSED SITE MODIFICATION PLAN BLDG. "B"

SCALE: 1" = 10'



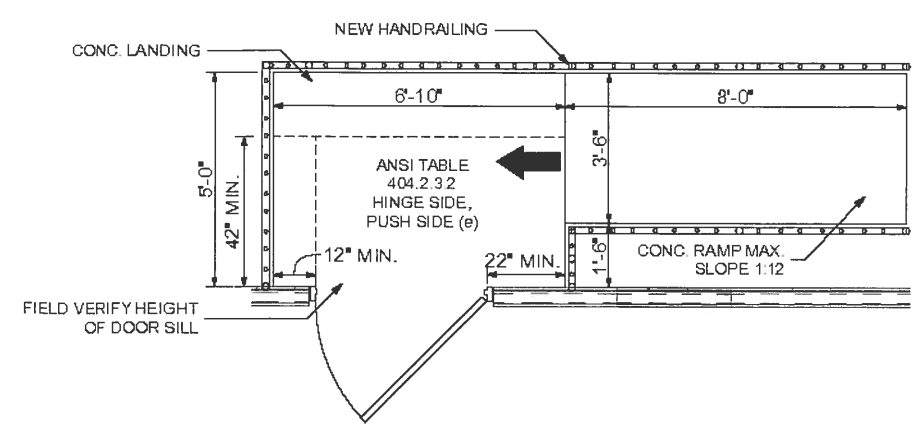
03 CURB RAMP @ DETAIL 03

SCALE: 1/2" = 1'-0"



04 CONC. RAMP @ DETAIL 04

SCALE: 1/2" = 1'-0"



05 CONC. RAMP @ DETAIL 05

SCALE: 1/2" = 1'-0"

PROPOSED SITE MODIFICATIONS

GDC ARCHITECTS ENGINEERS
COA#30250, AA#26005698
502 NW 2ND DISTRICT, OKEECHOBEE, FLORIDA 34972
P: (863) 467-1111
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WWW.GDCFLORIDA.COM

ESS #7515-TENANT IMPROVEMENT

EXTRA SPACE STORAGE

PROJECT ADDRESS: 10 LEELAND ROAD
PROJECT CITY: FREDERICKSBURG
PROJECT STATE: VA
PROJECT ZIP CODE: 22405
PARCEL ID: 54 126E

ISSUED FOR PERMIT

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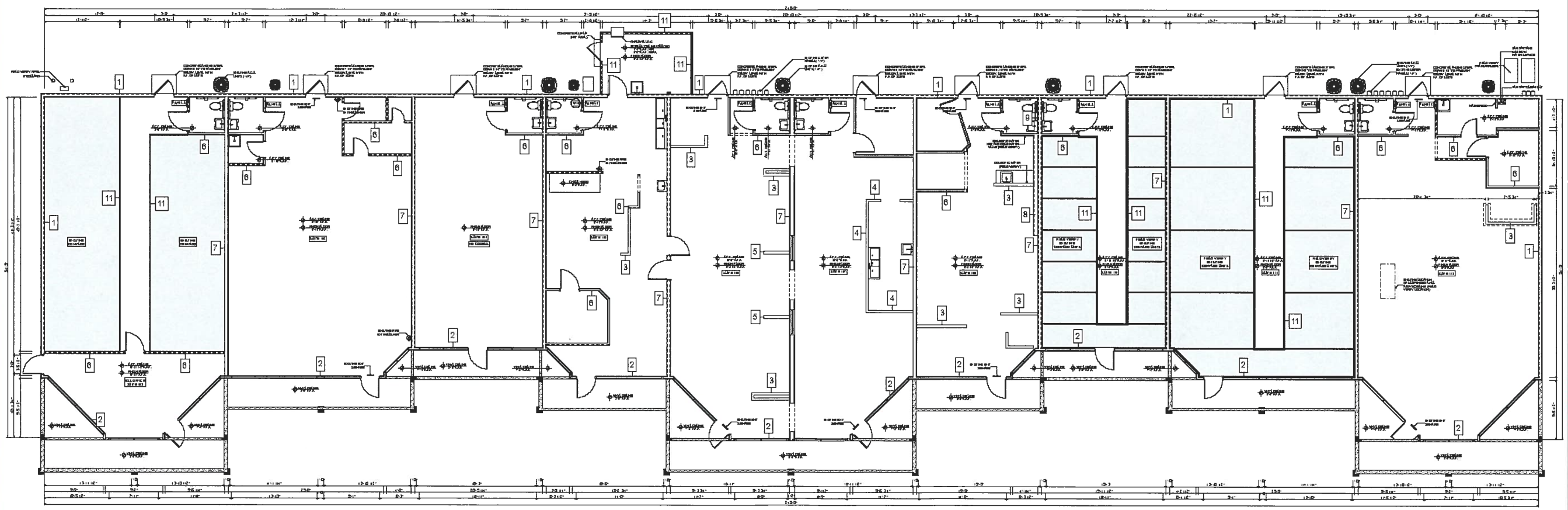
CHECKED BY J.H.C.

DATE 5/21/2021

SHEET A-101.1

WALL LEGEND

1	:EXISTING 6" METAL COLUMN w/ STUCCO EXTERIOR w/ 1/2" SHEATHING, FRAME STUD WALL AN D 5/8" DRYWALL ON THE INTERIOR SIDE. (MANUFACTURE BUILDING)
2	:EXISTING 4" METAL COLUMN w/ STUCCO EXTERIOR w/ 1/2" SHEATHING, FRAME STUD WALL AN D 5/8" DRYWALL ON THE INTERIOR SIDE. (MANUFACTURE BUILDING)
3	:EXISTING 3 1/2" FRAME KNEE WALL
4	:EXISTING 4" FRAME KNEE WALL
5	:EXISTING 5 1/2" FRAME KNEE WALL
6	:EXISTING 3 1/2" MTL. STUD. TO EXISTING CEILING HEIGHT W/ EXISTING THICKNESS OF GYPSUM PANEL ON EACH SIDE.
7	:EXISTING 6" MTL. STUD FRAME WALL TO THE BOTTOM OF EXISTING CEILING SYSTEM w/ EXISTING THICKNESS OF GYPSUM PANEL EACH SIDE (TENANT SEPARATION)
8	:EXISTING 6" MTL. STUD KNEE WALL TO EXISTING HEIGHT W/ EXISTING THICKNESS OF GYPSUM PANEL ON EACH SIDE. (PLUMBING CHASE)
9	:EXISTING 1 1/2" MTL. STUD KNEE WALL TO EXISTING HEIGHT W/ EXISTING THICKNESS OF GYPSUM PANEL ON EACH SIDE. (PLUMBING CHASE)
10	:EXISTING VINYL SIDING EXTERIOR FRAMED WALL W/ DRYWALL ON THE INTERIOR SIDE.
11	:EXISTING STORAGE UNIT PARTITION



01 EXISTING FLOOR PLAN

SCALE: 1/8" = 1'-0"

GDC ARCHITECTS ENGINEERS
COA#30250, AA# 26005905
502 NW 2N DISTRICT, OKEECHOBEE, FLORIDA 34972
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ESS #7515-TENANT IMPROVEMENT

EXTRA SPACE STORAGE

PROJECT ADDRESS: 10 LEELAND ROAD
PROJECT CITY: FREDERICKSBURG
PROJECT STATE: VA
PROJECT ZIP CODE: 22405
PARCELL ID: 54 126E

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DRAWN BY J.E.T

CHECKED BY J.H.C.

DATE 5/21/2021

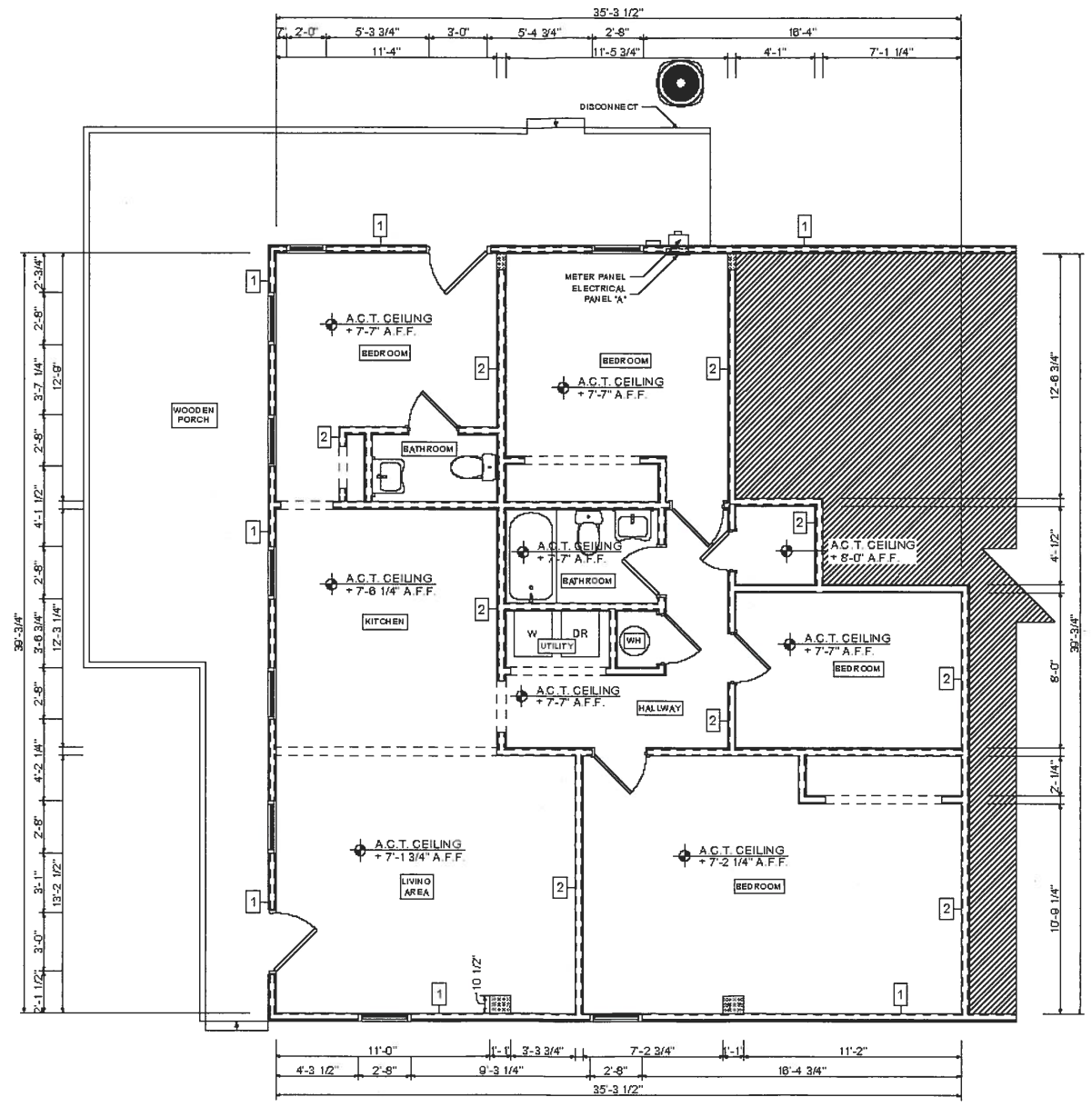
SHEET A-102(A)

EXISTING FLOOR PLAN

WALL LEGEND

1 — EXISTING STUCCO EXTERIOR w/ WIRE LATHAND SHEATHING, 3 5/8" MTL. STUD FRAME AND 5/8" GYPSUM PANEL ON THE INTERIOR SIDE.

2 — EXISTING 3 5/8" MTL. STUD FRAME WALL w/ 3/4" GYPSUM PANEL ON EACH SIDE (INTERIOR PARTITION)



01 EXISTING FLOOR PLAN

SCALE: 1/4" = 1'-0"

GDC ARCHITECTS ENGINEERS
COA#30250, AA# 26005565
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ESS #7515-TENANT IMPROVEMENT

EXTRA SPACE STORAGE

PROJECT ADDRESS: 10 LEELAND ROAD
PROJECT CITY: FREDERICKSBURG
PROJECT STATE: VA
PROJECT ZIP CODE: 22405
PARCEL ID: 54 126E

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J.E.T.

CHECKED BY
J.H.C.

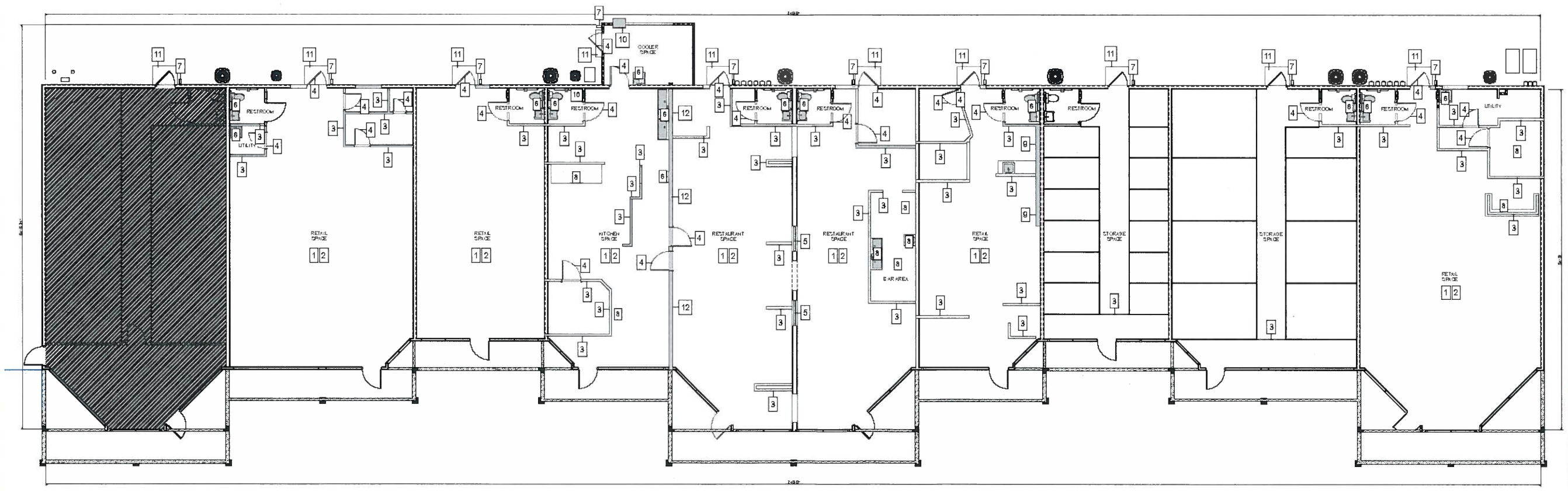
DATE
5/21/2021

SHEET
A-102(B)

EXISTING FLOOR PLAN

DEMOLITION ANNOTATIONS:

1	REMOVE EXISTING FLOORING
2	REMOVE EXISTING CEILING FANS
3	REMOVE EXISTING INTERIOR FRAMED WALL, STORAGE UNIT PARTITIONS AND KNEE WALL
4	REMOVE EXISTING INTERIOR AND EXTERIOR DOORS
5	REMOVE EXISTING INTERIOR WINDOW
6	REMOVE PLUMBING FIXTURES LIKE SINKS AND TOILETS. REMOVE ALSO EXISTING MIRRORS AND A.D.A. GRAB BARS. (CAP ALL PLUMBING PIPES).
7	REMOVE EXISTING EXTERIOR LIGHT FIXTURE
8	REMOVE EXISTING COUNTERTOPS, SHELVING, KITCHEN HOODS, REFRIGERATOR AND BAR STUFF
9	REMOVE EXISTING PLUMBING CHASE AND REDIRECT DOMESTIC WATER PIPES
10	REMOVE EXISTING A/C UNIT AND WATER HEATER
11	REMOVE EXISTING CONCRETE PAD
12	REMOVE EXISTING GYPSUM PANEL (TO BE REPLACED WITH TYPE "X" FIRE RATED GYPSUM PANELS)



01 DEMOLITION PLAN
SCALE: 1/8" = 1'-0"

GDC ARCHITECTS ENGINEERS
COA#8050, AA# 26008365
502 NW 2ND STREET, GAINESVILLE, FLORIDA 34972
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ESS #7515-TENANT IMPROVEMENT

EXTRA SPACE STORAGE

PROJECT ADDRESS: 10 LEELAND ROAD
PROJECT CITY: FREDERICKSBURG
PROJECT STATE: VA
PROJECT ZIP CODE: 22405
PARCEL ID: 54 126E

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J.E.T.

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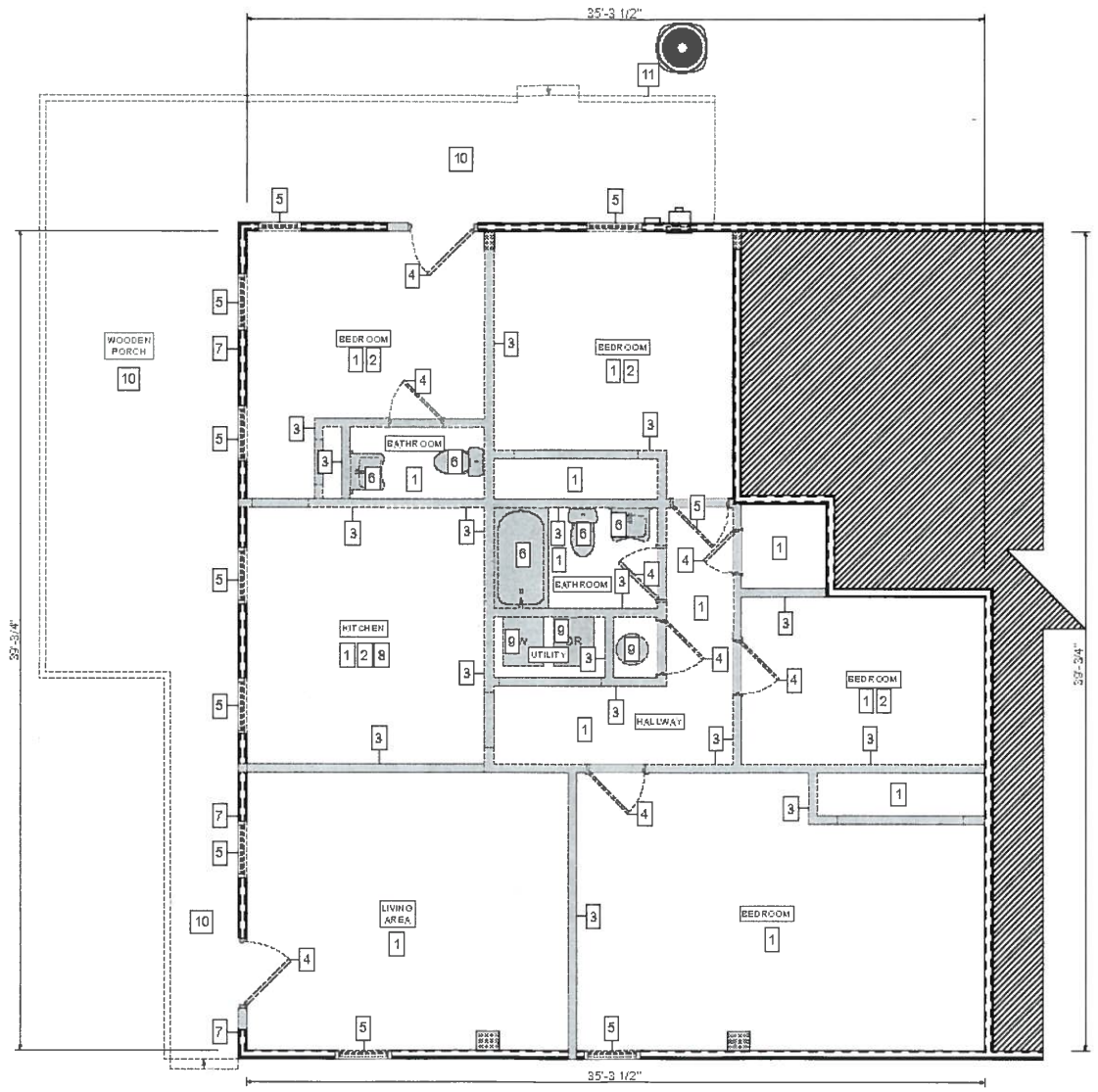
J.H.C.

DATE
5/21/2021

SHEET
A-103(A)

DEMOLITION PLAN



01 DEMOLITION PLAN

SCALE: 1/4" = 1'-0"

DEMOLITION ANNOTATIONS:	
1	REMOVE EXISTING FLOORING
2	REMOVE EXISTING CEILING FANS
3	REMOVE EXISTING INTERIOR FRAMED WALL AND BULKHEAD
4	REMOVE EXISTING INTERIOR AND EXTERIOR DOORS
5	REMOVE EXISTING EXTERIOR WINDOW
6	REMOVE PLUMBING FIXTURES LIKE SINKS, TOILETS AND TUBS REMOVE ALSO EXISTING MIRRORS(CAP ALL PLUMBING PIPES).
7	REMOVE EXISTING EXTERIOR LIGHT FIXTURE
8	REMOVE EXISTING COUNTERTOPS, SHELVING, KITCHEN CABINETS AND KITCHEN APPLIANCES
9	REMOVE EXISTING WASHER, DRYER AND WATER HEATER
10	REMOVE EXISTING WOODEN PORCH
11	REMOVE EXISTING DISCONNECT .(TO BE RELOCATED)

GDC ARCHITECTS ENGINEERS
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502 NW 2N DISTRICT, OKEECHOBEE, FLORIDA 34972
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F: (772) 872-5121
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ESS #7515-TENANT IMPROVEMENT

EXTRA SPACE STORAGE

PROJECT ADDRESS: 10 LEELAND ROAD
PROJECT CITY: FREDERICKSBURG
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PARCEL ID: 54 126E

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DATE 5/21/2021

SHEET A-103(B)

N

DEMOLITION PLAN

AREA CALCULATION

EXISTING "B"	342
EXISTING "S-1"	3,208
PROPOSED "B"	42
PROPOSED "S-1"	7,497
	11,088 sq ft

WALL LEGEND

1 — NEW 6" METAL COLUMN w/ STUCCO EXTERIOR w/ 1/2" SHEATHING, FRAME STUD WALL AND 5/8" DRYWALL ON THE INTERIOR SIDE. (MANUFACTURE BUILDING, INFILL OPENING)

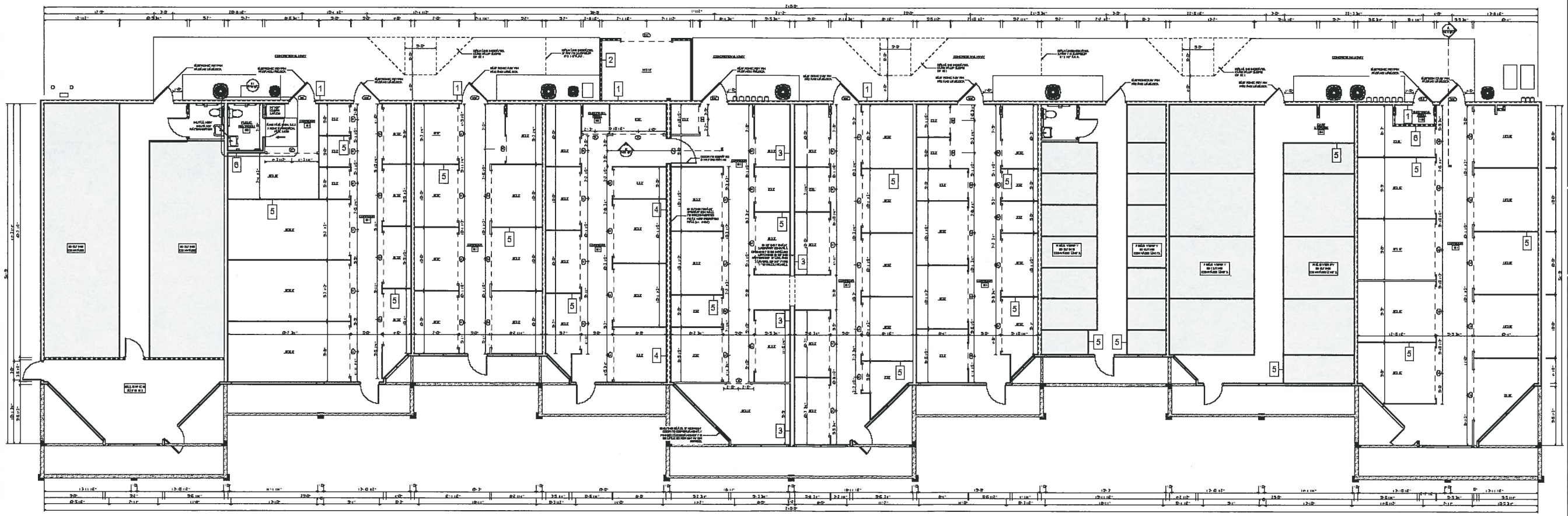
2 — NEW VINYL SIDING EXTERIOR FRAMED WALL W/ 5/8" DRYWALL ON THE INTERIOR SIDE. (INFILL OPENING)

3 — NEW 6" MTL. STUD FRAME WALL TO THE BOTTOM OF EXISTING CEILING SYSTEM w/ 5/8" GYPSUM PANEL EACH SIDE. (TENANT SEPARATION)

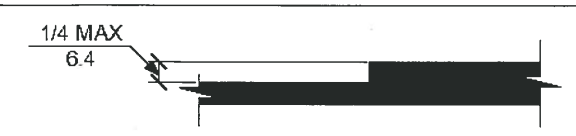
6 — NEW 3 1/2" MTL. STUD TO EXISTING CEILING HEIGHT W/ 5/8" GYPSUM PANEL ON EACH SIDE.

4 — EXISTING 6" MTL. STUD FRAME WALL TO THE BOTTOM OF EXISTING ROOF SYSTEM w/ NEW 3 LAYERS OF 5/8" TYPE "X" GYPSUM PANEL EACH SIDE TO MAKE 3-HR FIRE RATED WALL. UL W460 (TENANT SEPARATION)

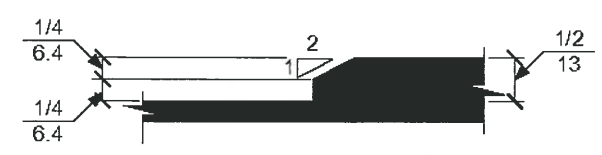
5 — NEW 1 1/2" 20 GA. JANUS CORRUGATED HALLWAY SYSTEM TO BE GLOSSY WHITE, FASTENED TO THE BOTTOM OF ROOF SYSTEM



01 PROPOSED CONVADD LAYOUT PLAN
SCALE: 1/8" = 1'-0"



VERTICAL CHANGES IN LEVEL



BEVELED CHANGES IN LEVEL

02 MAX. CHANGES IN FLOOR LEVEL
SCALE: 1" = 1'-0"

PROPOSED RENOVATION PLAN

GDC ARCHITECTS ENGINEERS
COA#30250, AA#26005565
502 NW 2N DISTRICT, OVERCHOBEE, FLORIDA 34972
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F (772) 87 54 121
WWW.GDCFLORIDA.COM

ESS #7515-TENANT IMPROVEMENT

EXTRA SPACE STORAGE

PROJECT ADDRESS: 10 LEELAND ROAD
PROJECT CITY: FREDERICKSBURG
PROJECT STATE: VA
PROJECT ZIP CODE: 22405
PARCEL ID: 54 126E

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COMMONWEALTH OF VIRGINIA
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DRAWN BY J.E.T.

CHECKED BY J.H.C.

DATE 5/21/2021

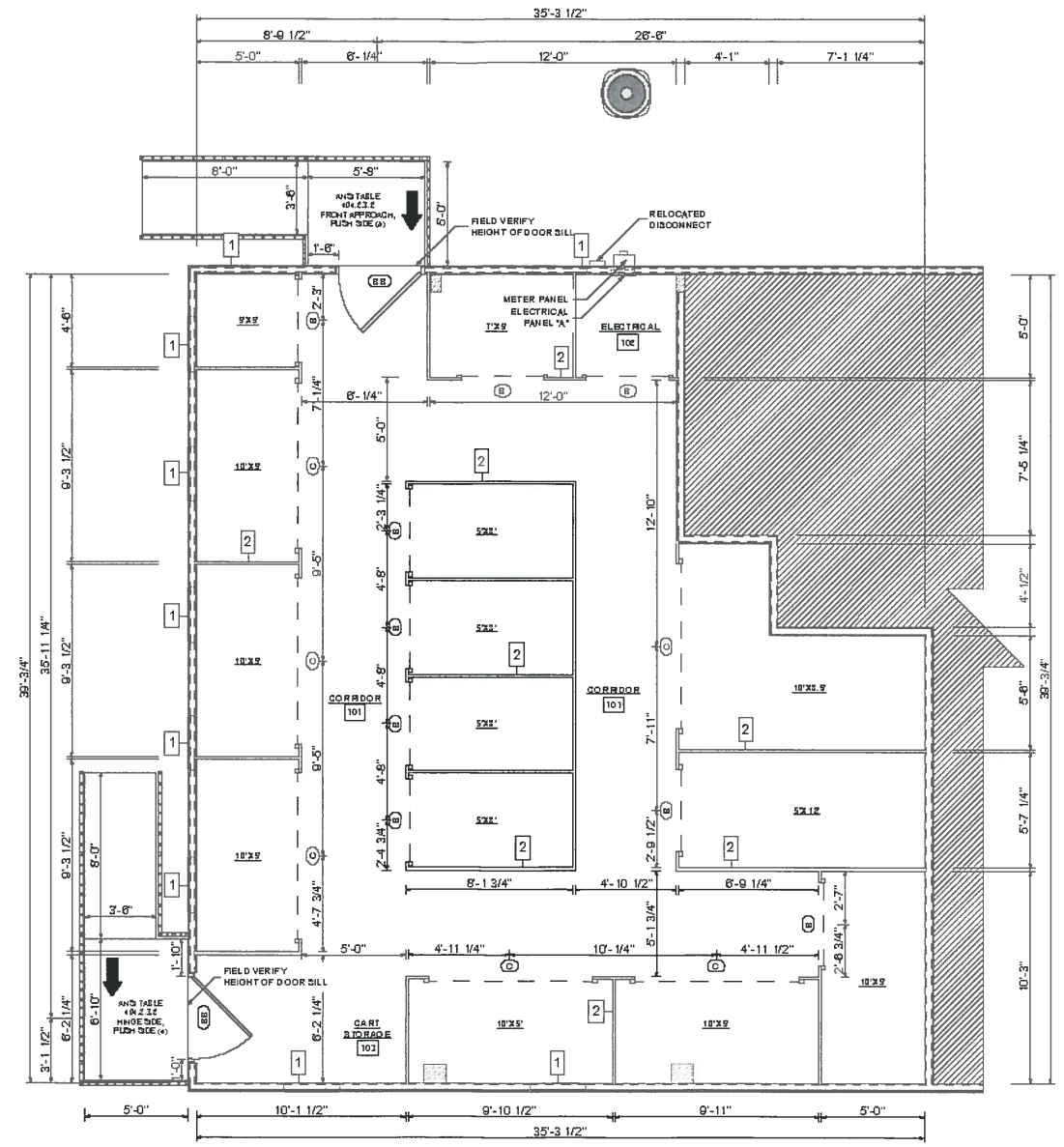
SHEET A-104(A)

WALL LEGEND

1	NEW STUCCO EXTERIOR w/ WIRELATH AND SHEATHING, 3 5/8" MTL STUD FRAME AND 5/8" GYPSUM PANEL ON THE INTERIOR SIDE (TO INFILL EXISTING OPENING)
2	NEW 1 1/2" 20 GA. CORRUGATED HALLWAY SYSTEM, TO BE GLOSSY WHITE, FASTENED TO THE BOTTOM OF ROOF SYSTEM

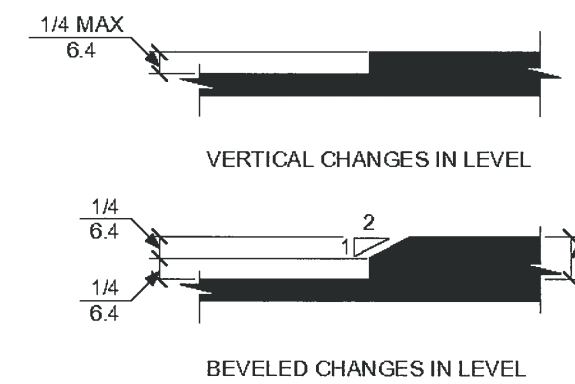
AREA CALCULATION

PROPOSED "S-1"	1,253
	1,253 sq ft



01 PROPOSED RENOVATION PLAN

SCALE: 1/4" = 1'-0"



02 MAX. CHANGES IN FLOOR LEVEL

SCALE: 1" = 1'-0"

N

PROPOSED RENOVATION PLAN

GDC ARCHITECTS ENGINEERS
COA#30250, LAR #0006586
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ESS #7515-TENANT IMPROVEMENT

EXTRA SPACE STORAGE

PROJECT ADDRESS: 10 LEELAND ROAD
PROJECT CITY: FREDERICKSBURG
PROJECT STATE: VA
PROJECT ZIP CODE: 22405
PARCEL ID: 54 128E

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DRAWN BY
J.E.T.

CHECKED BY
J.H.C.

DATE
5/21/2021

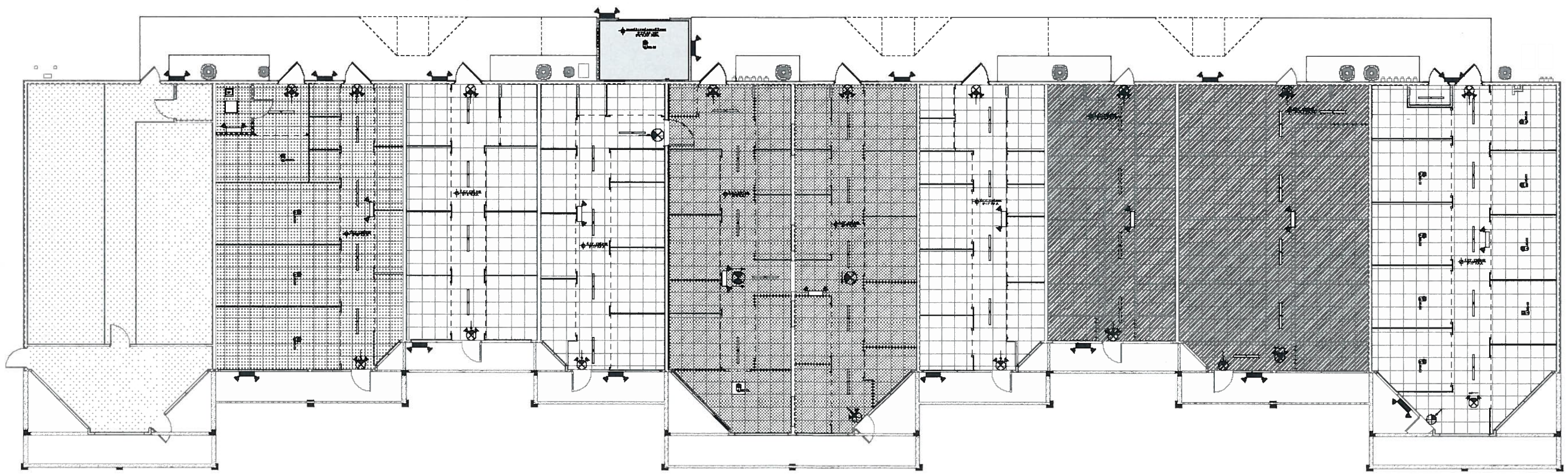
SHEET
A-104(B)

CEILING LEGEND

	ACOUSTIC CEILING + 9'-10" A.F.F.
	ACOUSTIC CEILING + 9'-11" A.F.F
	ACOUSTIC CEILING + 9'-11 1/2" A.F.F
	ACOUSTIC CEILING + 10'-0" A.F.F.
	GYPSUM CEILING VAULT + 8'-2" A.F.F. HIP + 9'-3" A.F.F. PEAK

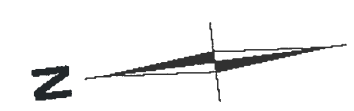
FIXTURE LEGEND

	LIGHTED EXIT SIGN & DUAL EXIT LIGHTING COMBO: SINGLE DIRECTION W/ BATTERY BACKUP		EMERGENCY LIGHTING: WALL MOUNT W/ BATTERY BACKUP
	LIGHTED EXIT SIGN & DUAL EXIT LIGHTING COMBO: SINGLE DIRECTION W/ BATTERY BACKUP		DBEL-ACEM LED WALL PACK WITH BATTERY BACKUP
	LIGHTED EXIT SIGN: SINGLE SIDE, FROM SINGLE DIRECTION W/ BATTERY BACKUP		2X2 LED RECESSED LIGHT FIXTURE
	LIGHTED EXIT SIGN: SINGLE SIDE, FROM SINGLE DIRECTION W/ BATTERY BACKUP		1/2" X 48" LIGHT FIXTURE PLACED EXISTING DROP CEILING
	LIGHTED EXIT SIGN TWO SIDED, FROM TWO DIRECTIONS W/ BATTERY BACKUP		6" LIGHT FIXTURE / OCCUPANCY SENSOR COMBO: SURFACE MOUNTED TO EXISTING DROP CEILING
EF	EXHAUST FAN		



01 REFLECTED CEILING PLAN

SCALE: 1/8" = 1'-0"



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PROJECT STATE: VA
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PARCEL ID: 54 1 26E

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JET

CHECKED BY
JHC

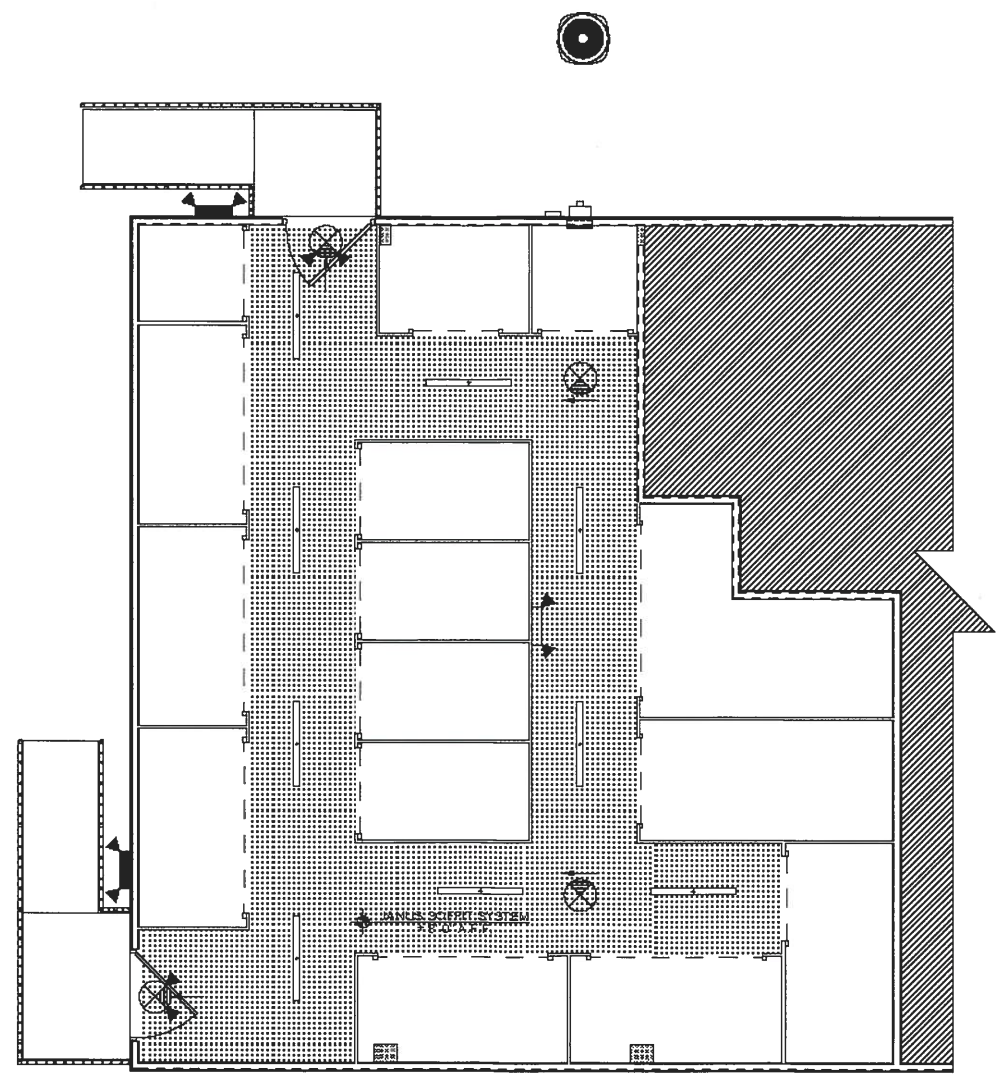
DATE
5/21/2021

SHEET
A-105(A)

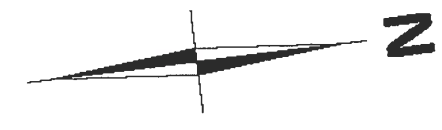
REFLECTED CEILING PLAN

CEILING LEGEND	
	JANUS SOFFIT SYSTEM @ 8'-0" A.F.F.
	2" X 2" GALV. SECURITY MESH @ 8'-0" A.F.F.

FIXTURE LEGEND	
	LIGHTED EXIT SIGN & DUAL EXIT LIGHTING COMBO: SINGLE DIRECTION W/ BATTERY BACKUP
	LIGHTED EXIT SIGN: SINGLE SIDE, FROM SINGLE DIRECTION W/ BATTERY BACKUP
	EMERGENCY LIGHTING: WALL MOUNT W/ BATTERY BACKUP
	DBEL-ACEM LED WALL PACK WITH BATTERY BACKUP
	1/2" X 48" LIGHT FIXTURE: PLACED EXISTING DROP CEILING



01 REFLECTED CEILING PLAN
SCALE: 1/4" = 1'-0"



REFLECTED CEILING PLAN

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ESS #7515-TENANT IMPROVEMENT

EXTRA SPACE STORAGE

PROJECT ADDRESS: 10 LEELAND ROAD
PROJECT CITY: FREDERICKSBURG
PROJECT STATE: VA
PROJECT ZIP CODE: 22405
PARCEL ID: 54 126E

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DATE
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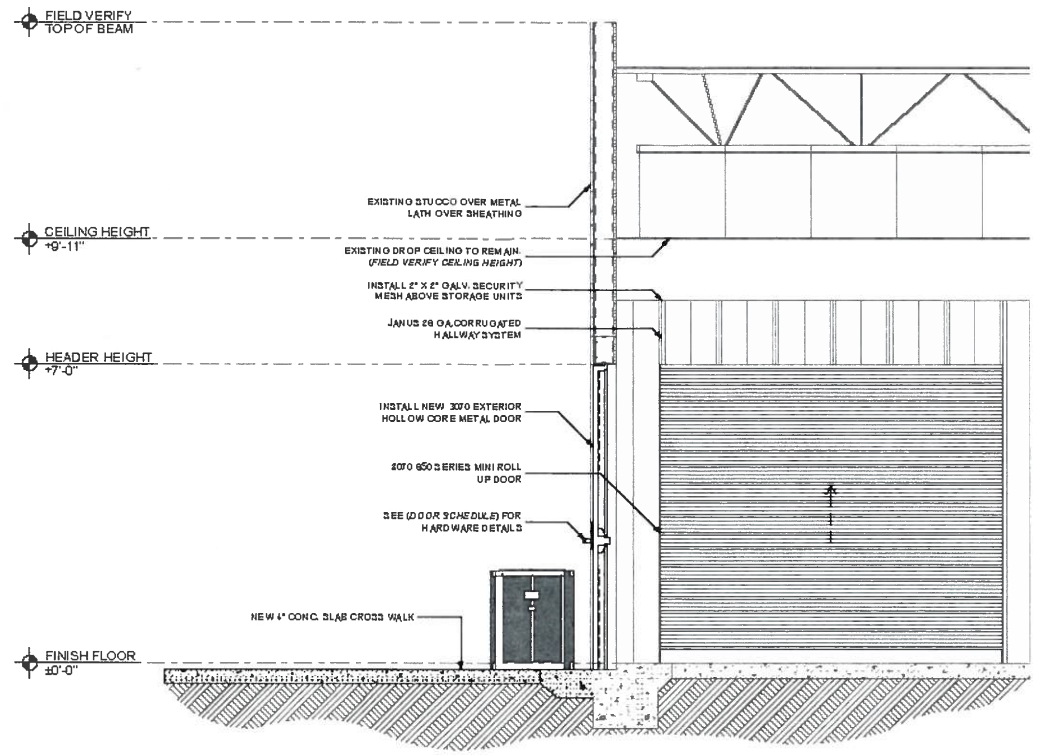
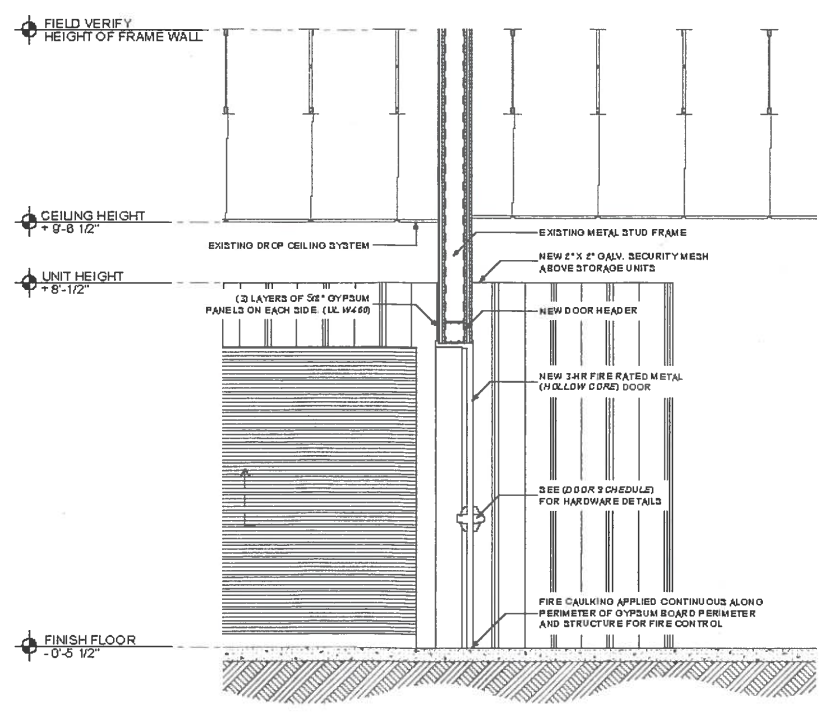
A-105(B)



A BUILDING SECTION A

SCALE: 1/2" = 1'-0"



B BUILDING SECTION B

SCALE: 1/2" = 1'-0"

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J.H.C.

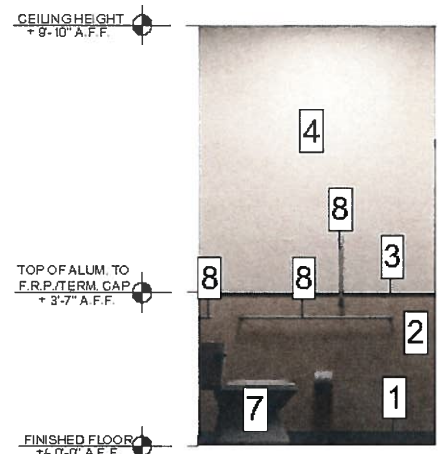
DATE
5/21/2021

SHEET
A-301(A)

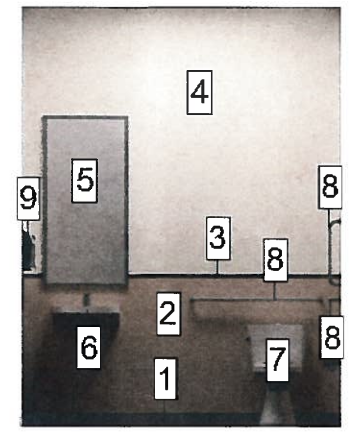
ARCHITECTURAL SECTIONS

ELEVATION ANNOTATIONS:

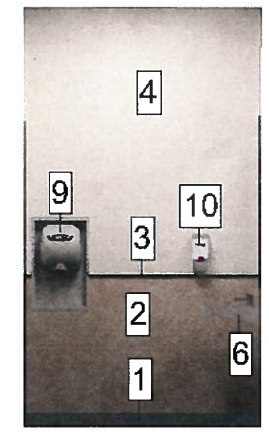
1	NEW 4" TPR WALL BASE BY PATCRAFT STEEL WOOL #80880
2	NEW INDUROFRP BOARD BY MARLITE, MODEL # 4874 PEWTER MESH
3	NEW 1" BRUSHED ALUMINUM CLOSURE/TERMINATION CAP BY MARLITE
4	SHERWIN WILLIAMS NUANCE SW 7048, EPOXY PAINT (RESTROOMS ONLY)
5	INSTALL NEW 24"x48" MIRROR
6	NEW PORCELAIN SINK SUPPLIED AND INSTALLED BY CONTRACTOR w/ PIPE WRAP
7	INSTALL NEW PROCELAIN TOILET w/ CONTROLS TO BE LOCATED ON THE OPEN SIDE OF THE TOILET
8	INSTALL NEW A.D.A GRAB BARS AS SPECIFIED
9	INSTALL NEW XLERATOR HAND DRYER w/ A.D.A. COMPLIANT RECESS KIT; PART # 40602
10	INSTALL NEW SOAP DISPENSER (GOJO)



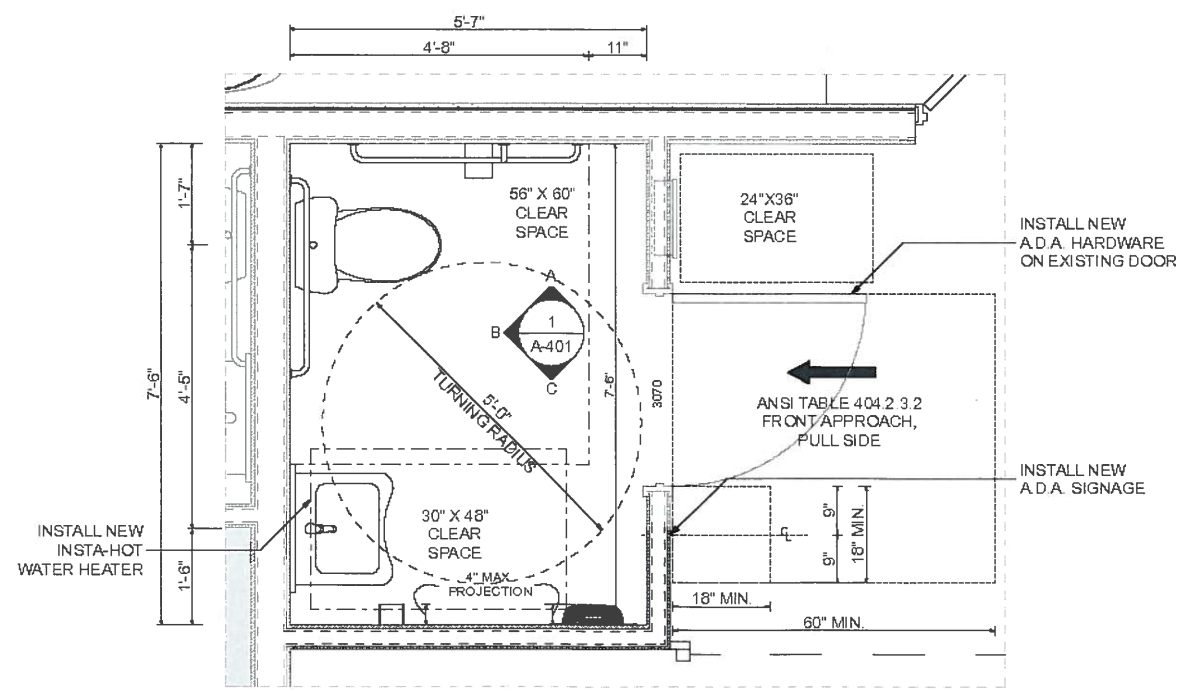
A1 / A-401(A) PUBLIC RESTROOM "A"
SCALE: 1/2" = 1'-0"



B1 / A-401(A) PUBLIC RESTROOM "B"
SCALE: 1/2" = 1'-0"



C1 / A-401(A) PUBLIC RESTROOM "C"
SCALE: 1/2" = 1'-0"



01 ENLARGED A.D.A. PUBLIC RESTROOM PLAN
SCALE: 3/4" = 1'-0"

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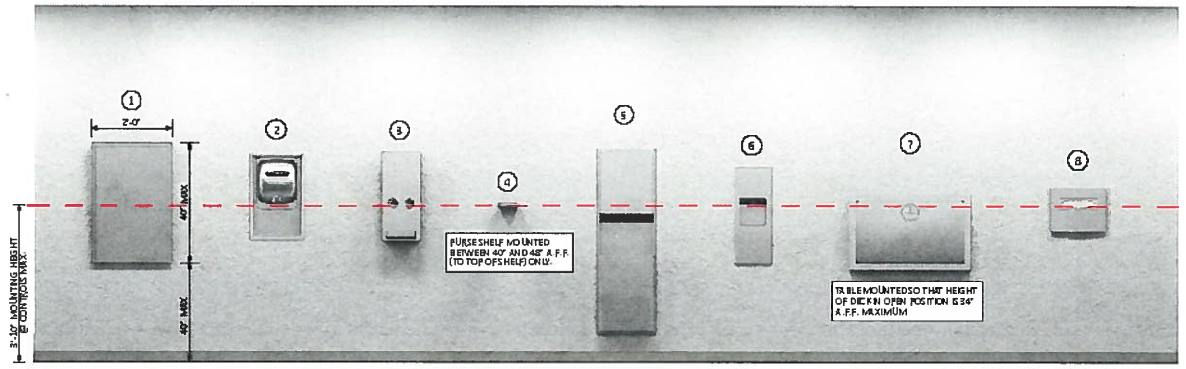
DRAWN BY J.E.T.

CHECKED BY J.H.C.

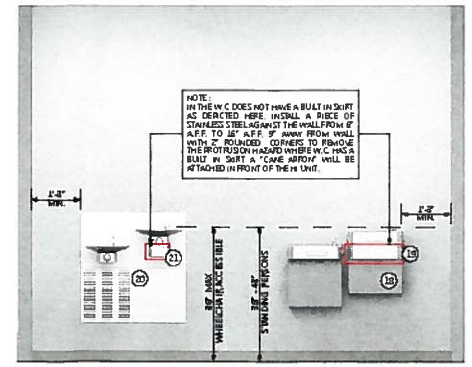
DATE 5/21/2021

SHEET A-401(A)

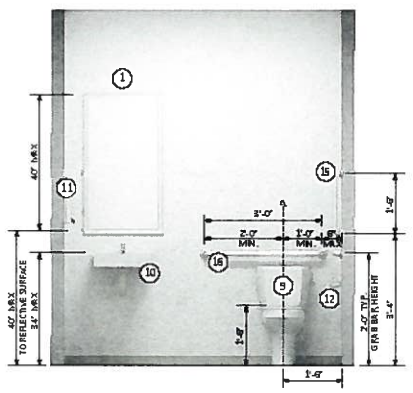
ENLARGED RESTROOM PLAN AND ELEVATIONS



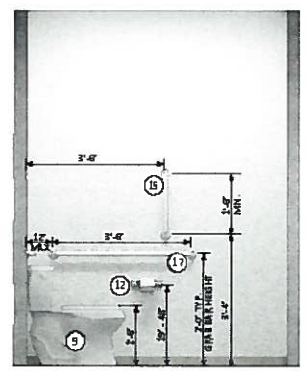
TOILET ACCESSORIES

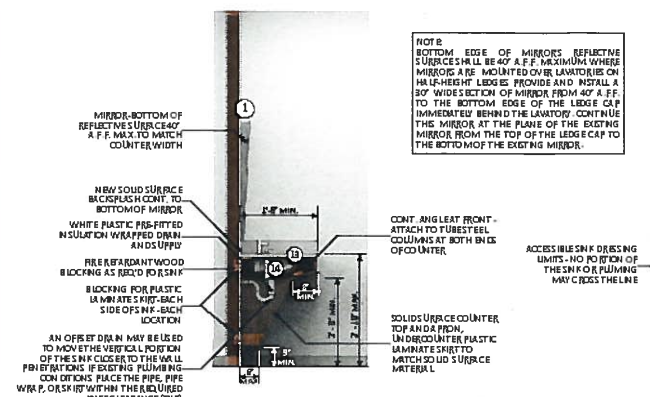


WATER COOLERS

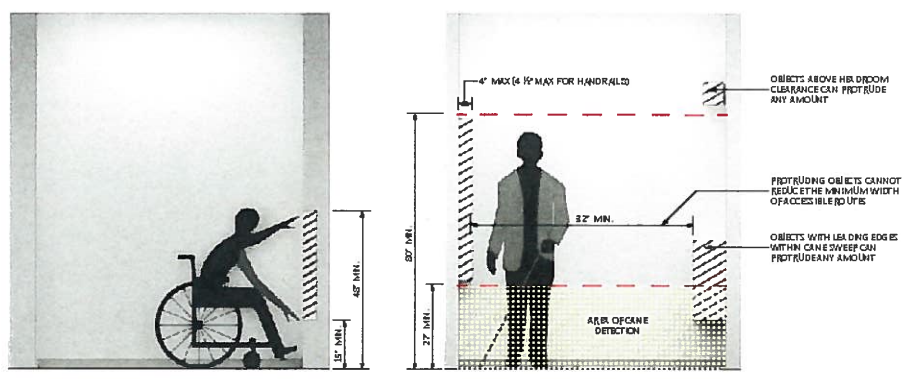


TOILET

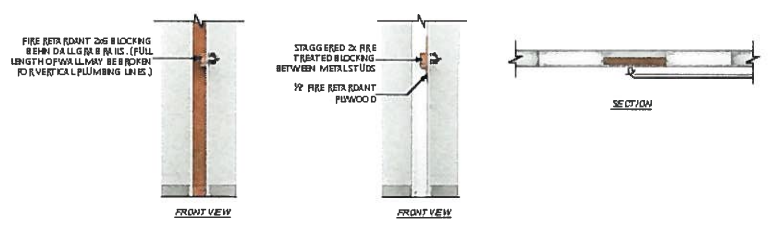




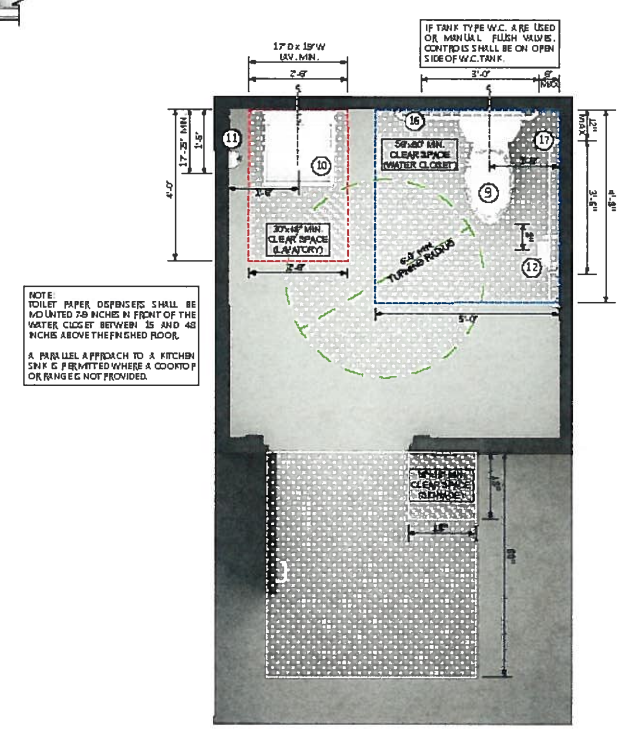
LAVATORY MOUNTING DETAIL



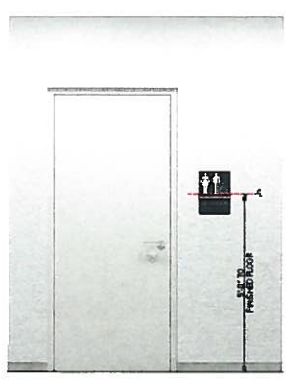
TYPICAL FORWARD REACH ACCESS

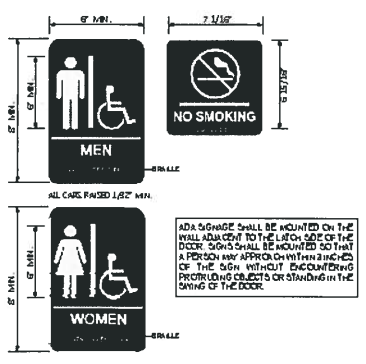


BLOCKING DETAIL



W.C. CLEARANCES





TYPICAL RESTROOM SIGNAGE

PROPORTIONS OF THE INTERNATIONAL SYMBOL OF ACCESSIBILITY

LETTER AND NUMBER HEIGHTS	
HEIGHT ABOVE FLOOR/GROUND	MINIMUM CHARACTER HEIGHT
MORE THAN 70"	3"
MORE THAN 40" BUT NOT MORE THAN 70"	2"
MORE THAN 40" BUT NOT MORE THAN 9"	1"

TOILET ACCESSORY SCHEDULE

SYMBOL	MFGR NO/(O RAPPROVED EQUAL BY BEARB)	DESCRIPTION (SEE SPECIFICATIONS)	MTO	HEIGHT
1	BOBRICK B-293 24 39	FULL LENGTH MIRROR 24 x 39.		1 / 4.0
2	XLERATOR 40S0E	HAND DRYER.	L	MFR.
3	BOBRICK B-4609 RECESSED	FEMININE NAPKIN DISPENSER, RECS.	T	1 / 4.0
4	BOBRICK B-257	FOLDING UTILITY SHELF 14.5L x 5.75W.	T	1 / 4.0
5	BOBRICK B-4 3944	PAPER TOWEL DISP. RECS W/ OAR BAGE.	L	1 / 4.0
6	BOBRICK B-3990 3	PAPER TOWEL DISP. SURF MOUNTED.	T	1 / 4.0
7	KOALA KARE KB-110-SSRE	BABY CHANGING STATION	L	MFR.
8	BOBRICK B-4221	TOILET SEAT COVER DISP.	C	1 / 4.0
9	GERBER 20-062	MAXWELL FLOOR MOUNT BACK OUTLET TOILET.	B	1 / 4.0
10	KOHLER K-2014-N	WALL-MOUNT BATHROOM SINK.	T	1 / 4.0
11	BOBRICK B-2111	SOAP DISP. WALL MOUNTED.		1 / 4.0
12	BOBRICK B-685	TOILET PAPER DISP DBL.	C	1 / 4.0
13	KOHLER K-2210	OVAL BASIN SINK.	T	1 / 4.0
14	BOBRICK B-824	SOAP DISP. COUNTER-MOUNTED.		1 / 4.0
15	BOBRICK B-5806 - 18	18" GRAB BAR - CONCEALED MOUNT.		
16	BOBRICK B-5806 - 36	36" GRAB BAR - CONCEALED MOUNT.	C	1 / 4.0
17	BOBRICK B-5806 - 42	42" GRAB BAR - CONCEALED MOUNT.	C	1 / 4.0
18	ELKAY VRCTLFR25C	TWO STATION WALL MOUNT WATER COOLER		
19	ELKAY EZ 2 4C	ACCESSORY - CANE TOUCH APRON		
20	HAWS H 1011.2HPS	DUAL WALL MOUNT FOUNTAIN		
21	HAWS 3K3HPS	FOUNTAIN SKIRT		

ABBREVIATIONS

DBL.	DOUBLE	CLEAR.	CLEARANCE
RECS.	RECESSED	HC.	HANDICAPPED
L	CONTROLS	MFR.	MANUFACTURER
T	TOP		DISPENSER
C	CENTER	SURF.	SURFACE
B	BOTTOM		

NOTE:
EQUIPMENT MANUFACTURE SHOWN FOR REFERENCE ONLY.
APPROVED EQUALS MAY BE SUBSTITUTED WHERE POSSIBLE IN EXISTING FACILITIES. MATCH THE EXISTING EQUIPMENT AS CLOSELY AS POSSIBLE IN APPEARANCE.

ACCESSIBLE SIGNAGE TEXT REQUIREMENTS

CHARACTER PROPORTIONS
LETTERS AND NUMBERS ON SIGNS SHALL HAVE A WIDTH TO HEIGHT RATIO BETWEEN 1.5 AND 1.10, UTILIZING AN UPPER CASE "X" FOR MEASUREMENT.

CHARACTER HEIGHT
SEE LETTER AND NUMBER HEIGHT CHART BELOW.
-EXCEPTION CHARACTER HEIGHT SHALL BE 3/4" MINIMUM FOR BUILDING DIRECTORIES

FINISH AND CONTRAST:
THE CHARACTERS, SYMBOLS AND BACKGROUND OF SIGNS SHALL BE EGGSHELL, MATTE, OR OTHER NON-GLARE FINISH. CHARACTERS AND SYMBOLS SHALL CONTRAST WITH THEIR BACKGROUND, WITH EITHER LIGHT CHARACTERS ON A DARK BACKGROUND OR DARK CHARACTERS ON A LIGHT BACKGROUND.

RAISED CHARACTERS AND SYMBOLS:
CHARACTERS AND SYMBOLS ON TACTILE SIGNS SHALL BE RAISED 1/32" MINIMUM. RAISED CHARACTERS AND SYMBOLS SHALL BE IN UPPERCASE CHARACTERS. RAISED CHARACTERS AND SYMBOLS SHALL BE 5/8 HIGHT MINIMUM AND 2" MAXIMUM. RAISED CHARACTERS AND SYMBOLS SHALL BE ACCOMPANIED BY BRAILLE IN ACCORDANCE WITH THE PROVISIONS OUTLINED BELOW.

BRAILLE:
BRAILLE SHALL BE SEPARATED 1/2" MINIMUM FROM THE CORRESPONDING RAISED CHARACTERS OR SYMBOLS. BRAILLE PROVIDED IN ACCORDANCE WITH THE REQUIREMENTS FOR ELEVATOR CONTROLS SHALL BE PLACED 3/4 "MINIMUM BELOW THE CORRESPONDING CHARACTERS OR SYMBOLS. BRAILLE SHALL BE GRADE II AND SHALL CONFORM TO THE SPECIFICATION "600, NATIONAL LIBRARY SERVICE, LIBRARY OF CONGRESS."

LOCATION OF TACTILE SIGNAGE:
TACTILE SIGNAGE SHALL BE LOCATED ALONGSIDE THE DOOR ON THE LATCH SIDE AND SHALL BE MOUNTED AT 48" ABOVE THE ADJACENT FINISHED FLOOR TO THE CENTERLINE OF THE SIGN. IN LOCATIONS HAVING DOUBLE DOORS TACTILE SIGNS SHALL BE MOUNTED TO THE RIGHT OF THE RIGHT HAND DOOR WHERE THERE IS NO WALL SPACE ON THE LATCH SIDE OF THE DOOR INCLUDING DOUBLE LEAF DOORS, SIGNS SHALL BE PLACED ON THE NEAREST ADJACENT WALL.

GENERAL NOTE:
ANY ADDITIONAL TEXT REQUIRED DUE TO LOCAL ORDINANCES (FINES FOR PARKING IN ACCESSIBLE SPACE, ETC.) SHALL COMPLY WITH THE SIGNAGE REQUIREMENTS ABOVE.

ACCESSIBLE FIXTURE NOTES / A.D.A. DETAILS

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DRAWN BY J.E.T.
CHECKED BY J.H.C.
DATE 5/21/2021
SHEET A-402(A)

NFPA - 101 CH. 42 - STORAGE OCCUPANCIES

42.1.1.1 THE REQUIREMENTS OF THIS CHAPTER SHALL APPLY TO BOTH NEW AND EXISTING STORAGE OCCUPANCIES.

42.1.1.2 ADMINISTRATION. THE PROVISIONS OF CHAPTER 1, ADMINISTRATION, SHALL APPLY.

42.1.1.3 GENERAL. THE PROVISIONS OF CHAPTER 4, GENERAL, SHALL APPLY.

42.1.1.4 STORAGE OCCUPANCIES SHALL INCLUDE ALL BUILDINGS OR STRUCTURES USED PRIMARILY FOR THE STORAGE OR SHELTERING OF GOODS, MERCHANDISE, PRODUCTS, OR VEHICLES.

42.1.2.1 STORAGE OCCUPANCIES SHALL INCLUDE ALL BUILDINGS AND STRUCTURES OR PARTS THEREOF WITH OCCUPANCY AS DEFINED IN 6.1.13.

42.1.2.2 INCIDENTAL STORAGE IN AND THE OCCUPANCY SHALL NOT BE THE BASIS FOR OVERALL OCCUPANCY CLASSIFICATION.

6.1.13.1* DEFINITION - STORAGE OCCUPANCY. AN OCCUPANCY USED PRIMARILY FOR THE STORAGE OR SHELTERING OF GOODS, MERCHANDISE, PRODUCTS, OR VEHICLES.

A.6.1.13.1 STORAGE OCCUPANCIES INCLUDE THE FOLLOWING:

(1) BARNS
(2) BULK OIL STORAGE
(3) COLD STORAGE
(4) FREIGHT TERMINALS
(5) GRAIN ELEVATORS
(6) HANGARS (FOR STORAGE ONLY)
(7) PARKING STRUCTURES
(8) TRUCK AND MARINE TERMINALS
(9) WAREHOUSES

STORAGE OCCUPANCIES ARE CHARACTERIZED BY THE PRESENCE OF RELATIVELY SMALL NUMBERS OF PERSONS IN PROPORTION TO THE AREA.

42.1.7* OCCUPANT LOAD. THE OCCUPANT LOAD, IN NUMBER OF PERSONS FOR WHOM MEANS OF EGRESS AND OTHER PROVISIONS ARE REQUIRED, SHALL BE DETERMINED ON THE BASIS OF THE MAXIMUM PROBABLE POPULATION OF THE SPACE UNDER CONSIDERATION.

A.42.1.7 THERE IS NO OCCUPANT LOAD FACTOR SPECIFIED FOR STORAGE OCCUPANCIES. RATHER, THE PROBABLE MAXIMUM NUMBER OF PERSONS PRESENT NEEDS TO BE CONSIDERED IN DETERMINING THE OCCUPANT LOAD.

42.2.1.1 EACH REQUIRED MEANS OF EGRESS SHALL BE IN ACCORDANCE WITH THE APPLICABLE PORTIONS OF CHAPTER 7.

42.2.1.2* NORMALLY UNOCCUPIED UTILITY CHASES THAT ARE SECURED FROM UNAUTHORIZED ACCESS AND ARE USED EXCLUSIVELY FOR ROUTING OF ELECTRICAL, MECHANICAL, OR PLUMBING EQUIPMENT SHALL NOT BE REQUIRED TO COMPLY WITH THE PROVISIONS OF CHAPTER 7.

7.1.3.1 EXIT ACCESS CORRIDORS CORRIDORS USED AS EXIT ACCESS AND SERVING AN AREA HAVING AN OCCUPANT LOAD EXCEEDING 30 SHALL BE SEPARATED FROM OTHER PARTS OF THE BUILDING BY WALLS HAVING NOT LESS THAN A 1-HOUR FIRE RESISTANCE RATING IN ACCORDANCE WITH SECTION 8.3, UNLESS OTHERWISE PERMITTED BY ONE OF THE FOLLOWING:

(1) THIS REQUIREMENT SHALL NOT APPLY TO EXISTING BUILDINGS, PROVIDED THAT THE OCCUPANCY CLASSIFICATION DOES NOT CHANGE.

(2) THIS REQUIREMENT SHALL NOT APPLY WHERE OTHERWISE PROVIDED IN CHAPTERS 11 THROUGH 43.

42.2.1 COMPONENTS PERMITTED. COMPONENTS OF MEANS OF EGRESS SHALL BE LIMITED TO THE TYPES DESCRIBED IN 42.2.2.2 THROUGH 42.2.2.12.

42.2.2.2.1 DOORS COMPLYING WITH 7.2.1.5 SHALL BE PERMITTED.

42.2.2.2.2 DELAYED EGRESS LOCKS COMPLYING WITH 7.2.1.6.1 SHALL BE PERMITTED.

42.2.2.2.3 ACCESS-CONTROLLED EGRESS DOORS COMPLYING WITH 7.2.1.6.2 SHALL BE PERMITTED.

42.2.2.2.4 LOCKS IN ACCORDANCE WITH 7.2.1.6.3 SHALL BE PERMITTED.

7.2.1.2.1 MEASUREMENT OF CLEAR WIDTH
FOR PURPOSES OF CALCULATING THE WIDTH OF THE DOORS SHALL BE MEASURED AS FOLLOWS:

(1) EACH DOOR LEAF IS REQUIRED TO BE NOT LESS THAN 36 INCHES IN WIDTH.
(2) THE PAIR OF DOORS IS REQUIRED TO PROVIDE SUFFICIENT, CLEAR, UNOBSTRUCTED WIDTH (WHICH WILL BE LESS THAN THE DOOR LEAF WIDTH) TO HANDLE ITS ASSIGNED OCCUPANT LOAD, BASED ON A CALCULATION USING THE APPROPRIATE EGRESS CAPACITY FACTOR IN TABLE 7.3.3.1.
(4) FOR ANY EXISTING DOOR ASSEMBLY, THE MEASUREMENT SHALL BE TAKEN WITH THE LEAF IN THE FULL OPEN POSITION.
(5) PROJECTIONS OF NOT MORE THAN 4 INCHES INTO THE DOOR OPENING WIDTH ON THE HINGE SIDE SHALL NOT BE CONSIDERED REDUCTIONS IN CLEAR WIDTH, PROVIDED THAT SUCH PROJECTIONS ARE FOR PURPOSES OF ACCOMMODATING PANIC HARDWARE OR FIRE EXIT HARDWARE, AND ARE LOCATED NOT LESS THAN 34 INCHES AND NOT MORE THAN 48 INCHES ABOVE THE FLOOR.
(6) PROJECTIONS EXCEEDING 4.8 in. ABOVE THE FLOOR SHALL NOT BE CONSIDERED REDUCTIONS IN CLEAR WIDTH.

7.3.3.1 EGRESS CAPACITY FOR APPROVED COMPONENTS OF MEANS OF EGRESS SHALL BE BASED ON THE FOLLOWING CAPACITY FIGURES FROM 7.3.3.1:

COMPONENTS: 0.2 INCHES IN WIDTH PER PERSON
STAIRS: 0.3 INCHES IN WIDTH PER PERSON

7.2.1.3 FLOOR LEVEL

7.2.1.3.1 THE ELEVATION OF THE FLOOR SURFACES ON BOTH OR BOTH FACES OF A DOOR SHALL NOT VARY BY MORE THAN 1/2 INCH.

7.2.1.3.3 THRESHOLDS AT DOOR OPENINGS SHALL NOT EXCEED 1/2" IN HEIGHT.

7.2.1.3.4 RAISED THRESHOLDS AND FLOOR LEVEL CHANGES IN EXCESS OF 1/4" AT DOOR OPENING SHALL BE BEVELLED WITH A SLOPE NOT STEEPER THAN 1 IN 12.

11-4.13.11 DOOR OPENING FORCE
THE MAXIMUM FORCE FOR PUSHING OR PULLING OPEN A DOOR SHALL BE AS FOLLOWS:

(1) FIRE DOORS SHALL HAVE THE MINIMUM OPENING FORCE ALLOWABLE BY THE APPROPRIATE ADMINISTRATIVE AUTHORITY
(2) OTHER DOORS
(a) EXTERIOR HINGED DOORS SHALL BE SO DESIGNED THAT SUCH DOORS CAN BE OPENED WITH A FORCE NOT EXCEEDING 8.5 LBF
(b) INTERIOR HINGED DOORS: 5 LBF
(c) SLIDING OR FOLDING DOORS: 5 LBF

7.2.1.4.2 DOOR LEAF SWING DIRECTION
DOOR LEAVES REQUIRED TO BE ON THE SIDE-HINGED OR PIVOTED-SWINGING TYPES HALL SWING IN THE DIRECTION OF EGRESS TRAVEL UNDER THE FOLLOWING CONDITIONS:

(1) WHERE SERVING A ROOM OR AREA WITH AN OCCUPANT LOAD OF 50 OR MORE, EXCEPT UNDER ANY OF THE FOLLOWING CONDITIONS:
(a) DOOR LEAVES IN HORIZONTAL EXISTS SHALL NOT BE REQUIRED TO SWING IN THE DIRECTION OF EGRESS WHERE PERMITTED BY 7.2.4.3.8.1 OR 7.2.4.3.8.2.
(b) DOOR LEAVES IN SMOKE BARRIERS SHALL NOT BE REQUIRED TO SWING IN THE DIRECTION OF EGRESS TRAVEL IN EXISTING HEALTH CARE OCCUPANCIES, AS PROVIDED IN CHAPTER 19
(2) WHERE THE DOOR ASSEMBLY IS USED IN AN EXIT ENCLOSURE, UNLESS THE DOOR OPENING SERVES AN INDIVIDUAL LIVING UNIT THAT OPENS DIRECTLY IN AN EXIT ENCLOSURE.
(3) WHERE THE DOOR OPENING SERVES A HIGH HAZARD CONTENTS AREA.

7.2.1.4.3.1 DURING ITS SWING, ANY DOOR LEAF IN A MEANS OF EGRESS SHALL NOT HAVE LESS THAN 1/2 OF THE REQUIRED WIDTH OF AN AISLE, A CORRIDOR, A PASSAGEWAY, OR A LANDING UNOBSTRUCTED, UNLESS BOTH OF THE FOLLOWING CONDITIONS ARE MET:

(1) THE DOOR OPENING PROVIDES ACCESS TO A STAIR IN AN EXISTING BUILDING
(2) THE DOOR OPENING MEETS THE REQUIREMENT OF 7.2.1.4.3.2

7.2.1.4.3.2 WHEN FULLY OPEN, ANY DOOR LEAF IN A MEANS OF EGRESS SHALL NOT PROJECT MORE THAN 7 INCHES INTO THE REQUIRED WIDTH OF AN AISLE, A CORRIDOR, A PASSAGEWAY, OR A LANDING, UNLESS THE DOOR LEAF IS EQUIPPED WITH AN APPROVED SELF-CLOSING DEVICE, AND IS NOT REQUIRED BY THE PROVISIONS OF 7.2.1.4.2 TO SWING IN THE DIRECTION OF EGRESS TRAVEL.

7.2.1.4.5.1 THE FORCES REQUIRED TO FULLY OPEN ANY DOOR LEAF MANUALLY IN A MEANS OF EGRESS SHALL NOT EXCEED 15 LBF TO RELEASE THE LATCH, 30 LBF TO SET THE LEAF IN MOTION, AND 15 LBF TO OPEN THE LEAF TO THE MINIMUM REQUIRED WIDTH, UNLESS OTHERWISE SPECIFIED AS FOLLOWS:

(1) THE OPENING FORCES FOR INTERIOR SIDE-HINGED OR PIVOTED-SWING DOOR LEAVES WITHOUT CLOSERS SHALL NOT EXCEED 5 LBF.
(2) THE OPENING FORCES OF OR EXISTING DOOR LEAVES IN AN EXISTING BUILDING SHALL NOT EXCEED 50 LBF APPLIED TO THE LATCH SIDE.
(3) THE OPENING FORCES FOR HORIZONTAL-SLIDING DOOR LEAVES IN DETENTION AND CORRECTIONAL OCCUPANCIES SHALL BE AS PROVIDED IN CHAPTERS 22 AND 23.
(4) THE OPENING FORCES OF FOR POWER-OPERATED DOORS SHALL BE AS PROVIDED IN 7.2.1.9.

7.2.1.5.3 LOCKS, IF PROVIDED, SHALL NOT REQUIRED THE USE OF A KEY, TOOL, OR SPECIAL KNOWLEDGE OR EFFORT FOR OPERATION FROM THE EGRESS SIDE.

7.2.1.5.5.1* EXTERIOR DOOR ASSEMBLIES SHALL BE PERMITTED TO HAVE KEY-OPERATED LOCKS FROM THE EGRESS SIDE, PROVIDED THAT ALL OF THE FOLLOWING CRITERIA ARE MET:

(1) THIS ALTERNATIVE IS PERMITTED IN CHAPTERS 11 THROUGH 43 FOR THE SPECIFIC OCCUPANCY.
(2) A READILY VISIBLE, DURABLE SIGN IN LETTERS NOT LESS THAN 1 INCH HIGH ON A CONTRASTING BACKGROUND THAT READS AS FOLLOWS ON OR ADJACENT TO THE DOOR LEAF: "THIS DOOR TO REMAIN UNLOCKED WHEN THE BUILDING IS OCCUPIED."
(3) THE LOCKING DEVICE IS OF A TYPE THAT IS READILY DISTINGUISHABLE AS LOCKED.
(4) A KEY IS IMMEDIATELY AVAILABLE TO ANY OCCUPANT INSIDE THE BUILDING WHEN IT IS LOCKED.

7.2.1.5.5.2 THE ALTERNATIVE PROVISIONS OF 7.2.1.5.5.1 SHALL BE PERMITTED TO BE REVOKED BY THE AUTHORITY HAVING JURISDICTION FOR CAUSE.

42.2.2.2.2 DELAYED EGRESS LOCKS COMPLYING WITH 7.2.1.6.1 SHALL BE PERMITTED.

7.2.1.6.1 APPROVED, LISTED, DELAYED EGRESS LOCKING SYSTEMS SHALL BE PERMITTED TO BE INSTALLED ON DOOR ASSEMBLIES SERVING LOW AND AND ORDINARY HAZARD CONTENTS IN BUILDINGS PROTECTED THROUGHOUT BY AN APPROVED, SUPERVISED AUTOMATIC FIRE DETECTION SYSTEM IN ACCORDANCE WITH SECTION 9.7, AND WHERE PERMITTED IN CHAPTERS 11 THROUGH 43, PROVIDED THAT ALL OF THE FOLLOWING CRITERIA ARE MET:

(1) THE DOOR LEAVES SHALL UNLOCK IN THE DIRECTION OF EGRESS UPON ACTUATION OF ONE OF THE FOLLOWING:
(a) APPROVED, SUPERVISED AUTOMATIC SPRINKLER SYSTEM IN ACCORDANCE WITH SECTION 9.7
(b) NOT MORE THAN ONE HEAT DETECTOR OF AN APPROVED, SUPERVISED AUTOMATIC FIRE DETECTION SYSTEM IN ACCORDANCE WITH SECTION 9.6
(c) NOT MORE THAN (2) SMOKE DETECTORS OF AN APPROVED, SUPERVISED AUTOMATIC FIRE DETECTION SYSTEM IN ACCORDANCE WITH SECTION 9.6
(2) THE DOOR LEAVES SHALL UNLOCK IN THE DIRECTION OF EGRESS UPON LOSS OF POWER CONTROLLING THE LOCK OR LOCKING MECHANISM.
(3)* AN IRREVERSIBLE PROCESS SHALL RELEASE THE LOCK IN THE DIRECTION OF EGRESS WITHIN 15 SECONDS, OR 30 SECONDS WHERE APPROVED BY THE AUTHORITY HAVING JURISDICTION, UPON APPLICATION OF A FORCE TO RELEASE DEVICE REQUIRED IN 7.2.1.5.10 UNDER ALL OF THE FOLLOWING CONDITIONS:
(a) THE FORCE SHALL NOT BE REQUIRED TO EXCEED 15 LBF
(b) THE FORCE SHALL NOT BE REQUIRED TO BE CONTINUOUSLY APPLIED FOR MORE THAN 3 SECONDS
(c) THE INITIATION OF THE RELEASE PROCESS SHALL ACTIVATE AN AUDIBLE SIGNAL IN THE VICINITY OF THE DOOR OPENING
(d) ONCE THE LOCK HAS BEEN RELEASED BY THE APPLICATION OF FORCE TO THE RELEASING DEVICE, RELOCKING SHALL BE BY MANUAL MEANS ONLY.

42.2.2.2.3 ACCESS-CONTROLLED EGRESS DOORS COMPLYING WITH 7.2.1.6.2 SHALL BE PERMITTED.

42.2.2.2.4 LOCKS IN ACCORDANCE WITH 7.2.1.6.3 SHALL BE PERMITTED.

42.2.2.2.5 APPROVED EXISTING HORIZONTAL-SLIDING FIRE DOORS SHALL BE PERMITTED IN THE MEANS OF EGRESS WHERE THEY COMPLY WITH ALL OF THE FOLLOWING CONDITIONS:

(1) THEY ARE HELD OPEN BY FUSIBLE LINKS
(2) THE FUSIBLE LINKS ARE RATED AT NOT LESS THAN 165°F (74°C).
(3) THE FUSIBLE LINKS ARE LOCATED NOT MORE THAN 10 FT (3050 MM) ABOVE THE FLOOR.
(4) THE FUSIBLE LINKS ARE IN IMMEDIATE PROXIMITY TO THE DOOR OPENING.
(5) THE FUSIBLE LINKS ARE NOT LOCATED ABOVE A CEILING.
(6) THE DOOR IS NOT CREDITED WITH PROVIDING ANY PROTECTION UNDER THIS CODE.

7.2.1.6.1.2 THE PROVISIONS OF 7.2.1.6.2 FOR ACCESS-CONTROLLED EGRESS DOOR ASSEMBLIES SHALL NOT APPLY TO DOOR ASSEMBLIES WITH DELAYED-EGRESS LOCKING SYSTEMS.

7.2.1.6.2* ACCESS-CONTROLLED EGRESS DOOR ASSEMBLIES WHERE PERMITTED IN CHAPTERS 11 THROUGH 43, DOOR ASSEMBLIES IN THE MEANS OF EGRESS SHALL BE PERMITTED TO BE EQUIPPED WITH ELECTRICAL LOCK HARDWARE THAT PREVENTS EGRESS, PROVIDED THAT ALL OF THE FOLLOWING CRITERIA ARE MET:

(1) A SENSOR SHALL BE PROVIDED ON THE EGRESS SIDE, ARRANGED TO UNLOCK THE DOOR LEAF IN THE DIRECTION OF EGRESS UPON DETECTION OF AN APPROACHING OCCUPANT.
(2) DOOR LEAVES SHALL AUTOMATICALLY UNLOCK IN THE DIRECTION OF EGRESS UPON LOSS OF POWER TO THE SENSOR OR TO THE PART OF THE ACCESS CONTROL SYSTEM THAT LOCKS THE DOOR LEAVES.
(3) DOOR LOCKS SHALL BE ARRANGED TO UNLOCK IN THE DIRECTION OF EGRESS FROM A MANUAL RELEASE DEVICE COMPLYING WITH ALL OF THE FOLLOWING CRITERIA:

(A) THE MANUAL RELEASE DEVICE SHALL BE LOCATED ON THE EGRESS SIDE, 40 IN. TO 48 IN. (1015 MM TO 1220 MM) VERTICALLY ABOVE THE FLOOR, AND WITHIN 60 IN. (1525 MM) OF THE SECURED DOOR OPENINGS.
(B) THE MANUAL RELEASE DEVICE SHALL BE READILY ACCESSIBLE, AND CLEARLY IDENTIFIED BY A SIGN THAT READS AS FOLLOWS: PUSH TO EXIT.
(C) WHEN OPERATED, THE MANUAL RELEASE DEVICE SHALL RESULT IN DIRECT INTERRUPTION OF POWER TO THE LOCK - INDEPENDENT OF THE LOCKING SYSTEM ELECTRONICS - AND THE LOCK SHALL REMAIN UNLOCKED FOR NOT LESS THAN 30 SECONDS.

(4) ACTIVATION OF THE BUILDING FIRE-PROTECTIVE SIGNALING SYSTEM, IF PROVIDED, SHALL AUTOMATICALLY UNLOCK THE DOOR LEAVES IN THE DIRECTION OF EGRESS, AND THE DOOR LEAVES SHALL REMAIN UNLOCKED UNTIL THE FIRE-PROTECTIVE SIGNALING SYSTEM HAS BEEN MANUALLY RESET.
(5) THE ACTIVATION OF MANUAL FIRE ALARM BOXES THAT ACTIVATE THE BUILDING FIRE-PROTECTIVE SIGNALING SYSTEM SPECIFIED IN 7.2.1.6.2(4) SHALL NOT BE REQUIRED TO UNLOCK THE DOOR LEAVES.
(6) ACTIVATION OF THE BUILDING AUTOMATIC SPRINKLER OR FIRE DETECTION SYSTEM, IF PROVIDED, SHALL AUTOMATICALLY UNLOCK THE DOOR LEAVES IN THE DIRECTION OF EGRESS, AND THE DOOR LEAVES SHALL REMAIN UNLOCKED UNTIL THE FIRE-PROTECTIVE SIGNALING SYSTEM HAS BEEN MANUALLY RESET.
(7) THE EGRESS SIDE OF ACCESS-CONTROLLED EGRESS DOORS, OTHER THAN EXISTING ACCESS-CONTROLLED EGRESS DOORS, SHALL BE PROVIDED WITH EMERGENCY LIGHTING IN ACCORDANCE WITH SECTION 7.9.

A.7.2.1.6.2 IT IS NOT THE INTENT TO REQUIRE DOORS THAT RESTRICT ACCESS BUT THAT COMPLY WITH 7.2.1.5.10 TO COMPLY WITH THE ACCESS-CONTROLLED EGRESS DOOR PROVISIONS OF 7.2.1.6.2. THE TERM ACCESS-CONTROLLED WAS CHOSEN WHEN THE REQUIREMENTS OF 7.2.1.6.2 WERE FIRST ADDED TO THE CODE TO DESCRIBE THE FUNCTION IN WHICH A DOOR IS ELECTRONICALLY LOCKED FROM THE INSIDE IN A MANNER THAT RESTRICTS EGRESS. IT IS NOT THE CODE'S INTENT TO PROHIBIT METHODS OF SECURING THE DOOR IN A LOCKED POSITION FROM THE OUTSIDE WITH ACCESS CONTROL PRODUCTS, PROVIDED THAT THE EGRESS REQUIREMENTS OF 7.2.1.6.2 ARE MET.

7.2.1.6.3 ELEVATOR LOBBY EXIT ACCESS DOOR ASSEMBLIES LOCKING. WHERE PERMITTED IN CHAPTERS 11 THROUGH 43, DOOR ASSEMBLIES SEPARATING THE ELEVATOR LOBBY FROM THE EXIT ACCESS REQUIRED BY 7.4.1.6.1 SHALL BE PERMITTED TO BE ELECTRICALLY LOCKED, PROVIDED THAT ALL THE FOLLOWING CRITERIA ARE MET:

(1) THE LOCK IS LISTED IN ACCORDANCE WITH ANSI/UL 294, STANDARD FOR ACCESS CONTROL SYSTEM UNITS.
(2) THE BUILDING IS PROTECTED THROUGHOUT BY A FIRE ALARM SYSTEM IN ACCORDANCE WITH SECTION 9.6.
(3) THE BUILDING IS PROTECTED THROUGHOUT BY AN APPROVED, SUPERVISED AUTOMATIC SPRINKLER SYSTEM IN ACCORDANCE WITH SECTION 9.7.
(4) WATERFLOW IN THE SPRINKLER SYSTEM REQUIRED BY 7.2.1.6.3(3) IS ARRANGED TO INITIATE THE BUILDING FIRE ALARM SYSTEM.
(5) THE ELEVATOR LOBBY IS PROTECTED BY AN APPROVED, SUPERVISED SMOKE DETECTION SYSTEM IN ACCORDANCE WITH SECTION 9.6.
(6) DETECTION OF SMOKE BY THE DETECTION SYSTEM REQUIRED BY 7.2.1.6.3(5) IS ARRANGED TO INITIATE THE BUILDING FIRE ALARM SYSTEM AND NOTIFY BUILDING OCCUPANTS.
(7) INITIATION OF THE BUILDING FIRE ALARM SYSTEM BY OTHER THAN MANUAL FIRE ALARM BOXES UNLOCKS THE ELEVATOR LOBBY DOOR ASSEMBLY.
(8) LOSS OF POWER TO THE ELEVATOR LOBBY ELECTRONIC LOCK SYSTEM UNLOCKS THE ELEVATOR LOBBY DOOR ASSEMBLIES.
(9) ONCE UNLOCKED, THE ELEVATOR LOBBY DOOR ASSEMBLIES REMAIN UNLOCKED UNTIL THE BUILDING FIRE ALARM SYSTEM HAS BEEN MANUALLY RESET.
(10) WHERE THE ELEVATOR LOBBY DOOR ASSEMBLIES REMAIN LATCHED AFTER BEING UNLOCKED, LATCH-RELEASING HARDWARE IN ACCORDANCE WITH 7.2.1.5.10.19 SERVED TO THE DOOR LEAVES.
(11) A TWO-WAY COMMUNICATION SYSTEM IS PROVIDED FOR COMMUNICATION BETWEEN THE ELEVATOR LOBBY AND A CENTRAL CONTROL POINT THAT IS CONSTANTLY STAFFED.
(12) THE CENTRAL CONTROL POINT STAFF REQUIRED BY 7.2.1.6.3(11) IS CAPABLE, TRAINED, AND AUTHORIZED TO PROVIDE EMERGENCY ASSISTANCE.
(13) THE PROVISIONS OF 7.2.1.6.1 FOR DELAYED-EGRESS LOCKING SYSTEMS ARE NOT APPLIED TO THE ELEVATOR LOBBY DOOR ASSEMBLIES.
(14)* THE PROVISIONS OF 7.2.1.6.2 FOR ACCESS-CONTROLLED EGRESS DOOR ASSEMBLIES ARE NOT APPLIED TO THE ELEVATOR LOBBY DOOR ASSEMBLIES.

7.2.1.7.1 WHERE A DOOR ASSEMBLY IS REQUIRED TO BE EQUIPPED WITH PANIC OR FIRE EXIT HARDWARE, SUCH HARDWARE SHALL MEET ALL OF THE FOLLOWING CRITERIA:

(1) IT SHALL CONSIST OF A CROSS BAR OR A PUSH PAD, THE ACTUATING PORTION OF WHICH EXTENDS ACROSS NOT LESS THAN ONE-HALF OF THE WIDTH OF THE DOOR LEAF.
(2) IT SHALL BE MOUNTED AS FOLLOWS:

(A) NEW INSTALLATIONS SHALL BE NOT LESS THAN 34 IN. (865 MM), AND NOT MORE THAN 48 IN. (1220 MM), ABOVE THE FLOOR.
(B) EXISTING INSTALLATIONS SHALL BE NOT LESS THAN 30 IN. (760 MM), AND NOT MORE THAN 48 IN. (1220 MM), ABOVE THE FLOOR.

(3) IT SHALL BE CONSTRUCTED SO THAT A HORIZONTAL FORCE NOT TO EXCEED 15 LBF (66 N) ACTUATES THE CROSS BAR OR PUSH PAD AND LATCHES.

7.3.4.1 THE WIDTH OF ANY MEANS OF EGRESS, UNLESS OTHERWISE PROVIDED IN 7.3.4.1.1 THROUGH 7.3.4.1.3, SHALL BE AS FOLLOWS:

(1) NOT LESS THAN THAT REQUIRED FOR A GIVEN EGRESS COMPONENT IN THIS CHAPTER OR CHAPTERS 11 THROUGH 43
(2) NOT LESS THAN 36 INCHES WHERE ANOTHER PART OF THIS CHAPTER AND CHAPTERS 11 THROUGH 43 DO NOT SPECIFY A MINIMUM WIDTH

42.2.2.3.1 STAIRS SHALL COMPLY WITH 7.2.2 AND SHALL BE PERMITTED TO BE MODIFIED BY ANY OF THE FOLLOWING:

(1) NONCOMBUSTIBLE GRATED STAIRT READS AND NONCOMBUSTIBLE GRATED LANDING FLOORS SHALL BE PERMITTED.
(2) INDUSTRIAL EQUIPMENT ACCESS STAIRS IN ACCORDANCE WITH 40.2.5.3 SHALL BE PERMITTED.

42.2.2.5.2* IN HORIZONTAL EXITS WHERE THE OPENING IS PROTECTED BY A FIRE DOOR ASSEMBLY ON EACH SIDE OF THE WALL IN WHICH IT IS LOCATED, ONE FIRE DOOR SHALL BE OF THE SWINGING TYPE, AS PROVIDED IN 7.2.4.3.8, AND THE OTHER SHALL BE PERMITTED TO BE AN AUTOMATIC-SLIDING FIRE DOOR THAT SHALL BE KEPT OPEN WHENEVER THE BUILDING IS OCCUPIED.

A.42.2.2.5.2 THE CUSTOMARY BUILDING CODE REQUIREMENT FOR FIRE DOORS ON BOTH SIDES OF A OPENING IN A FIRE WALL IS PERMITTED TO BE MET BY HAVING AN AUTOMATIC-SLIDING FIRE DOOR ON ONE SIDE, AND A SELF-CLOSING FIRE DOOR SWINGING OUT FROM THE OTHER SIDE OF THE WALL. THIS ARRANGEMENT QUALIFIES ONLY AS A HORIZONTAL EXIT FROM THE SLIDING DOOR SIDE.

7.4.1.1 THE NUMBER OF MEANS OF EGRESS FROM ANY BALCONY, MEZZANINE, STORY, OR PORTION THEREOF SHALL NOT BE LESS THAN TWO, EXCEPT UNDER ONE OF THE FOLLOWING CONDITIONS:

(1) A SINGLE MEANS OF EGRESS SHALL BE PERMITTED WHERE PERMITTED IN CHAPTERS 11 THROUGH 43.
(2) A SINGLE MEANS OF EGRESS SHALL BE PERMITTED FOR A MEZZANINE OR BALCONY WHERE THE COMMON PATH OF TRAVEL LIMITATIONS OF CHAPTERS 11 THROUGH 43 ARE MET.

7.4.1.3 ACCESSIBLE MEANS OF EGRESS IN ACCORDANCE WITH 7.5.4 THAT DO NOT UTILIZE ELEVATORS SHALL BE PERMITTED TO SERVE AS ANY OR ALL OF THE REQUIRED MINIMUM NUMBER OF EGRESS.

7.4.1.4 THE OCCUPANT LOAD OF EACH STORY CONSIDERED INDIVIDUALLY SHALL BE REQUIRED TO BE USED IN COMPUTING THE NUMBER OF MEANS OF EGRESS AT EACH STORY, PROVIDED THAT THE NUMBER OF MEANS OF EGRESS IS NOT DECREASED IN THE DIRECTION OF EGRESS TRAVEL.

7.4.1.6.1 EACH ELEVATOR LANDING AND LOBBY SHALL HAVE ACCESS TO AT LEAST (1) EXIT

7.4.1.6.2 THE ELEVATOR LANDING AND LOBBY EXIT ACCESS REQUIRED BY 7.4.1.6.1 SHALL NOT REQUIRE THE USE OF A KEY, A TOOL, SPECIAL KNOWLEDGE, OR SPECIAL EFFORT, UNLESS PERMITTED BY 7.4.1.6.3

7.5.1.3.1 WHERE MORE THAN ONE EXIT, EXIT ACCESS, OR EXIT DISCHARGE IS REQUIRED FROM A BUILDING OR PORTION THEREOF, SUCH EXITS, EXIT ACCESSES, OR EXIT DISCHARGES SHALL BE REMOTELY LOCATED FROM EACH OTHER AND BE ARRANGED TO MINIMIZE THE POSSIBILITY THAT MORE THAN ONE HAS THE POTENTIAL TO BE BLOCKED BY ANY ONE FIRE OR EMERGENCY CONDITION.

7.5.1.3.2* WHERE (2) EXITS, EXIT ACCESS, OR EXIT DISCHARGE ARE REQUIRED, THEY SHALL BE LOCATED AT A DISTANCE FROM ONE ANOTHER NOT LESS THAN ONE-HALF THE LENGTH OF THE MAXIMUM OVERALL DIAGONAL DIMENSION OF THE BUILDING OR AREA TO BE SERVED, MEASURED IN A STRAIGHT LINE BETWEEN THE NEAREST EDGES OF THE EXITS, EXIT ACCESSES, OR EXIT DISCHARGES, UNLESS PROVIDED IN 7.5.1.3.3 THROUGH 7.5.1.3.5

7.6.3* WHERE OPEN STAIRWAYS OR RAMPS ARE PERMITTED AS A PATH OF TRAVEL TO REQUIRED EXITS, THE DISTANCE SHALL INCLUDE THE TRAVEL ON THE STAIRWAY OR RAMP AND THE TRAVEL FROM THE END OF THE STAIRWAY OR RAMP TO AN OUTSIDE DOOR OR OTHER EXIT IN ADDITION TO THE DISTANCE TRAVELED TO REACH THE STAIRWAY OR RAMP.

A.7.6.3 EXAMPLES OF LOCATIONS WHERE OPEN STAIRWAYS MIGHT EXIST INCLUDE BETWEEN MEZZANINES OR BALCONIES AND THE FLOOR BELOW.

7.8.1.3 THE FLOORS AND OTHER WALKING SURFACES WITHIN AN EXIT AND WITHIN THE PORTIONS OF THE EXIT ACCESS AND EXIT DISCHARGE DESIGNATED IN 7.8.1.1 SHALL BE ILLUMINATED AS FOLLOWS:

(1) DURING CONDITIONS OF STAIR USE, THE MINIMUM ILLUMINATION FOR NEW STAIRS SHALL BE AT LEAST 10 FC (108 LUX), MEASURED AT THE WALKING SURFACE.
(2) THE MINIMUM ILLUMINATION FOR FLOORS AND OTHER WALKING SURFACES, OTHER THAN NEW STAIRS DURING CONDITIONS OF STAIR USE, SHALL BE TO VALUES OF AT LEAST 1 FC (10.8 LUX), MEASURED AT THE FLOOR
(3) IN ASSEMBLY OCCUPANCIES, THE ILLUMINATION OF THE WALKING SURFACES OF EXIT ACCESS SHALL BE AT LEAST 0.2 FC (2.2 LUX) DURING PERIODS OF PERFORMANCES OR PROJECTIONS INVOLVING DIRECT LIGHT
(4) THE MINIMUM ILLUMINATION REQUIREMENTS SHALL NOT APPLY WHERE OPERATIONS OR PROCESS REQUIRE LOW LIGHTING LEVELS.

7.8.1.4* REQUIRED ILLUMINATION SHALL BE ARRANGED SO THE FAILURE OF ANY SINGLE LIGHTING UNIT DOES NOT RESULT IN AN ILLUMINATION LEVEL OF LESS THAN 0.2 FC (2.2 LUX) IN ANY DESIGNATED AREA.

7.10.1.2.1* EXITS, OTHER THAN MAIN EXTERIOR EXIT DOORS SHALL BE MARKED BY AN APPROVED SIGN THAT ARE CLEARLY IDENTIFIABLE AS EXITS, SHALL BE MARKED BY AN APPROVED SIGN THAT IS READILY VISIBLE FROM ANY DIRECTION OF EXIT ACCESS.

42.3.6 CORRIDORS. THE PROVISIONS OF 7.1.3.1 SHALL NOT APPLY.

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CHAPTER 7: FIRE AND SMOKE PROTECTION FEATURES

SECTION 708 FIRE PARTITIONS

708.3 FIRE PARTITIONS SHALL HAVE A FIRE-RESISTANCE RATING OF NOT LESS THAN 1-HOUR

EXCEPTIONS:
(1) CORRIDOR WALLS PERMITTED TO HAVE A 1/2-HOUR FIRE RESISTANCE RATING BY TABLE 1020.1

1020.1 CORRIDORS SHALL BE FIRE-RESISTANCE RATED IN ACCORDANCE WITH TABLE 1020. 1. THE CORRIDOR WALLS REQUIRED TO BE FIRE RESISTANCE RATED SHALL COMPLY WITH SECTION 708 FOR FIRE PARTITIONS

- PER TABLE 1020. 1:
S-1 WITH SPRINKLER SYSTEM = 0 FIRE RESISTANCE RATING

SECTION 713 SHAFT ENCLOSURES

713.4 FIRE RESISTANCE RATING. SHAFT ENCLOSURES SHALL HAVE A FIRE-RESISTANCE RATING OF NOT LESS THAN 2-HOURS WHERE CONNECTING FOUR STORIES OR MORE, AND NOT LESS THAN 1-HOUR WHERE CONNECTING LESS THAN FOUR STORIES. THE NUMBER OF STORIES CONNECTED BY THE SHAFT ENCLOSURE SHALL INCLUDE ANY BASEMENTS BUT NOT ANY MEZZANINES. SHAFT ENCLOSURES SHALL HAVE A FIRE RESISTANCE RATING NOT LESS THE THE FLOOR ASSEMBLY PENETRATED, BUT NEED NOT EXCEED 2-HOURS. SHAFT ENCLOSURES SHALL MEET THE REQUIREMENTS OF SECTION 703.2.1.

713.5 CONTINUITY. SHAFT ENCLOSURES SHALL BE CONSTRUCTED AS FIRE BARRIERS IN ACCORDANCE WITH SECTION 707 OR HORIZONTAL ASSEMBLIES CONSTRUCTED IN ACCORDANCE WITH SECTION 711, OR BOTH, AND SHALL HAVE CONTINUITY WITH SECTION 707.5 FOR FIRE BARRIERS OR 711.2.2 FOR HORIZONTAL ASSEMBLIES, AS APPLICABLE

713.7 OPENINGS IN A SHAFT ENCLOSURE SHALL BE PROTECTED IN ACCORDANCE WITH SECTION 716 AS REQUIRED FOR FIRE BARRIERS. DOORS SHALL BE SELF OR AUTOMATIC-CLOSING BY SMOKE DETECTION IN ACCORDANCE WITH SECTION 716.5.9.3

716.5.9.3 SMOKE-ACTIVATED DOORS. AUTOMATIC-CLOSING DOORS INSTALLED IN THE FOLLOWING LOCATIONS SHALL BE AUTOMATIC-CLOSING BY THE ACTUATION OF SMOKE DETECTORS INSTALLED IN ACCORDANCE WITH SECTION 907.3 OR BY LOSS OF POWER TO THE SMOKE DETECTOR OR HOLD-OPEN DEVICE. DOORS THAT ARE AUTOMATIC-CLOSING BY SMOKE DETECTION SHALL NOT HAVE MORE THAN A 10-SECOND DELAY BEFORE THE DOOR STARTS TO CLOSE AFTER THE SMOKE DETECTOR IS ACTUATED.

(1) DOORS INSTALLED ACROSS A CORRIDOR
(2) DOORS INSTALLED IN THE ENCLOSURES OF EXIT ACCESS STAIRWAYS AND RAMPS WITH SECTIONS 1019 AND 1023 RESPECTIVELY.
(3) DOORS THAT PROTECT OPENINGS IN EXITS OR CORRIDORS REQUIRED TO BE OF FIRE-RESISTANCE-RATED CONSTRUCTION.
(4) DOORS THAT PROTECT OPENINGS IN WALLS THAT ARE CAPABLE OF RESISTING THE PASSAGE OF SMOKE IN ACCORDANCE WITH SECTION 509.4.
(5) DOORS INSTALLED IN SMOKE BARRIERS IN ACCORDANCE WITH SECTION 709. 5.
(6) DOORS INSTALLED IN FIRE PARTITIONS IN ACCORDANCE WITH 708.6.
(7) DOORS INSTALLED IN FIRE WALLS IN ACCORDANCE WITH SECTION 706.8.
(8) DOORS INSTALLED IN SHAFT ENCLOSURES IN ACCORDANCE WITH 713.7.
(9) DOORS INSTALLED IN WASTE AND LINEN CHUTES, DISCHARGE OPENINGS AND ACCESS AND DISCHARGE ROOMS IN ACCORDANCE WITH SECTION 713.13. LOADING DOORS INSTALLED IN WASTE AND LINEN CHUTES SHALL MEET THE REQUIREMENTS OF SECTIONS 716.5.9 AND 716.5.9.1.1.
(10) DOORS INSTALLED IN THE WALLS FOR COMPARTMENTATION OF UNDERGROUND BUILDINGS IN ACCORDANCE WITH SECTION 405.4.2.
(11) DOORS INSTALLED IN THE ELEVATOR LOBBY WALLS OF UNDERGROUND BUILDINGS IN ACCORDANCE WITH SECTION 405.4.3.
(12) DOORS INSTALLED IN SMOKE PARTITIONS IN ACCORDANCE WITH SECTION 710.5.2.3.

706.8 EACH OPENING THROUGH A FIRE WALL SHALL BE PROTECTED WITH SECTION 716.5 AND SHALL NOT EXCEED 156 FT². THE AGGREGATE WIDTH OF OPENINGS AT ANY FLOOR LEVEL SHALL NOT EXCEED 25 PERCENT OF THE LENGTH OF THE WALL.

EXCEPTIONS:
(1) OPENINGS ARE NOT PERMITTED IN PARTY WALLS CONSTRUCTED IN ACCORDANCE WITH SECTION 706.1.1.
(2) OPENINGS SHALL NOT BE LIMITED TO 156 FT² WHERE BOTH BUILDINGS ARE EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM INSTALLED IN ACCORDANCE WITH SECTION 903.3.1.1.

708.6 OPENINGS IN A FIRE PARTITION SHALL BE PROTECTED IN ACCORDANCE WITH SECTION 716.

709.5 OPENINGS IN A SMOKE BARRIER SHALL BE PROTECTED IN ACCORDANCE WITH SECTION 716.

713.7 OPENINGS IN A SHAFT ENCLOSURE SHALL BE PROTECTED IN ACCORDANCE WITH SECTION 716 AS REQUIRED FOR FIRE BARRIERS. DOORS SHALL BE SELF OR AUTOMATIC-CLOSING BY SMOKE DETECTION IN ACCORDANCE WITH SECTION 716.5.9.3.

713.7.1 OPENINGS OTHER THAN THOSE NECESSARY FOR THE PURPOSE OF THE SHAFT SHALL NOT BE PERMITTED IN SHAFT ENCLOSURES.

CHAPTER 10: MEANS OF EGRESS

TABLE 1004.1.2 THE MAXIMUM FLOOR AREA ALLOWANCES PER OCCUPANT:

ACCESSORY STORAGE AREAS:	300 GROSS
SHOPS AND VOCATIONAL ROOMS:	50 NET
MERCANTILE:	60 GROSS
WAREHOUSES:	500 GROSS
ASSEMBLY (UNCONCENTRATED)	15 NET
KITCHENS, COMMERCIAL	200 GROSS

1005.3 THE REQUIRED CAPACITY, IN INCHES, OF MEANS OF EGRESS FOR ANY ROOM, AREA, SPEC, OR STORY SHALL NOT BE LESS THAN THAT DETERMINED IN ACCORDANCE WITH SECTIONS 1005.3.1 AND 1005.3.2.

1005.3.1 THE CAPACITY, IN INCHES, OF MEANS OF EGRESS STAIRWAYS SHALL BE CALCULATED BY MULTIPLYING THE OCCUPANT LOAD SERVED BY SUCH STAIRWAYS BY A MEANS OF EGRESS FACTOR OF 0.3 INCH PER OCCUPANT. WHERE STAIRWAYS SERVE MORE THAN ONE STORY, ONLY THE OCCUPANT LOAD OF EACH STORY CONSIDERED INDIVIDUALLY SHALL BE USED IN CALCULATING THE REQUIRED CAPACITY OF THE STAIRWAYS SERVING THAT STORY.

EXCEPTIONS:
(1) FOR OTHER THAN GROUP H AND I-2 OCCUPANCIES, THE CAPACITY, IN INCHES, OF MEANS OF EGRESS STAIRWAYS SHALL BE CALCULATED BY MULTIPLYING THE OCCUPANT LOADS SERVED BY SUCH STAIRWAYS BY A MEANS OF EGRESS CAPACITY OF 0.2 INCH PER OCCUPANT IN BUILDINGS EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM INSTALL IN ACCORDANCE WITH SECTION 903.3.1.1 OR 903.3.1.2 AND AN EMERGENCY VOICE/ALARM COMMUNICATION SYSTEM IN ACCORDANCE WITH SECTION 907.5.2.2.
(2) FACILITIES WITH SMOKE PROTECTED ASSEMBLY SEATING SHALL BE PERMITTED TO USE THE CAPACITY FACTORS IN TABLE 1029.6.2 INDICATED FOR STEPPED AISLES FOR EXIT ACCESS OR EXIT STAIRWAYS WHERE THE ENTIRE PATH FOR MEANS OF EGRESS FROM THE SEATING TO THE EXIT DISCHARGE IS PROVIDED WITH A SMOKE CONTROL SYSTEM COMPLYING WITH SECTION 909.
(3) FACILITIES WITH OUTDOOR SMOKE PROTECTED ASSEMBLY SEATING SHALL BE PERMITTED TO THE CAPACITY FACTORS IN SECTION 1029.6.3 INDICATED FOR STEPPED AISLES FOR EXIT ACCESS OR EXIT STAIRWAYS WHERE THE ENTIRE PATH FOR MEANS OF EGRESS FROM THE SEATING TO THE EXIT DISCHARGE IS OPEN TO THE OUTDOORS.

1005.3.2 THE CAPACITY, IN INCHES, OF MEANS OF EGRESS COMPONENTS OTHER THAN STAIRWAYS SHALL BE CALCULATED BY MULTIPLYING THE OCCUPANT LOAD BY A MEANS OF EGRESS CAPACITY FACTOR OF 0.2 INCH PER OCCUPANT.

1006.3 THE MEANS OF EGRESS SYSTEM SERVING ANY STORY OR OCCUPIED ROOF SHALL BE PROVIDED WITH THE NUMBER OF EXITS BASED ON THE AGGREGATE OCCUPANT LOAD SERVED IN ACCORDANCE WITH THIS SECTION. THE PATH OF EGRESS TRAVEL TO AN EXIT SHALL NOT PASS THROUGH MORE THAN ONE ADJACENT STORY.

1006.3.1 EACH STORY SHALL HAVE THE MINIMUM NUMBER OF INDEPENDENT EXITS, OR ACCESS TO EXITS, AS SPECIFIED IN TABLE 1006.3.1. A SINGLE EXIT OR ACCESS TO A SINGLE EXIT SHALL BE PERMITTED IN ACCORDANCE WITH SECTION 1006.3.2. THE REQUIRED NUMBER OF EXITS, OR EXIT ACCESS STAIRWAYS OR RAMPS PROVIDING ACCESS TO EXITS, FROM ANY STORY OR OCCUPIED ROOF SHALL BE MAINTAINED UNTIL ARRIVAL AT THE EXIT DISCHARGE OR PUBLIC WAY.

1006.3.2 A SINGLE EXIT OR ACCESS TO A SINGLE EXIT SHALL BE PERMITTED FROM ANY STORY OR OCCUPIED ROOF WHERE ONE OF THE FOLLOWING CONDITIONS EXISTS:

(1) THE OCCUPANT LOAD, NUMBER OF DWELLING UNITS AND COMMON PATH EGRESS TRAVEL DISTANCE DOES NOT EXCEED THE VALUES IN TABLE 1006.3.2(1) OR 1006.3.2(2).
(2) ROOMS, AREAS, AND SPACES COMPLYING WITH SECTION 1006.2.1 WITH EXITS THAT DISCHARGE DIRECTLY TO THE EXTERIOR LEVEL OF EXIT DISCHARGE, ARE PERMITTED TO HAVE ONE EXIT OR ACCESS TO A SINGLE EXIT.
(3) PARKING GARAGES WHERE VEHICLES ARE MECHANICALLY PARKED SHALL BE PERMITTED TO HAVE A SINGLE EXIT OR ACCESS TO A SINGLE EXIT.

1006.3.2.1 MIXED OCCUPANCIES. WHERE ONE EXIT, OR EXIT ACCESS STAIRWAY OR RAMP PROVIDING ACCESS TO EXITS AT OTHER STORIES, IS PERMITTED TO SERVE INDIVIDUAL STORIES, MIXED OCCUPANCIES SHALL BE PERMITTED TO BE SERVED BY SINGLE EXITS PROVIDED EACH INDIVIDUAL OCCUPANCY COMPLIES WITH THE APPLICABLE REQUIREMENTS OF TABLE 1006.3.2(1) OR 1006.3.2(2) FOR THAT OCCUPANCY. WHERE APPLICATION CUMULATIVE OCCUPANT LOADS FROM ADJACENT OCCUPANCIES SHALL BE CONSIDERED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 1004.1. IN EACH STORY OF A MIXED OCCUPANCY BUILDING, THE MAXIMUM NUMBER OF OCCUPANTS SERVED BY A SINGLE EXIT SHALL BE SUCH THAT THE SUM OF THE RATIOS OF THE CALCULATED NUMBER OF OCCUPANTS OF THE SPACE DIVIDED BY THE ALLOWABLE NUMBER OF OCCUPANTS INDICATED IN TABLE 1006.3.2(2) FOR EACH OCCUPANCY DOES NOT EXCEED ONE. WHERE DWELLING UNITS ARE LOCATED ON A STORY WITH OTHER OCCUPANCIES, THE ACTUAL NUMBER OF DWELLING UNITS DIVIDED BY FOUR PLUS THE RATIO FROM THE OTHER OCCUPANCY DOES NOT EXCEED ONE.

1008.1 ILLUMINATION SHALL BE PROVIDED IN THE MEANS OF EGRESS IN ACCORDANCE WITH SECTION 1008.2. UNDER EMERGENCY POWER, MEANS OF EGRESS ILLUMINATION SHALL COMPLY WITH SECTION 1008.3.

1008.2 THE MEANS OF EGRESS SERVING A ROOM OR SPACE SHALL BE ILLUMINATED AT ALL TIMES THAT THE ROOM OR SPACE IS OCCUPIED.

1008.2.1 ILLUMINATION LEVEL UNDER NORMAL POWER. THE MEANS OF EGRESS ILLUMINATION SHALL NOT BE LESS THAN 1 FOOT-CANDLE (11 LUX) AT THE WALKING SURFACE.

LIFE SAFETY NOTES

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ESS #7515-TENANT IMPROVEMENT
EXTRA SPACE STORAGE

PROJECT ADDRESS: 10 LEELAND ROAD
PROJECT CITY: FREDERICKSBURG
PROJECT ZIP CODE: VA
PROJECT ZIP CODE: 22405
PARCEL ID: 54 126E

ISSUED FOR PERMIT

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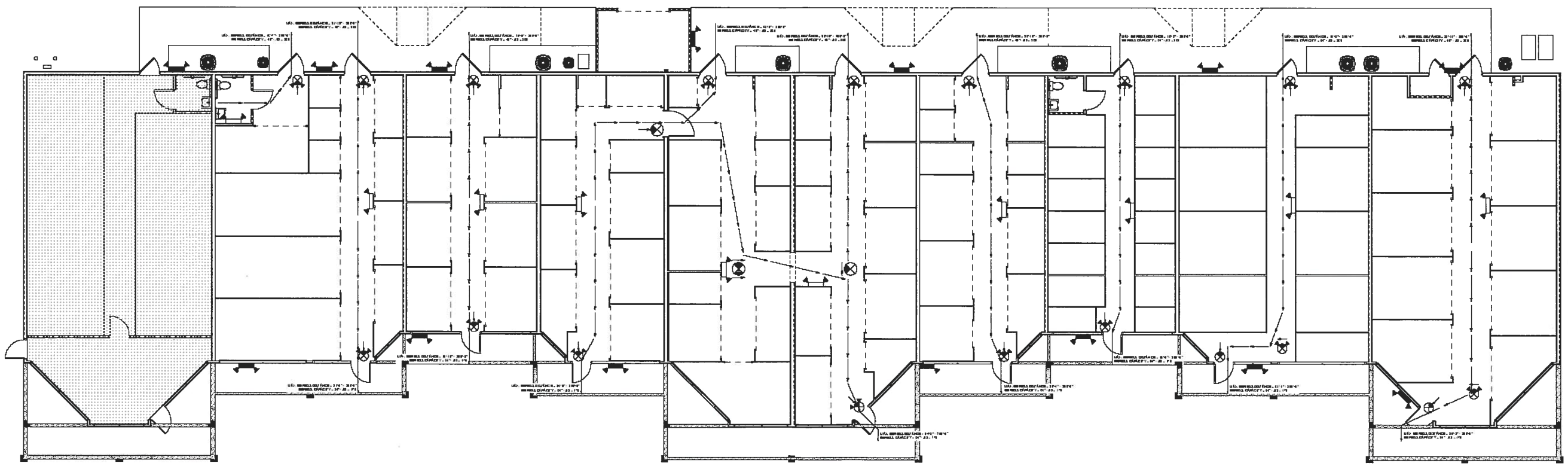
CHECKED BY J.H.C.
DATE 5/21/2021
SHEET A-802



01 LIFE SAFETY PLAN
SCALE: 1/8" = 1'-0"

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EXTRA SPACE STORAGE

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PROJECT STATE: VA
PROJECT ZIP CODE: 22405
PARCEL ID: 54 126E

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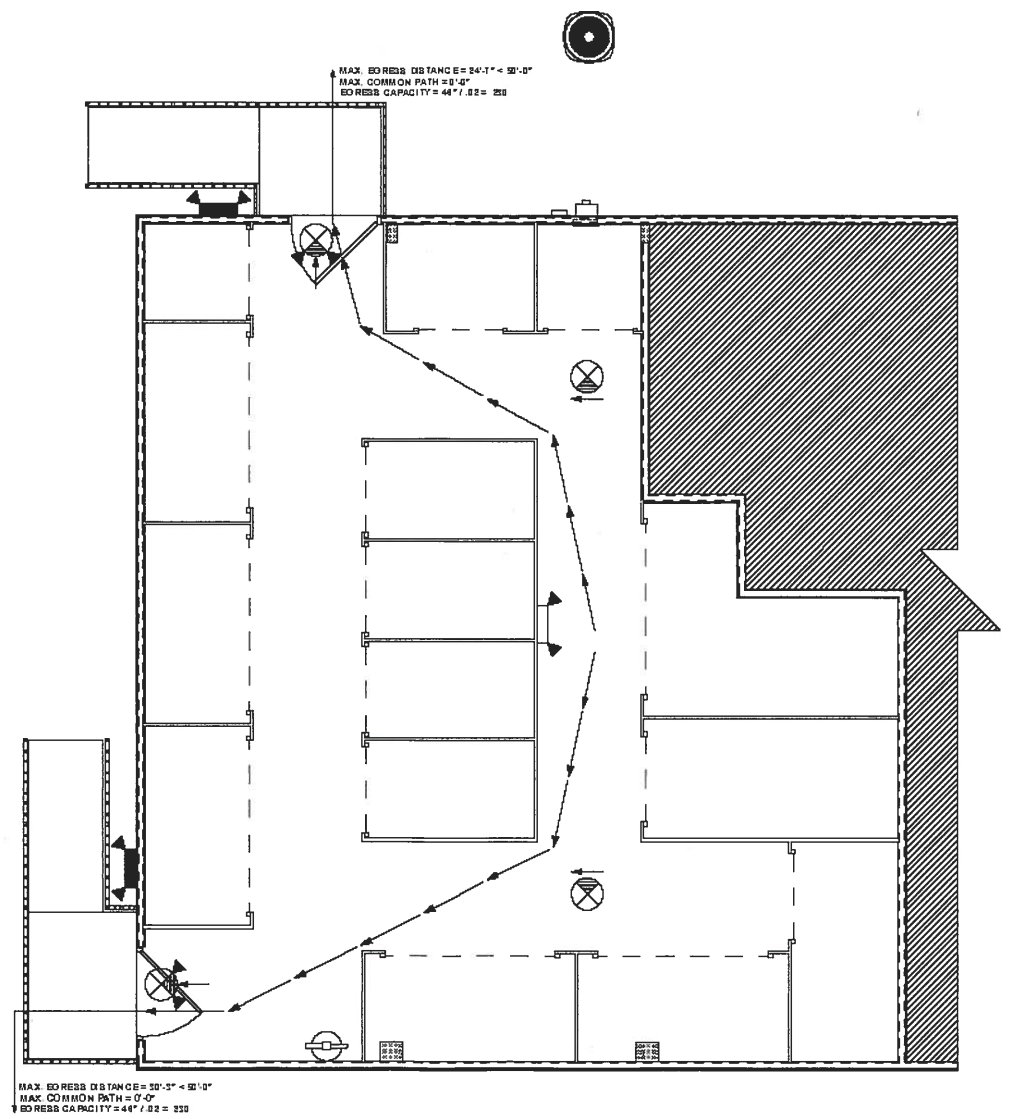
J.H.C.

DATE
5/21/2021

SHEET
A-803(A)

LIFE SAFETY PLAN



01 LIFE SAFETY PLAN

SCALE: 1/4" = 1'-0"

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EXTRA SPACE STORAGE

PROJECT ADDRESS: 10 LEELAND ROAD
PROJECT CITY: FREDERICKSBURG
PROJECT STATE: VA
PROJECT ZIP CODE: 22405
PARCEL ID: 54 126E

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CHECKED BY
J.H.C.

DATE
5/21/2021

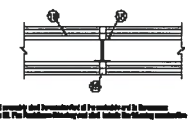
SHEET
A-803(B)

N

LIFE SAFETY PLAN

System No. WW-S-0051

Assembly Rating - 1, 2, 3 and 4 Hr (See Items 2 and 3B)
Joint Width - 1 in. Max
L Rating At Ambient - Less Than 1 CFM/ft ft
L Rating At 400 °F - Less Than or CFM/ft ft

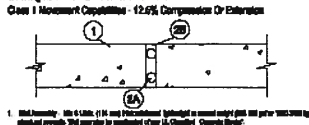


1. Wall Assembly - The 1, 2 or 3 Hr rated system must be constructed and assembled in accordance with the individual Underwriters Laboratories Inc. (UL) Fire Resistance Directory and shall include the following construction features:
A. Walls - Wall assembly may consist of either concrete or concrete block construction.
B. Joint Size - Nominal joint width shall not exceed 1 in. (25.4 mm).
C. Mineral Wool - Min 4 in. (101.6 mm) thickness of mineral wool insulation.
D. Steel Stud Framing - Min 2 in. (50.8 mm) deep steel stud framing.
E. Gypsum Board - Gypsum board panels shall be installed vertically or horizontally. Gypsum board panels shall be installed in accordance with the following:
1. Gypsum Board Thickness - Min 1 in. (25.4 mm) thick gypsum board panels.
2. Gypsum Board Layers - Min 2 layers of gypsum board.
3. Gypsum Board Attachment - Gypsum board panels shall be attached to the steel stud framing with Type S bugle head screws.
2. Through-Penetrant - Any penetrant(s) may be installed centrally in the assembly.
3. Fill, Void or Cavity Material - Sealant - Min 1/4 in. (6.4 mm) thick bead of sealant installed in the annular space between the penetrant and the gypsum board.

1 HOUR FIRE RATED
A-4.3 STA System No. WW-S-0051

System No. WW-D-0004

Assembly Rating - 3 Hr
Nominal Joint Width - 1 in.
L Rating At Ambient - Less Than 1 CFM/ft ft
L Rating At 400°F - Less Than 1 CFM/ft ft
Class I Movement Capabilities - 12.5% Compression Or Extension

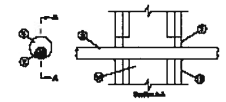


1. Wall Assembly - Min 6 in. (152.4 mm) thick reinforced lightweight or normal weight (100-150 pcf) concrete wall. Wall must be constructed in accordance with the Underwriters Laboratories Inc. (UL) Fire Resistance Directory or cited in a UL Design.
2. Joint System - Max nominal 1 in. (25.4 mm) wide joint system is designed to accommodate a minimum 12.5% movement capability in any direction.
A. Backing Material - Open or closed cell polyethylene or polyurethane foam backer rod, nominal size 1 in. (25.4 mm) larger than the nominal joint width.
B. Fill, Void or Cavity Material* - Sealant - Min 1/2 in. (12.7 mm) thickness of fill material applied within the joint.
*Refer to UL Classification Mark

3 HOUR FIRE RATED
A-4.3 STA System No. WW-D-0004

System No. W-L-3171

F Ratings - 1 and 2 Hr (See Item 1)
T Ratings - 1/4 and 3/4 Hr (See Item 2A)



1. Wall Assembly - The 1 or 2 Hr rated system must be constructed and assembled in accordance with the individual Underwriters Laboratories Inc. (UL) Fire Resistance Directory or cited in a UL Design.
2. Joint System - Max nominal 1 in. (25.4 mm) wide joint system is designed to accommodate a minimum 12.5% movement capability in any direction.
A. Backing Material - Open or closed cell polyethylene or polyurethane foam backer rod, nominal size 1 in. (25.4 mm) larger than the nominal joint width.
B. Fill, Void or Cavity Material* - Sealant - Min 1/2 in. (12.7 mm) thickness of fill material applied within the joint.
*Refer to UL Classification Mark

1 HOUR FIRE RATED
A-4.3 STA System No. W-L-3171

System No. W-L-5121

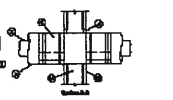
F Ratings - 1 and 2 Hr (See Item 1)
T Rating - 1 Hr

1. Wall Assembly - The 1 or 2 Hr rated system must be constructed and assembled in accordance with the individual Underwriters Laboratories Inc. (UL) Fire Resistance Directory or cited in a UL Design.
2. Joint System - Max nominal 1 in. (25.4 mm) wide joint system is designed to accommodate a minimum 12.5% movement capability in any direction.
A. Backing Material - Open or closed cell polyethylene or polyurethane foam backer rod, nominal size 1 in. (25.4 mm) larger than the nominal joint width.
B. Fill, Void or Cavity Material* - Sealant - Min 1/2 in. (12.7 mm) thickness of fill material applied within the joint.
*Refer to UL Classification Mark

1 HOUR FIRE RATED
A-4.3 STA System No. W-L-5121

System No. W-L-5123

F Ratings - 1 and 2 Hr (See Item 1)
T Ratings - 1 and 2 Hr (See Item 1)

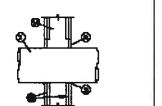


1. Wall Assembly - The 1 or 2 Hr rated system must be constructed and assembled in accordance with the individual Underwriters Laboratories Inc. (UL) Fire Resistance Directory or cited in a UL Design.
2. Joint System - Max nominal 1 in. (25.4 mm) wide joint system is designed to accommodate a minimum 12.5% movement capability in any direction.
A. Backing Material - Open or closed cell polyethylene or polyurethane foam backer rod, nominal size 1 in. (25.4 mm) larger than the nominal joint width.
B. Fill, Void or Cavity Material* - Sealant - Min 1/2 in. (12.7 mm) thickness of fill material applied within the joint.
*Refer to UL Classification Mark

1 HOUR FIRE RATED
A-4.3 STA System No. W-L-5123

System No. W-L-7061

F Ratings - 1 and 2 Hr (See Item 1)
T Rating - 3/4 Hr

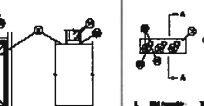


1. Wall Assembly - The 1 or 2 Hr rated system must be constructed and assembled in accordance with the individual Underwriters Laboratories Inc. (UL) Fire Resistance Directory or cited in a UL Design.
2. Joint System - Max nominal 1 in. (25.4 mm) wide joint system is designed to accommodate a minimum 12.5% movement capability in any direction.
A. Backing Material - Open or closed cell polyethylene or polyurethane foam backer rod, nominal size 1 in. (25.4 mm) larger than the nominal joint width.
B. Fill, Void or Cavity Material* - Sealant - Min 1/2 in. (12.7 mm) thickness of fill material applied within the joint.
*Refer to UL Classification Mark

1 HOUR FIRE RATED
A-4.3 STA System No. W-L-7061

SystemNo. W-L-7029

F Ratings - 1 and 2 Hr (See Item 1) T Rating - 1/4 Hr

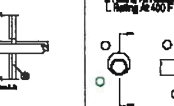


1. Wall Assembly - The 1 or 2 Hr rated system must be constructed and assembled in accordance with the individual Underwriters Laboratories Inc. (UL) Fire Resistance Directory or cited in a UL Design.
2. Joint System - Max nominal 1 in. (25.4 mm) wide joint system is designed to accommodate a minimum 12.5% movement capability in any direction.
A. Backing Material - Open or closed cell polyethylene or polyurethane foam backer rod, nominal size 1 in. (25.4 mm) larger than the nominal joint width.
B. Fill, Void or Cavity Material* - Sealant - Min 1/2 in. (12.7 mm) thickness of fill material applied within the joint.
*Refer to UL Classification Mark

1 HOUR FIRE RATED
A-4.3 STA System No. W-L-7029

System No. W-L-8027

F Ratings - 1 and 2 Hr (See Item 1)
T Rating - 1/4 Hr



1. Wall Assembly - The 1 or 2 Hr rated system must be constructed and assembled in accordance with the individual Underwriters Laboratories Inc. (UL) Fire Resistance Directory or cited in a UL Design.
2. Joint System - Max nominal 1 in. (25.4 mm) wide joint system is designed to accommodate a minimum 12.5% movement capability in any direction.
A. Backing Material - Open or closed cell polyethylene or polyurethane foam backer rod, nominal size 1 in. (25.4 mm) larger than the nominal joint width.
B. Fill, Void or Cavity Material* - Sealant - Min 1/2 in. (12.7 mm) thickness of fill material applied within the joint.
*Refer to UL Classification Mark

1 HOUR FIRE RATED
A-4.3 STA System No. W-L-8027

System No. W-L-2241

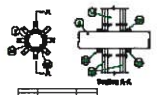
F Ratings - 1 and 2 Hr (See Item 1)
T Ratings - 0, 1/4, 1 and 1-1/4 Hr (See Item 2)
L Rating At Ambient - Less Than 1 CFM/ft ft
L Rating At 400 F - Less Than 1 CFM/ft ft

1. Wall Assembly - The 1 or 2 Hr rated system must be constructed and assembled in accordance with the individual Underwriters Laboratories Inc. (UL) Fire Resistance Directory or cited in a UL Design.
2. Joint System - Max nominal 1 in. (25.4 mm) wide joint system is designed to accommodate a minimum 12.5% movement capability in any direction.
A. Backing Material - Open or closed cell polyethylene or polyurethane foam backer rod, nominal size 1 in. (25.4 mm) larger than the nominal joint width.
B. Fill, Void or Cavity Material* - Sealant - Min 1/2 in. (12.7 mm) thickness of fill material applied within the joint.
*Refer to UL Classification Mark

1 HOUR FIRE RATED
A-4.3 STA System No. W-L-2241

System No. W-L-2243

F Ratings - 1 and 2 Hr (See Item 1)
T Ratings - 1, 1-1/4 and 2 Hr (See Item 1 and 3B)
L Rating At Ambient - 1 CFM/ft ft
L Rating At 400 F - Less Than 1 CFM/ft ft

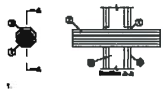


1. Wall Assembly - The 1 or 2 Hr rated system must be constructed and assembled in accordance with the individual Underwriters Laboratories Inc. (UL) Fire Resistance Directory or cited in a UL Design.
2. Through-Penetrant - One or more cable(s) may be installed centrally in the annular space between the penetrant and the gypsum board.
3. Fill, Void or Cavity Material* - Sealant - Min 1/4 in. (6.4 mm) thick bead of sealant installed in the annular space between the penetrant and the gypsum board.
*Refer to UL Classification Mark

1 HOUR FIRE RATED
A-4.3 STA System No. W-L-2243

System No. W-L-3169

F Ratings - 1 and 2 Hr (See Item 1)
T Ratings - 3/4 and 3/4 Hr (See Item 2A)

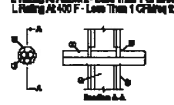


1. Wall Assembly - The 1 or 2 Hr rated system must be constructed and assembled in accordance with the individual Underwriters Laboratories Inc. (UL) Fire Resistance Directory or cited in a UL Design.
2. Through-Penetrant - One or more penetrant(s) may be installed centrally in the assembly.
3. Fill, Void or Cavity Material* - Sealant - Min 1/4 in. (6.4 mm) thick bead of sealant installed in the annular space between the penetrant and the gypsum board.
*Refer to UL Classification Mark

1 HOUR FIRE RATED
A-4.3 STA System No. W-L-3169

System No. W-L-2242

F Ratings - 1 and 2 Hr (See Item 1)
T Ratings - 1 and 1-3/4 Hr (See Item 2)
L Rating At Ambient - Less Than 1 CFM/ft ft
L Rating At 400 F - Less Than 1 CFM/ft ft

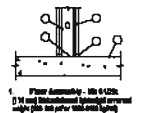


1. Wall Assembly - The 1 or 2 Hr rated system must be constructed and assembled in accordance with the individual Underwriters Laboratories Inc. (UL) Fire Resistance Directory or cited in a UL Design.
2. Through-Penetrant - One or more penetrant(s) may be installed centrally in the assembly.
3. Fill, Void or Cavity Material* - Sealant - Min 1/4 in. (6.4 mm) thick bead of sealant installed in the annular space between the penetrant and the gypsum board.
*Refer to UL Classification Mark

1 HOUR FIRE RATED
A-4.3 STA System No. W-L-2242

System NoBW-S-0003

Assembly Rating - 1 and 3 Hr (See Item 2)
L Rating At Ambient - Less Than 1 CFM/ft ft (See Item 3B)
L Rating At 400°F - Less Than 1 CFM/ft ft (See Item 3B)
Joint Width - 3/4 in. Max



1. Floor Assembly - Min 6 in. (152.4 mm) thick reinforced lightweight or normal weight (100-150 pcf) or 4 in. (101.6 mm) thick reinforced lightweight or normal weight (100-150 pcf) concrete floor. Floor assembly must be constructed in accordance with the Underwriters Laboratories Inc. (UL) Fire Resistance Directory or cited in a UL Design.
2. Wall Assembly - The 1 or 3 Hr rated system must be constructed and assembled in accordance with the Underwriters Laboratories Inc. (UL) Fire Resistance Directory or cited in a UL Design.
3. Joint System - Max nominal 1 in. (25.4 mm) wide joint system is designed to accommodate a minimum 12.5% movement capability in any direction.
A. Backing Material - Open or closed cell polyethylene or polyurethane foam backer rod, nominal size 1 in. (25.4 mm) larger than the nominal joint width.
B. Fill, Void or Cavity Material* - Sealant - Min 1/2 in. (12.7 mm) thickness of fill material applied within the joint.
*Refer to UL Classification Mark

1 HOUR FIRE RATED
A-4.3 STA System No. BW-S-0003

System No. W-L-1049

F Ratings - 1 and 2 Hr (See Item 1B)
T Rating - 0 Hr
L Rating At Ambient - Less Than 1 CFM/ft ft
L Rating At 400 F - Less Than 1 CFM/ft ft

1. Wall Assembly - The 1 or 2 Hr rated system must be constructed and assembled in accordance with the individual Underwriters Laboratories Inc. (UL) Fire Resistance Directory or cited in a UL Design.
2. Joint System - Max nominal 1 in. (25.4 mm) wide joint system is designed to accommodate a minimum 12.5% movement capability in any direction.
A. Backing Material - Open or closed cell polyethylene or polyurethane foam backer rod, nominal size 1 in. (25.4 mm) larger than the nominal joint width.
B. Fill, Void or Cavity Material* - Sealant - Min 1/2 in. (12.7 mm) thickness of fill material applied within the joint.
*Refer to UL Classification Mark

1 HOUR FIRE RATED
A-4.3 STA System No. W-L-1049

System No. HW-D-0242

Assembly Rating - 1 and 2 Hr (See Item 1B)
Joint Width - 3/4 in. Max
Class II Movement Capabilities - 50% Compression

1. Wall Assembly - The 1 or 2 Hr rated system must be constructed and assembled in accordance with the individual Underwriters Laboratories Inc. (UL) Fire Resistance Directory or cited in a UL Design.
2. Joint System - Max nominal 3/4 in. (19.1 mm) wide joint system is designed to accommodate a minimum 50% movement capability in any direction.
A. Backing Material - Open or closed cell polyethylene or polyurethane foam backer rod, nominal size 1 in. (25.4 mm) larger than the nominal joint width.
B. Fill, Void or Cavity Material* - Sealant - Min 1/2 in. (12.7 mm) thickness of fill material applied within the joint.
*Refer to UL Classification Mark

1 HOUR FIRE RATED
A-4.3 STA System No. HW-D-0242

System No. W-L-8027

F Ratings - 1 and 2 Hr (See Item 1)
T Rating - 1/4 Hr

1. Wall Assembly - The 1 or 2 Hr rated system must be constructed and assembled in accordance with the individual Underwriters Laboratories Inc. (UL) Fire Resistance Directory or cited in a UL Design.
2. Joint System - Max nominal 1 in. (25.4 mm) wide joint system is designed to accommodate a minimum 12.5% movement capability in any direction.
A. Backing Material - Open or closed cell polyethylene or polyurethane foam backer rod, nominal size 1 in. (25.4 mm) larger than the nominal joint width.
B. Fill, Void or Cavity Material* - Sealant - Min 1/2 in. (12.7 mm) thickness of fill material applied within the joint.
*Refer to UL Classification Mark

1 HOUR FIRE RATED
A-4.3 STA System No. W-L-8027

System No. W-L-2241

F Ratings - 1 and 2 Hr (See Item 1)
T Ratings - 0, 1/4, 1 and 1-1/4 Hr (See Item 2)
L Rating At Ambient - Less Than 1 CFM/ft ft
L Rating At 400 F - Less Than 1 CFM/ft ft

1. Wall Assembly - The 1 or 2 Hr rated system must be constructed and assembled in accordance with the individual Underwriters Laboratories Inc. (UL) Fire Resistance Directory or cited in a UL Design.
2. Joint System - Max nominal 1 in. (25.4 mm) wide joint system is designed to accommodate a minimum 12.5% movement capability in any direction.
A. Backing Material - Open or closed cell polyethylene or polyurethane foam backer rod, nominal size 1 in. (25.4 mm) larger than the nominal joint width.
B. Fill, Void or Cavity Material* - Sealant - Min 1/2 in. (12.7 mm) thickness of fill material applied within the joint.
*Refer to UL Classification Mark

1 HOUR FIRE RATED
A-4.3 STA System No. W-L-2241

System No. W-L-2243

F Ratings - 1 and 2 Hr (See Item 1)
T Ratings - 1, 1-1/4 and 2 Hr (See Item 1 and 3B)
L Rating At Ambient - 1 CFM/ft ft
L Rating At 400 F - Less Than 1 CFM/ft ft

1. Wall Assembly - The 1 or 2 Hr rated system must be constructed and assembled in accordance with the individual Underwriters Laboratories Inc. (UL) Fire Resistance Directory or cited in a UL Design.
2. Through-Penetrant - One or more cable(s) may be installed centrally in the assembly.
3. Fill, Void or Cavity Material* - Sealant - Min 1/4 in. (6.4 mm) thick bead of sealant installed in the annular space between the penetrant and the gypsum board.
*Refer to UL Classification Mark

1 HOUR FIRE RATED
A-4.3 STA System No. W-L-2243

System No. W-L-3169

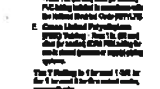
F Ratings - 1 and 2 Hr (See Item 1)
T Ratings - 3/4 and 3/4 Hr (See Item 2A)

1. Wall Assembly - The 1 or 2 Hr rated system must be constructed and assembled in accordance with the individual Underwriters Laboratories Inc. (UL) Fire Resistance Directory or cited in a UL Design.
2. Through-Penetrant - One or more penetrant(s) may be installed centrally in the assembly.
3. Fill, Void or Cavity Material* - Sealant - Min 1/4 in. (6.4 mm) thick bead of sealant installed in the annular space between the penetrant and the gypsum board.
*Refer to UL Classification Mark

1 HOUR FIRE RATED
A-4.3 STA System No. W-L-3169

System No. W-L-2242

F Ratings - 1 and 2 Hr (See Item 1)
T Ratings - 1 and 1-3/4 Hr (See Item 2)
L Rating At Ambient - Less Than 1 CFM/ft ft
L Rating At 400 F - Less Than 1 CFM/ft ft

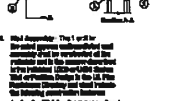


1. Wall Assembly - The 1 or 2 Hr rated system must be constructed and assembled in accordance with the individual Underwriters Laboratories Inc. (UL) Fire Resistance Directory or cited in a UL Design.
2. Through-Penetrant - One or more penetrant(s) may be installed centrally in the assembly.
3. Fill, Void or Cavity Material* - Sealant - Min 1/4 in. (6.4 mm) thick bead of sealant installed in the annular space between the penetrant and the gypsum board.
*Refer to UL Classification Mark

1 HOUR FIRE RATED
A-4.3 STA System No. W-L-2242

System No. W-L-5123

F Ratings - 1 and 2 Hr (See Item 1)
T Ratings - 1 and 2 Hr (See Item 1)



1. Wall Assembly - The 1 or 2 Hr rated system must be constructed and assembled in accordance with the individual Underwriters Laboratories Inc. (UL) Fire Resistance Directory or cited in a UL Design.
2. Joint System - Max nominal 1 in. (25.4 mm) wide joint system is designed to accommodate a minimum 12.5% movement capability in any direction.
A. Backing Material - Open or closed cell polyethylene or polyurethane foam backer rod, nominal size 1 in. (25.4 mm) larger than the nominal joint width.
B. Fill, Void or Cavity Material* - Sealant - Min 1/2 in. (12.7 mm) thickness of fill material applied within the joint.
*Refer to UL Classification Mark

1 HOUR FIRE RATED
A-4.3 STA System No. W-L-5123

System No. W-L-7061

F Ratings - 1 and 2 Hr (See Item 1)
T Rating - 3/4 Hr

1. Wall Assembly - The 1 or 2 Hr rated system must be constructed and assembled in accordance with the individual Underwriters Laboratories Inc. (UL) Fire Resistance Directory or cited in a UL Design.
2. Joint System - Max nominal 1 in. (25.4 mm) wide joint system is designed to accommodate a minimum 12.5% movement capability in any direction.
A. Backing Material - Open or closed cell polyethylene or polyurethane foam backer rod, nominal size 1 in. (25.4 mm) larger than the nominal joint width.
B. Fill, Void or Cavity Material* - Sealant - Min 1/2 in. (12.7 mm) thickness of fill material applied within the joint.
*Refer to UL Classification Mark

1 HOUR FIRE RATED
A-4.3 STA System No. W-L-7061

SystemNo. W-L-7029

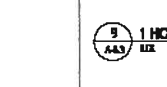
F Ratings - 1 and 2 Hr (See Item 1) T Rating - 1/4 Hr

1. Wall Assembly - The 1 or 2 Hr rated system must be constructed and assembled in accordance with the individual Underwriters Laboratories Inc. (UL) Fire Resistance Directory or cited in a UL Design.
2. Joint System - Max nominal 1 in. (25.4 mm) wide joint system is designed to accommodate a minimum 12.5% movement capability in any direction.
A. Backing Material - Open or closed cell polyethylene or polyurethane foam backer rod, nominal size 1 in. (25.4 mm) larger than the nominal joint width.
B. Fill, Void or Cavity Material* - Sealant - Min 1/2 in. (12.7 mm) thickness of fill material applied within the joint.
*Refer to UL Classification Mark

1 HOUR FIRE RATED
A-4.3 STA System No. W-L-7029

System No. W-L-8027

F Ratings - 1 and 2 Hr (See Item 1)
T Rating - 1/4 Hr

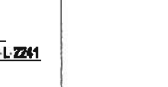


1. Wall Assembly - The 1 or 2 Hr rated system must be constructed and assembled in accordance with the individual Underwriters Laboratories Inc. (UL) Fire Resistance Directory or cited in a UL Design.
2. Joint System - Max nominal 1 in. (25.4 mm) wide joint system is designed to accommodate a minimum 12.5% movement capability in any direction.
A. Backing Material - Open or closed cell polyethylene or polyurethane foam backer rod, nominal size 1 in. (25.4 mm) larger than the nominal joint width.
B. Fill, Void or Cavity Material* - Sealant - Min 1/2 in. (12.7 mm) thickness of fill material applied within the joint.
*Refer to UL Classification Mark

1 HOUR FIRE RATED
A-4.3 STA System No. W-L-8027

System No. W-L-2241

F Ratings - 1 and 2 Hr (See Item 1)
T Ratings - 0, 1/4, 1 and 1-1/4 Hr (See Item 2)
L Rating At Ambient - Less Than 1 CFM/ft ft
L Rating At 400 F - Less Than 1 CFM/ft ft



1. Wall Assembly - The 1 or 2 Hr rated system must be constructed and assembled in accordance with the individual Underwriters Laboratories Inc. (UL) Fire Resistance Directory or cited in a UL Design.
2. Joint System - Max nominal 1 in. (25.4 mm) wide joint system is designed to accommodate a minimum 12.5% movement capability in any direction.
A. Backing Material - Open or closed cell polyethylene or polyurethane foam backer rod, nominal size 1 in. (25.4 mm) larger than the nominal joint width.
B. Fill, Void or Cavity Material* - Sealant - Min 1/2 in. (12.7 mm) thickness of fill material applied within the joint.
*Refer to UL Classification Mark

1 HOUR FIRE RATED
A-4.3 STA System No. W-L-2241

System No. BW-S-0003

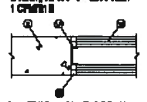
Assembly Rating - 1 and 3 Hr (See Item 2)
L Rating At Ambient - Less Than 1 CFM/ft ft (See Item 3B)
L Rating At 400°F - Less Than 1 CFM/ft ft (See Item 3B)
Joint Width - 3/4 in. Max

1. Floor Assembly - Min 6 in. (152.4 mm) thick reinforced lightweight or normal weight (100-150 pcf) or 4 in. (101.6 mm) thick reinforced lightweight or normal weight (100-150 pcf) concrete floor. Floor assembly must be constructed in accordance with the Underwriters Laboratories Inc. (UL) Fire Resistance Directory or cited in a UL Design.
2. Wall Assembly - The 1 or 3 Hr rated system must be constructed and assembled in accordance with the Underwriters Laboratories Inc. (UL) Fire Resistance Directory or cited in a UL Design.
3. Joint System - Max nominal 1 in. (25.4 mm) wide joint system is designed to accommodate a minimum 12.5% movement capability in any direction.
A. Backing Material - Open or closed cell polyethylene or polyurethane foam backer rod, nominal size 1 in. (25.4 mm) larger than the nominal joint width.
B. Fill, Void or Cavity Material* - Sealant - Min 1/2 in. (12.7 mm) thickness of fill material applied within the joint.
*Refer to UL Classification Mark

1 HOUR FIRE RATED
A-4.3 STA System No. BW-S-0003

System No. WW-S-0052

Assembly Rating - 1, 2, 3 and 4 Hr (See Item 2 and 3B)
Joint Width - 1 in. Max
L Rating At Ambient - Less Than 1 CFM/ft ft
L Rating At 400 °F - Less Than 1 CFM/ft ft



1. Wall Assembly - The 1, 2 or 3 Hr rated system must be constructed and assembly in accordance with the individual Underwriters Laboratories Inc. (UL) Fire Resistance Directory or cited in a UL Design.
2. Joint System - Max nominal 1 in. (25.4 mm) wide joint system is designed to accommodate a minimum 12.5% movement capability in any direction.
A. Backing Material - Open or closed cell polyethylene or polyurethane foam backer rod, nominal size 1 in. (25.4 mm) larger than the nominal joint width.
B. Fill, Void or Cavity Material* - Sealant - Min 1/2 in. (12.7 mm) thickness of fill material applied within the joint.
*Refer to UL Classification Mark

1 HOUR FIRE RATED
A-4.3 STA System No. WW-S-0052

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ESS #7515-TENANT IMPROVEMENT
EXTRA SPACE STORAGE

PROJECT ADDRESS: 10 LEELAND ROAD
PROJECT CITY: FREDERICKSBURG
PROJECT STATE: VA
PROJECT ZIP CODE: 22405
PARCEL ID: 54 126E

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COMMONWEALTH OF VIRGINIA
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05/25/2021
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REVISION

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DRAWN BY: J.E.T.
CHECKED BY: J.H.C.
DATE: 5/21/2021
SHEET: A-901(A)

FIRE PENETRATION NOTES/DETAILS