

PREVIOUS SITE APPLICATIONS

PROJECT INFORMATION

SITE ADDRESS: 1150 WHITE OAK ROAD  
FREDERICKSBURG, VIRGINIA 22405

APPLICANT: MILESTONE TOWERS  
12110 SUNSET HILLS ROAD, SUITE 600  
RESTON, VIRGINIA 20190

LATITUDE: N38° 17' 56.84"  
LONGITUDE: W77° 21' 45.51"

COUNTY: STAFFORD COUNTY VIRGINIA  
CURRENT USE: TELECOMMUNICATIONS FACILITY  
PROPOSED USE: TELECOMMUNICATIONS FACILITY

PROPERTY OWNER: CHARLES & VICKI SHACKLEFORD  
56 WOOD LANDING ROAD  
FREDERICKSBURG, VIRGINIA 22405-3531

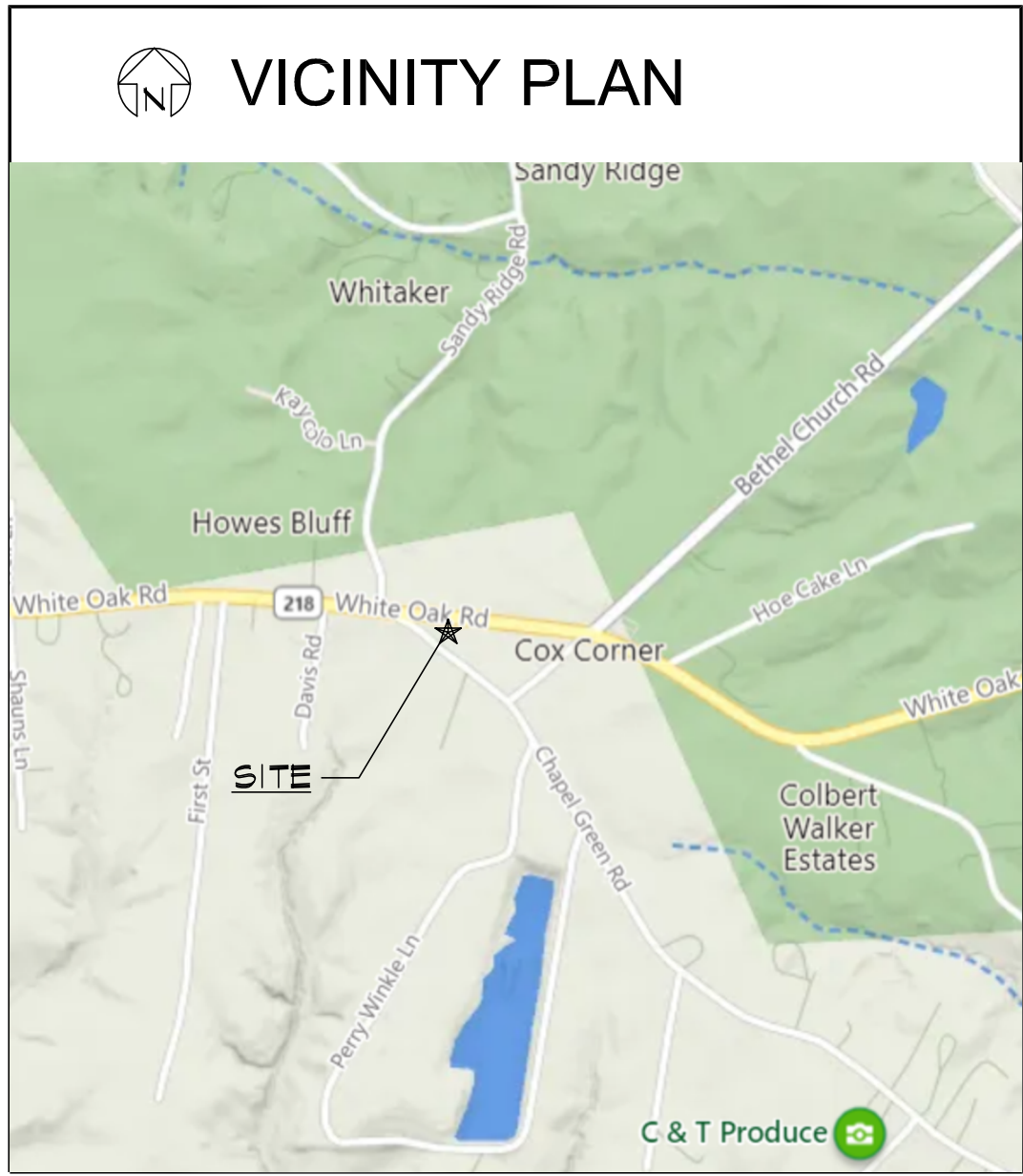
SITE DATA: PROPERTY ID: 56 41  
ALTERNATE ID/ PIN: 38515  
TRACT AREA: 4.1034 ACRES  
NEIGHBORHOOD: 560000 MAIN MAP 56

NOTES

1. CONTRACTOR SHALL NOTIFY "MISS UTILITY" (811) 48 HOURS PRIOR TO DOING ANY EXCAVATION IN THIS AREA. CONTRACTOR SHALL CONTACT A SUBSURFACE UTILITY LOCATOR FOR LOCATION OF EXISTING UTILITIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION ACTIVITES. CONTRACTOR SHALL VERIFY EXISTING UTILITY LOCATIONS BY TEST PIT AS NECESSARY. LOCATION OF UTILITIES SHOWN ON THIS PLAN ARE APPROXIMATE AND FOR PLANNING PURPOSES ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITES. DAMAGE TO UTILITES OR PROPERTY OF OTHER BY THE CONTRACTOR DURING CONSTRUCTION SHALL BE REPAIRED TO PRECONSTRUCTION CONDITIONS BY THE CONTRACTOR.
2. ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH ALL STATE AND LOCAL CODES AND ORDINANCES, THE LATEST EDITION THEROF.
3. ANY PERMITS WHICH MUST BE OBTAINED SHALL BE THE CONTRACTOR'S RESPONSIBILITY. CONTRACTOR SHALL SECURE ALL NECESSARY PERMITS FOR THIS PROJECT FROM ALL APPLICABLE GOVERNMENTAL AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ABIDING BY ALL CONDITIONS AND REQUIREMENTS OF THE PERMITS.
4. CONTRACTOR SHALL COORDINATE ALL UTILITY CONNECTIONS WITH APPROPRIATE UTILITY OWNERS.
5. THESE PLANS ARE NOT FOR RECORDATION OR CONVEYANCE.
6. EXISTING PAVEMENT AND OTHER SURFACES DISTURBED BY CONTRACTOR (WHICH ARE NOT TO BE REMOVED) SHALL BE REPAIRED TO PRECONSTRUCTION CONDITIONS BY THE CONTRACTOR.

INDEX OF DRAWINGS

CS-1	COVER SHEET
C-1	SITE PLAN
C-2	COMPOUND PLAN
C-3	SITE ELEVATION & DETAILS
C-4	LANDSCAPING PLAN
C-5	LANDSCAPING NOTES
C-6	SURVEY SHEET



PROJECT DESCRIPTION

THE PROJECT INVOLVES INSTALLING A BOARD ON BOARD FENCED COMPOUND WITH A 150' MONOPOLE, INSTALL A 12' LONG X 10' WIDE CONCRETE EQUIPMENT PAD. ALSO INSTALL NINE (9) ANTENNAS, NINE (9) RRHS, TWO (2) 60VP DISTRIBUTION BOXES ON THE TOWER AND TWO (2) 60VP DISTRIBUTION BOXES INSIDE THE SHELTER AND TWO (2) 6X12 LOW INDUCTANCE HYBERFLEX.

DIRECTIONS TO SITE

- HEAD NORTHWEST TOWARDS TOWN CENTER PKWY
- TURN RIGHT ONTO ONTO TOWN CENTER PKWY
- TURN LEFT AT THE 1ST CROSS ST ONTO SUNSET HILLS RD
- TURN RIGHT ONTO RESTON PKWY
- MERGE ONTO VA-267E
- TAKE EXIT 18 B/ I-495
- MERGE ONTO I-495 N
- TAKE EXIT 27 FOR I-95 N TOWARDS BALTIMORE
- TAKE EXIT 64 FOR I-695 W/ I-695 E TOWARDS TOWSON/ ESSEX
- KEEP LEFT AT THE FORK AND MERGE ONTO I-695 W
- TAKE EXIT 30A TO MERGE ONTO MD-41 S
- MERGE ONTO MD-41 S/ PERRING PKWY
- TURN RIGHT ONTO PUTTY HILL AVE
- TURN RIGHT ONTO LOCK RAVEN BLVD
- TURN RIGHT ONTO WHITE OAK AVE

CODE ANALYSIS

APPLICABLE BUILDING CODE:	VUSBC 2018
USE GROUP:	UTILITY (U)
CONSTRUCTION TYPE:	2B
NUMBER OF STORIES:	NONE
FIRE PROTECTION:	NONE



PROTECT YOURSELF. GIVE THREE WORKING DAYS NOTICE.

THIS DRAWING DOES NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. ALL CONSTRUCTION MUST BE DONE IN COMPLIANCE WITH THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970 AND ALL RULES AND REGULATIONS THERE TO APPURTENANT.



MILESTONE SITE NAME:  
SHACKLEFORD'S PLUMBING

SITE ADDRESS:  
1150 WHITE OAK ROAD  
FREDERICKSBURG, VA 22405  
STAFFORD COUNTY

REVISIONS:

NO	DESCRIPTION	DATE

DESIGNED BY:	JT
DRAWN BY:	CJS
PROJECT NO:	21235.006
DATE:	01/06/2022
SCALE:	AS NOTED

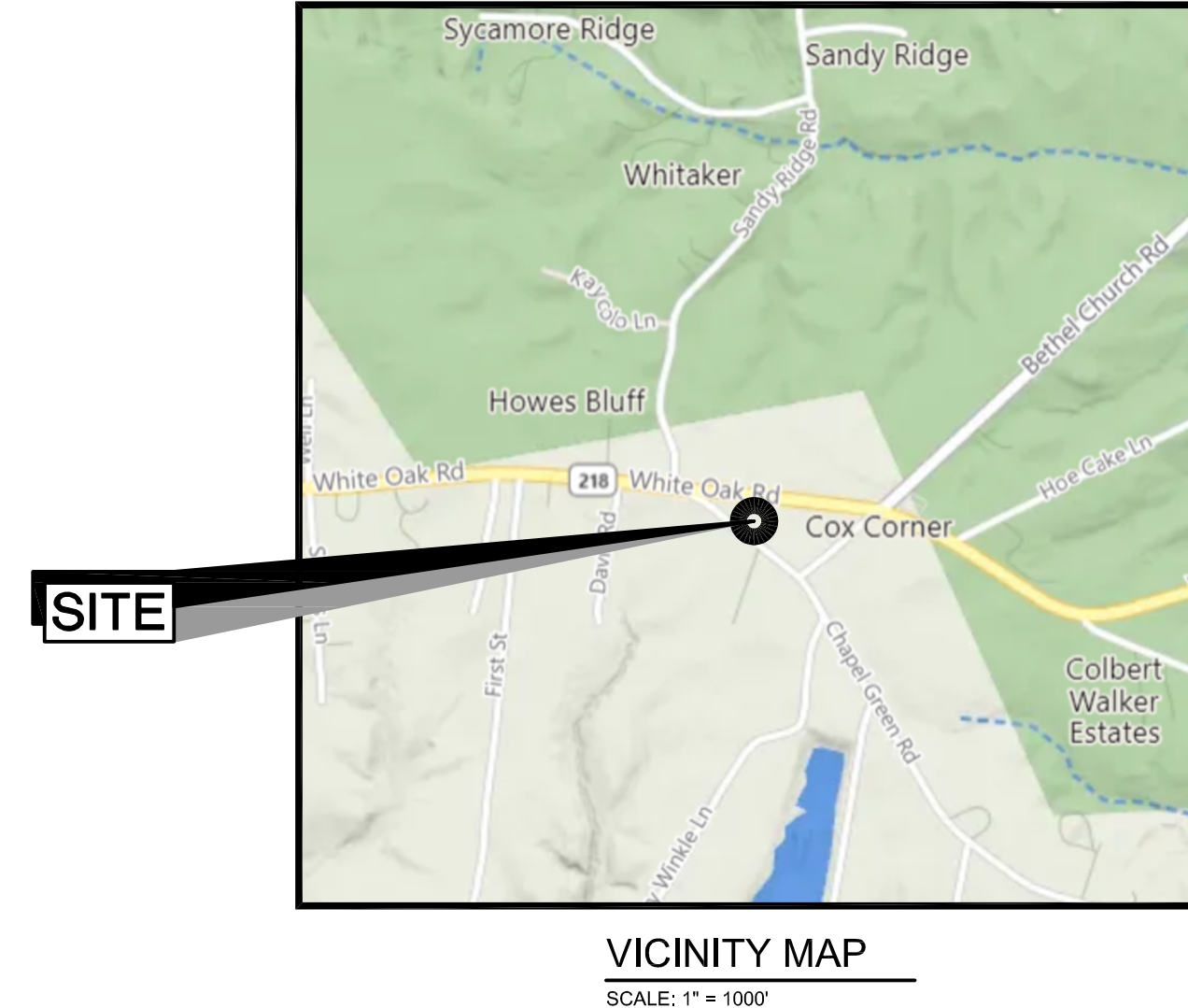
TITLE:

Cover Sheet

SHEET:

CS-1






- NOTES:**
1. **APPLICANT:** MILESTONE TOWERS  
12110 SUNSET HILLS ROAD, SUITE 600  
RESTON, VA 20190  
TEL: (703) 620-2555
  2. **PROPERTY OWNER:** CHARLES & VICKI SHACKLEFORD  
56 WOOD LANDING ROAD  
FREDERICKSBURG, VIRGINIA 22405-3531
  3. **SITE DATA:** PROPERTY ID: 56 41  
ALTERNATE ID: PM 38515  
TRACT AREA: 4.1034 ACRES  
NEIGHBORHOOD: 58000 MAIN MAP 56  
ADDRESS: 1150 WHITE OAK ROAD  
FREDERICKSBURG, VIRGINIA 22405  
EXISTING USE: IMPROVED HOME SITE AGRICULTURAL
  4. **ZONING:** A1 AGRICULTURAL
  5. **HORIZONTAL AND VERTICAL CONTROL SHOWN HEREON IS BASED ON A GPS LATITUDE BY MORRIS & RITCHIE ASSOCIATES, INC. DATED AUGUST 2002:**  
LATITUDE: N38.29053 (N38° 17' 56.59")  
LONGITUDE: W77.362631 (W77° 21' 45.11")  
GROUND ELEVATION: 215' AMSL (AVG.)  
PROPOSED STRUCTURE HEIGHT: 150' AGL  
TOTAL ELEVATION (AMSL): 365' AMSL
  6. **TOTAL DISTURBED AREA = 3250 SF**
  7. **THE PROPOSED FACILITIES WILL CONSIST OF ONE (1) 15' LONG x 10' WIDE CONCRETE EQUIPMENT PAD WITHIN A NEW BOARD ON BOARD ERECTION COMPOUND. 9' ANTENNAS SHALL BE MOUNTED ON AN PROPOSED 155'-0" MONOPOLE WITH A RAD CENTER AT AN ELEVATION OF 145'-0" ABOVE GRADE LEVEL.**
  8. **THE STRUCTURE WILL NOT SUPPORT LIGHTS OR SIGNS UNLESS REQUIRED FOR AIRCRAFT WARNING OR OTHER SAFETY RECORDS.**
  9. **THE APPLICANT WILL PROVIDE A CERTIFICATION FROM A REGISTERED ENGINEER THAT THE STRUCTURE WILL MEET THE APPLICABLE DESIGN STANDARDS FOR WIND LOADS PER THE REQUIREMENTS OF THE TELECOMMUNICATIONS INDUSTRY ASSOCIATION.**
  10. **IF THE ANTENNAS ARE NO LONGER USED FOR TELECOMMUNICATIONS PURPOSES FOR A CONTINUOUS PERIOD OF ONE (1) YEAR, THEY SHALL BE REMOVED AND THE ANTENNA OBTAINED AT OWNERS EXPENSE.**
  11. **NO WATER OR SANITARY UTILITIES ARE REQUIRED FOR THE OPERATION OF THIS FACILITY.**
  12. **STORMWATER MANAGEMENT NOTE: NO STORMWATER MANAGEMENT IS REQUIRED FOR THIS SITE.**
  13. **BOUNDARY SHOWN PER COUNTY RECORDS. EXISTING SITE FEATURES SHOWN PER SURVEY BY MORRIS & RITCHIE ASSOCIATES, INC. MAY 2002.**
  14. **THIS PLAN PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT. PLAN IS SUBJECT TO EASEMENTS AND RESTRICTIONS OF RECORD.**
  15. **ALL DETAILS SHOWN ARE "STANDARD" OR "TYPICAL" FOR REFERENCE ONLY. FOR ACTUAL DETAILS, SEE ARCHITECTURAL, STRUCTURAL, OR CIVIL DRAWING PLANS BY OTHERS.**
  16. **STRUCTURAL ANALYSIS/DESIGN TO BE PERFORMED BY OTHERS AT CLIENT AND OWNER'S DISCRETION PRIOR TO COMMENCEMENT OF ANY WORK**
  17. **THE COMMUNICATION CONCRETE PAD SHALL BE UNMANNED, WITH INFREQUENT VISITS (FOUR OR FEWER PER YEAR) BY MAINTENANCE PERSONNEL, AND WITH ACCESS AND PARKING FOR NO MORE THAN ONE VEHICLE. THE PROPOSED FACILITY IS NOT FOR HUMAN HABITATION AND THEREFORE HANDICAP ACCESS IS NOT REQUIRED.**
  18. **THE PROPOSED COMMUNICATIONS CONCRETE PAD, ANTENNAS AND RELATED MOUNTING DEVICES DO NOT EXCEED TWELVE (12) FEET IN TOTAL HEIGHT.**
- GENERAL NOTES**
1. **CONTRACTOR SHALL NOTIFY "MISS UTILITY" (811) 48 HOURS PRIOR TO DOING ANY EXCAVATION IN THIS AREA. CONTRACTOR SHALL CONTACT A SUBSURFACE UTILITY LOCATOR FOR LOCATION OF EXISTING UTILITIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES. CONTRACTOR SHALL VERIFY EXISTING UTILITY LOCATIONS BY TEST PIT AS NECESSARY. LOCATION UTILITIES SHOWN ON THIS PLAN ARE APPROXIMATE AND FOR PLANNING PURPOSES ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREE TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTORS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. DAMAGE TO UTILITIES OR PROPERTY OF OTHER BY THE CONTRACTOR DURING CONSTRUCTION SHALL BE REPAIRED TO PRECONSTRUCTION CONDITIONS BY THE CONTRACTOR.**
  2. **ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH ALL STATE AND LOCAL CODES AND ORDINANCES, THE LATEST EDITION THEREOF.**
  3. **ANY PERMITS WHICH MUST BE OBTAINED SHALL BE THE CONTRACTOR'S RESPONSIBILITY. CONTRACTOR SHALL SECURE ALL NECESSARY PERMITS FOR THIS PROJECT FROM ALL APPLICABLE GOVERNMENTAL AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ABIDING BY ALL CONDITIONS AND REQUIREMENTS OF THE PERMITS.**
  4. **CONTRACTOR SHALL COORDINATE ALL UTILITY CONNECTIONS WITH APPROPRIATE UTILITY OWNERS.**
  5. **THESE PLANS ARE NOT FOR RECONSTRUCTION OR CONVEYANCE.**
  6. **EXISTING PAVEMENT AND OTHER SURFACES DISTURBED BY CONTRACTOR (WHICH ARE NOT TO BE REMOVED) SHALL BE REPAIRED TO PRECONSTRUCTION CONDITIONS BY THE CONTRACTOR.**

REVISIONS:		
NO.	DESCRIPTION	DATE
	ZONING COMMENTS	09/23/22

DESIGNED BY:	JT
DRAWN BY:	CJS
PROJECT NO:	21235.006
DATE:	07/06/2022
SCALE:	AS NOTED

TITLE:	Site Plan
SHEET:	C-1

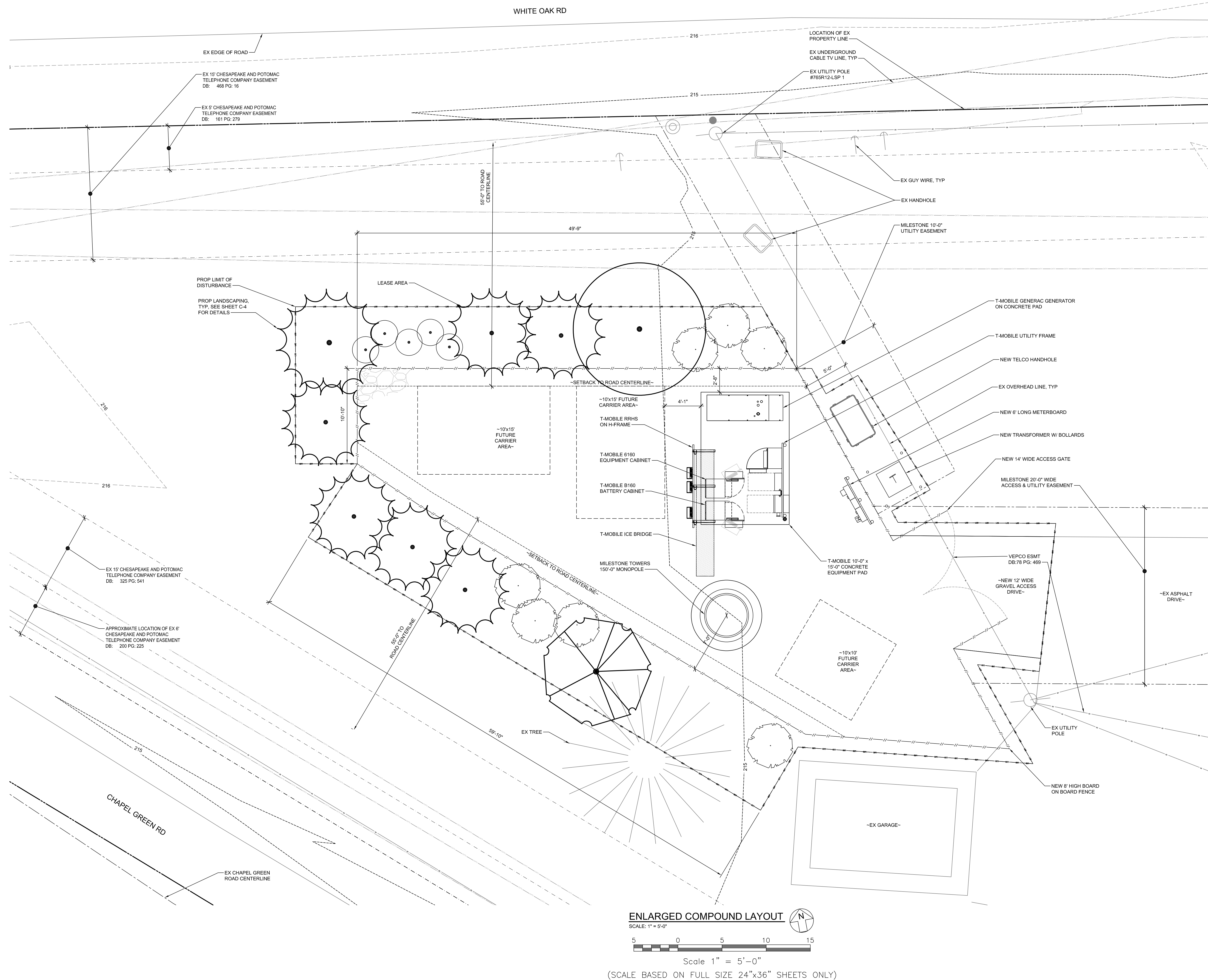


**Know what's below.  
Call before you dig.**

PROTECT YOURSELF. GIVE THREE  
WORKING DAYS NOTICE.

THIS DRAWING DOES NOT INCLUDE NECESSARY  
COMPONENTS FOR CONSTRUCTION SAFETY. ALL  
CONSTRUCTION MUST BE DONE IN COMPLIANCE  
WITH THE OCCUPATIONAL SAFETY AND HEALTH  
ACT OF 1970 AND ALL RULES AND REGULATIONS  
PURVE TO ADJUDICANT.





MILESTONE SITE NAME:  
SHACKLEFORD'S PLUMBING

SITE ADDRESS:  
1150 WHITE OAK ROAD  
FREDERICKSBURG, VA 22405  
STAFFORD COUNTY

REVISONS:		
NO.	DESCRIPTION	DATE
	ZONING COMMENTS	09/23/20
DESIGNED BY:	JTB	
DRAWN BY:	CJS	
PROJECT NO:	21235.006	
DATE:	07/06/2022	
SCALE:	AS NOTED	



Know what's **below**.  
**Call** before you dig.

PROTECT YOURSELF. GIVE THREE  
WORKING DAYS NOTICE  
THIS DRAWING DOES NOT INCLUDE NECESSARY  
COMPONENTS FOR CONSTRUCTION SAFETY. ALL  
CONSTRUCTION MUST BE DONE IN COMPLIANCE  
WITH THE OCCUPATIONAL SAFETY AND HEALTH  
ACT OF 1970 AND ALL RULES AND REGULATIONS  
THERE TO APPLICANT.

TITLE:	<b>Compound Plan</b>
--------	----------------------

SHEET:

**C-2**



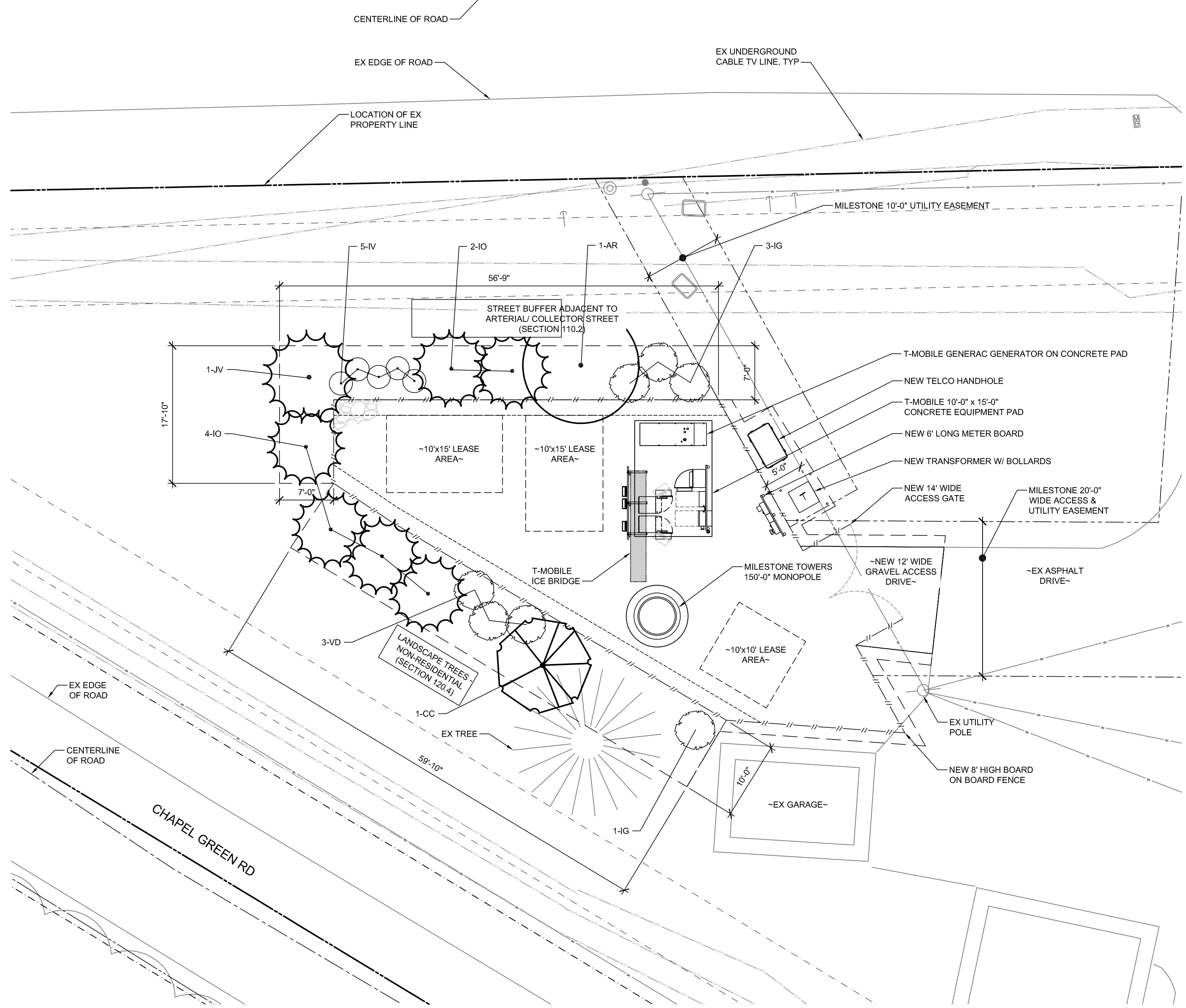




LEGEND

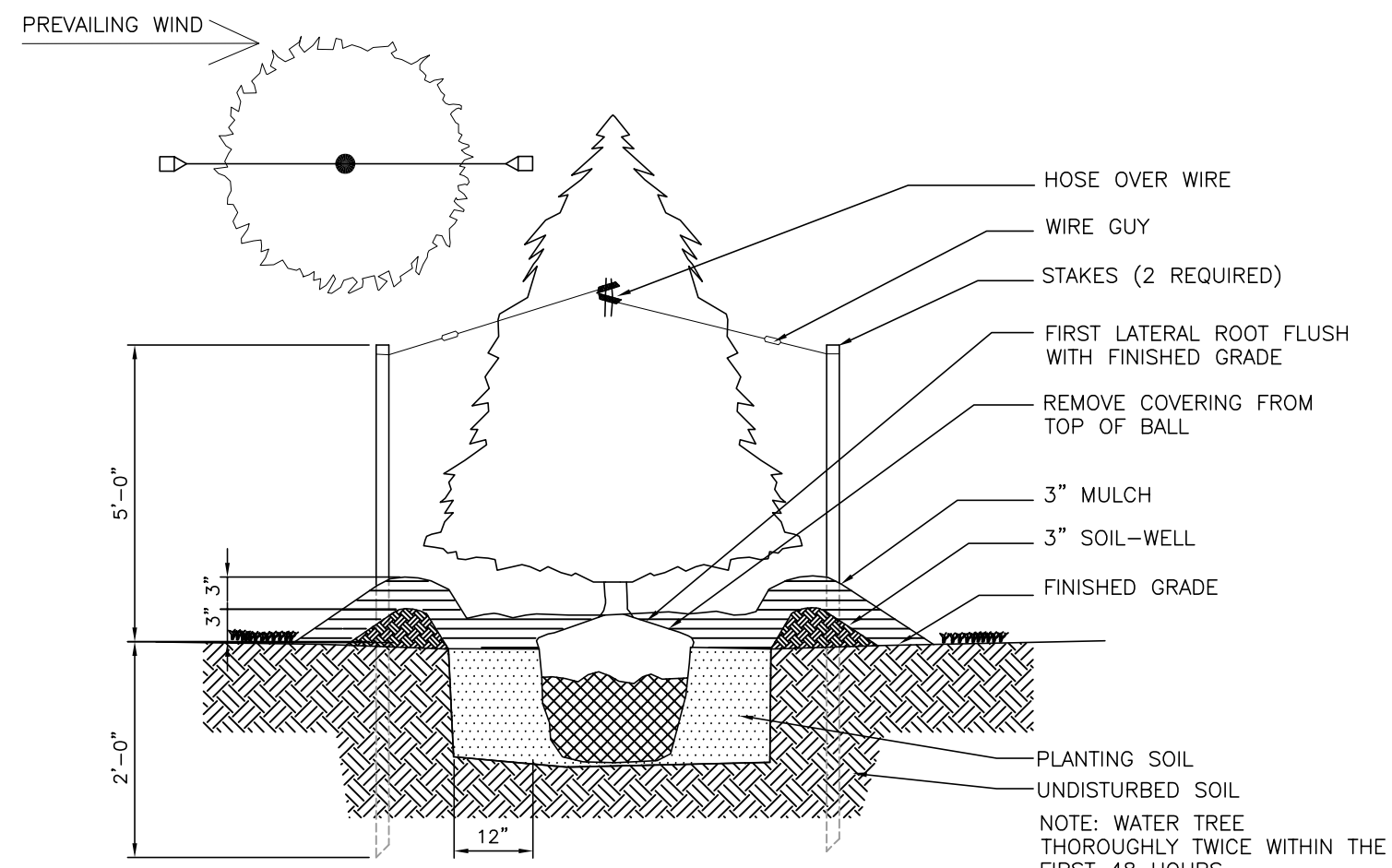
PROPERTY LINE  
EX. ADJOINING PROPERTY LINE  
EX. BUILDING  
EX. EDGE OF PAVING  
EX. EDGE OF GRAVEL  
7  
8  
10  
EX. 1' CONTOUR  
EX. 2' CONTOUR  
EX. 10' CONTOUR  
EX. TREE LINE  
EX. TREES  
EX. OVERHEAD POLE  
EX. SPOT ELEVATION  
SOILS BOUNDARY DELINEATION  
NON-TIDAL WETLAND DELINEATION  
25' NON-TIDAL WETLAND BUFFER  
LIMIT OF DISTURBANCE (LOD)  
PROP. GRAVEL  
PROP. TREE LINE  
PROP. CHAIN-LINK FENCE  
PROP. 1' CONTOUR  
PROP. 2' CONTOUR  
PROP. 10' CONTOUR  
PROP. EASEMENT

PROP. DECIDUOUS TREE  
PROP. EVERGREEN TREE  
PROP. DECIDUOUS SHRUB  
PROP. EVERGREEN SHRUB  
PROP. ERNST LAWN MIX



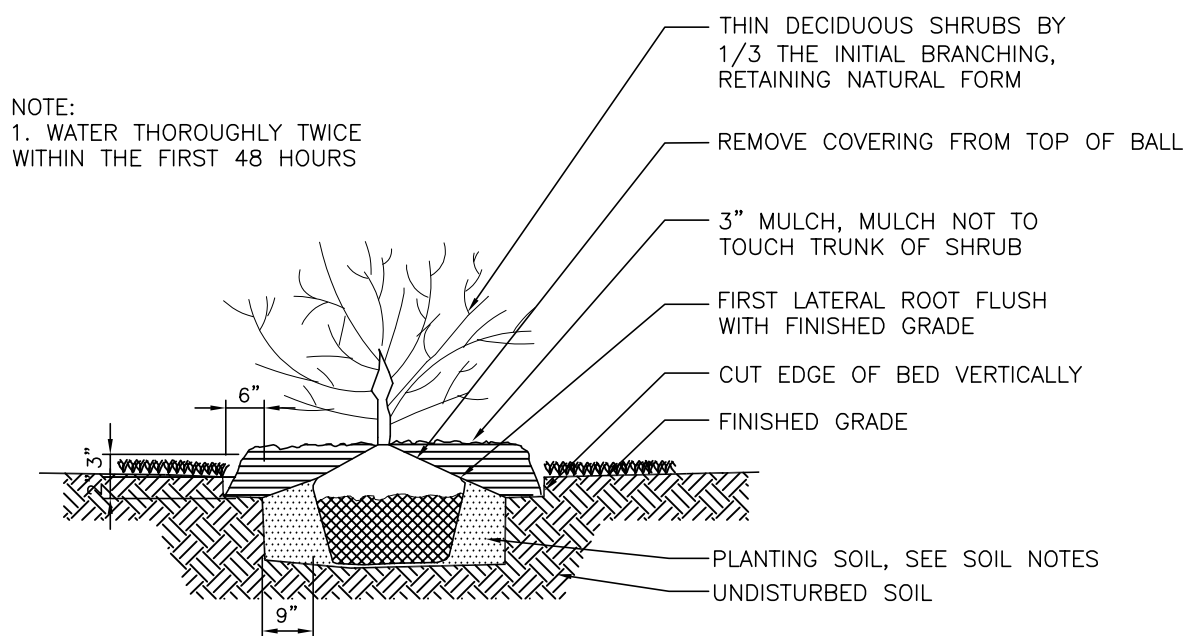
ENLARGED COMPOUND LAYOUT  
SCALE: 1" = 10'-0"

SYM.	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	NOTES
AR	1	ACER RUBRUM 'ARMSTRONGS'	ARMSTRONGS RED MAPLE	3" CAL.	B4B	
JV	1	JUNIPERUS VIRGINIANA	EASTERN RED CEDAR	6' HT., 2" CAL.	B4B/C6	
IO	6	ILEX OPACA	AMERICAN HOLLY	6' HT.	B4B	
CC	1	CERCIS CANADENSIS	EASTERN REDBUD	6' HT.	B4B	MULTI-STEM, 3 CAIN MIN.
IG	4	ILEX GLABRA 'SHAMROCK'	SHAMROCK INK BERRY	30"-36" HT.	#5 CONT.	
IV	5	ITEA VIRGINICA 'LITTLE HENRY'	LITTLE HENRY SHEETSPIRE	18"-24" HT.	#1 CONT.	
VD	3	VIBURNUM DENTATUM	ARROWWOOD VIBURNUM	30"-36" HT.	#5 CONT.	



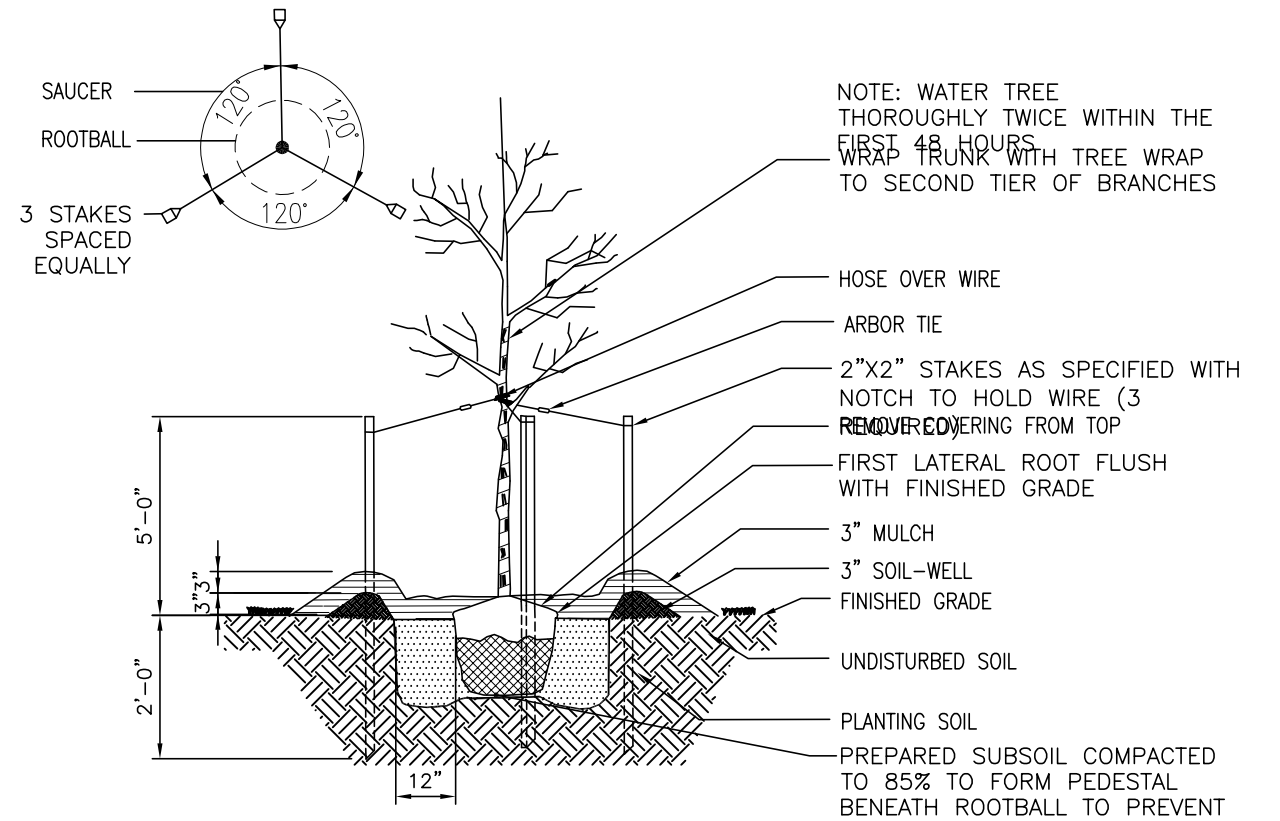
EVERGREEN TREE DETAIL

NOT TO SCALE



SHRUB DETAIL

NOT TO SCALE



DECIDUOUS TREE DETAIL

NOT TO SCALE

SCHEDULE FOR SECTION 120.4

Landscaping, Street Trees NON - RESIDENTIAL

Variables:

1. Total linear feet of street frontage: 60 feet
2. Linear feet of street frontage used for vehicular access: 0 feet
3. Linear feet of street frontage utilizing IMP: 0 feet
4. Net Linear Feet of Street Frontage:  $(\#1* - \#2*) - \#3* =$  60 feet
5. Total Plant Units required:  $(\#4 / 100) \times 21 =$  13 p.u.

Calculation of Individuals: (percentages are expressed in decimal format)

- A. Number of Proposed Large Deciduous Trees:  $(0 \text{ plants}) \times 10 =$  0 p.u.  
B. Number of Proposed Large Evergreen Trees:  $(0 \text{ plants}) \times 10 =$  0 p.u.  
C. Number of Proposed Understory Trees: 4 (plants)  
1) Number of Deciduous Understory Trees Required:  $(C \times 0.8) =$  3 (plants)  $\times 7 =$  21 p.u.  
2) Number of Evergreen Understory Trees Required:  $(C \times 0.2) =$  1 (plants)  $\times 7 =$  7 p.u.  
D. Number of Proposed Large Shrubs: 4 (plants)  
1) Number of Deciduous Large Shrubs Required:  $(D \times 0.8) =$  3 (plants)  $\times 3 =$  9 p.u.  
2) Number of Evergreen Large Shrubs Required:  $(D \times 0.2) =$  1 (plants)  $\times 3 =$  3 p.u.  
E. Number of Proposed Small Shrubs/Ornamental Grasses: 0 (plants)  
1) Number of Deciduous Small Shrubs/Ornamental Grasses Required:  $(E \times 0.8) =$  0 (plants)  $\times 3 =$  0 p.u.  
2) Number of Evergreen Small Shrubs/Ornamental Grasses Required:  $(E \times 0.2) =$  0 (plants)  $\times 3 =$  0 p.u.  
F. Total Plant Units proposed: 40 p.u.

Notes:

- (1) \* Refers to corresponding "Variables" line items.
- (2) Plant unit (p.u.) calculation results shall be rounded up to the next whole number.
- (3) The "Total Plant Units proposed" shown on line item F from the above "Calculation of Individuals" shall be equal to or greater than line item # 5 from the above "Variables".

SCHEDULE FOR SECTION 110.1 & 110.2

Street Buffers adjacent to Freeway/Interstate & Arterial/Collector Streets  
(Separate Schedules are required for each type of Street Buffer)

Variables:

1. Residential or Non-Residential (circle one)
2. Street Buffer required: Freeway/Interstate or Arterial/Collector (circle one)
3. Linear feet of buffer yard along Freeway/Interstate or Arterial/Collector Street: 75 feet
4. Plant units required per Section 110.1 or 110.2: 50 p.u. / 100 linear feet
5. Plant units required without the buffer yard:  $(\#3 \times \#4) / 100 =$  38 p.u.
- 5a. Sec. 110.0 h. - Optional plant unit reduction with 5 ft. berm/8 ft. wall:  $(\#5 / 2) =$  0 p.u.
6. Existing plant unit receiving credit per Sec. 140: 0 p.u.
7. Total Plant Units required in buffer yard:  $(\#5 \text{ or } \#5A) - \#6 =$  38 p.u.
8. Proposed percentage of large evergreen trees (minimum 20%) = 50 % (7.6)
9. Proposed percentage of understory evergreen trees (minimum 20%) = 100 % (7.6)
10. Proposed percentage of evergreen shrubs (minimum 25%) = 38 % (9.5)

Calculation of Individuals Required: (percentages are expressed in decimal format) Individuals Proposed:

- A. Large Deciduous Tree:  $(1 - \#8) \times (0.5 \times \#7) =$  9.5 p.u. 1 plants  $\times 10 =$  10 p.u.  
B. Large Evergreen Tree:  $\#8 \times (0.5 \times \#7) =$  9.5 p.u. 1 plants  $\times 10 =$  10 p.u.  
C. Deciduous Understory Tree:  $(1 - \#9) \times (0.3 \times \#7) =$  0 p.u. 0 plants  $\times 7 =$  0 p.u.  
D. Evergreen Understory Tree:  $\#9 \times (0.3 \times \#7) =$  11.4 p.u. 3 plants  $\times 7 =$  21 p.u.  
E. Deciduous Large Shrub:  $(1 - \#10) \times (0.1 \times \#7) =$  0 p.u. 0 plants  $\times 3 =$  0 p.u.  
F. Evergreen Large Shrub:  $\#10 \times (0.1 \times \#7) =$  3.8 p.u. 3 plants  $\times 3 =$  9 p.u.  
G. Deciduous Small Shrub/Ornamental Grass:  $(1 - \#10) \times (0.1 \times \#7) =$  5 p.u. 5 plants  $\times 5 =$  25 p.u.  
H. Evergreen Small Shrub:  $\#10 \times (0.1 \times \#7) =$  0 p.u. 0 plants  $\times 5 =$  0 p.u.  
I. Total Plant Units proposed: 55 p.u.

Notes:

- (1) \* Refers to corresponding "Variables" line items.
- (2) Plant unit (p.u.) calculation results shall be rounded up to the next whole number.
- (3) The "Total Plant Units proposed" shown on line item I from the above calculation of Individuals shall be equal to or greater than line item #7 from the above "Variables".

**Milestone Towers**  
12110 SUNSET HILLS ROAD,  
SUITE 600  
RESTON, VIRGINIA 20190  
OFFICE: (703) 620-2555

**MORRIS & RITCHIE ASSOCIATES, INC.**  
Civil / Structural Engineers  
1320-B East Joppa Road, Suite 400K  
Towson, Maryland 21286  
410-921-1600  
410-921-1748 Fax

COMMONWEALTH OF VIRGINIA  
JACOB TORONEY  
Lic. No. 052906  
PROFESSIONAL ENGINEER  
5/23/22

MILESTONE SITE NAME:  
SHACKLEFORD'S PLUMBING

SITE ADDRESS:  
1150 WHITE OAK ROAD  
FREDERICKSBURG, VA 22405  
STAFFORD COUNTY

REVISIONS:

NO.	DESCRIPTION	DATE

ZONING COMMENTS 09/23/22  
DESIGNED BY: JT  
DRAWN BY: CJS  
PROJECT NO: 21235.006  
DATE: 07/06/2022  
SCALE: AS NOTED

TITLE:  
**Landscaping Plan & Details**

SHEET:

C-4

**811**  
Know what's below.  
Call before you dig.  
PROTECT YOURSELF. GIVE THREE WORKING DAYS NOTICE.  
THIS DRAWING DOES NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. ALL CONSTRUCTION MUST BE DONE IN COMPLIANCE WITH THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970 AND ALL RULES AND REGULATIONS THERE TO APPURTENANT.



PLANTING SPECIFICATIONS AND NOTES

1.

LANDSCAPE DRAWINGS ARE FOR LANDSCAPING INFORMATION ONLY. REFER TO SITE PLAN, UTILITY PLAN, SEDIMENT AND EROSION CONTROL PLANS FOR ALL OTHER INFORMATION. THE CONTRACTOR SHALL REVIEW ARCHITECTURAL/ENGINEERING PLANS TO BECOME THOROUGHLY FAMILIAR WITH GRADING AND SURFACE UTILITIES.
2.

COORDINATE PLANT MATERIAL LOCATION WITH SITE UTILITIES. UTILITY LOCATIONS ARE APPROXIMATE. EXERCISE CARE WHEN DIGGING IN THESE AREAS. IF THE CONTRACTOR IS ADVISED OF THE EXISTENCE OF UNDERGROUND UTILITIES ON THE SITE, THEIR EXACT LOCATION SHALL BE VERIFIED IN THE FIELD WITH THE OWNER OR GENERAL CONTRACTOR PRIOR TO THE COMMENCEMENT OF ANY DIGGING OPERATIONS. IN THE EVENT THEY ARE UNCOVERED, THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ALL DAMAGE TO UTILITIES AND SUCH DAMAGE SHALL NOT RESULT IN ANY ADDITIONAL EXPENSES TO THE OWNER. IF ANY UTILITY LINES ARE ENCOUNTERED IN EXCAVATION OF TREE PITS, OTHER LOCATIONS FOR TREES SHALL BE MADE BY THE CONTRACTOR WITHOUT ADDITIONAL COMPENSATION. NO CHANGES OF LOCATION SHALL BE MADE WITHOUT APPROVAL OF THE OWNER OR LANDSCAPE ARCHITECT.
3.

ALL EQUIPMENT AND TOOLS SHALL BE PLACED SO AS NOT TO INTERFERE OR HINDER THE PEDESTRIAN AND VEHICULAR TRAFFIC FLOW.
4.

THE CONTRACTOR SHALL INSURE THAT HIS WORK DOES NOT INTERRUPT ESTABLISHED OR PROJECTED DRAINAGE PATTERNS.
5.

THE CONTRACTOR SHALL INSURE ADEQUATE VERTICAL DRAINAGE IN ALL PLANT BEDS AND PLANTERS. MAINTAIN POSITIVE DRAINAGE OUT OF PLANTING BEDS AT A MINIMUM 2% SLOPE. ALL GRADES, DIMENSIONS, AND EXISTING CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR ON SITE BEFORE CONSTRUCTION BEGINS. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT OR OWNER.
6.

EVERY POSSIBLE SAFEGUARD SHALL BE TAKEN TO PROTECT BUILDING SURFACES, EQUIPMENT, AND FURNISHING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE OR INJURY TO PERSON OR PROPERTY WHICH MAY OCCUR AS A RESULT OF HIS NEGLIGENCE IN THE EXECUTION OF THE WORK.
7.

THE GENERAL CONTRACTOR IS REQUIRED TO MAKE SURE THAT ANY SOIL STABILIZATION MATERIALS/CONSTRUCTION DEBRIS ETC. IS REMOVED FROM THE LANDSCAPE AREAS PRIOR TO PLANTING.
8.

PLANTS SHALL CONFORM TO CURRENT "AMERICAN STANDARDS FOR NURSERY STOCK" BY LATEST EDITION OF ANSI Z60.1, PARTICULARLY WITH REGARD TO SIZE, GROWTH, SIZE OF BALL, AND DENSITY OF BRANCH STRUCTURE. ALL PLANTS (B&B OR CONTAINER) SHALL BE PROPERLY IDENTIFIED BY WEATHER-PROOF LABELS SECURELY ATTACHED THERETO BEFORE DELIVERY TO PROJECT SITE. LABELS SHALL IDENTIFY PLANTS BY NAME, SPECIES, AND SIZE. LABELS SHALL NOT BE REMOVED UNTIL THE FINAL INSPECTION BY THE LANDSCAPE ARCHITECT OR AGENT IN CHARGE. PLANT MATERIAL SHALL BE TAGGED AT THE SOURCE BY THE LANDSCAPE ARCHITECT UNLESS THIS REQUIREMENT IS SPECIFICALLY WAIVED. NO SUBSTITUTIONS SHALL BE MADE WITHOUT WRITTEN CONSENT OF THE OWNER OR LANDSCAPE ARCHITECT. ALL PLANT MATERIAL SHALL BE BALLED AND BURLAPPED (B&B) OR CONTAINER GROWN UNLESS OTHERWISE NOTED. ALL PLANT MATERIALS SHALL BE FULL HEAVY SPECIMENS. PLANTS SHALL BE HIGH QUALITY NURSERY GROWN AND SHALL BE HEALTHY AND VIGOROUS, TYPICAL OF THEIR SPECIES AND VARIETY, AND HAVE WELL-DEVELOPED BRANCHES, DENSELY FOLIATED, AND VIGOROUS ROOT SYSTEMS.
9.

TREES SHALL BE FRESHLY DUG AND NURSERY GROWN. THEY SHALL HAVE BEEN GROWN UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THE PROJECT OR PROPERLY ACCLIMATED TO CONDITIONS OF THE LOCALITY OF THE PROJECT.
10.

TREES SHALL BE FREE FROM DEFECTS AND INJURIES AND CERTIFIED BY APPROPRIATE FEDERAL AND STATE AUTHORITIES TO BE FREE OF DISEASES AND INSECT INFESTATIONS.
11.

PLANT MATERIAL AVAILABILITY MAY VARY AT THE TIME OF CONSTRUCTION. ANY SUBSTITUTIONS ARE TO BE OF EQUIVALENT OF SPECIES, QUANTITY, SIZE AND LOCATION. SIZE SUBSTITUTIONS MUST BE THE SAME SIZE (OR LARGER), AND MUST BE APPROVED BY LANDSCAPE ARCHITECT BEFORE INSTALLATION.
12.

QUANTITIES OF TREES, EVERGREENS, SHRUBS AND GROUNDCOVER NOTED ON THE PLANT LIST ARE BASED UPON THE GRAPHIC SYMBOLS SHOWN ON THE DRAWINGS. IF THERE IS A DISCREPANCY BETWEEN GRAPHIC SYMBOLS AND QUANTITIES SHOWN IN THE PLANT LIST, THE GREATER QUANTITY THAT APPLY. CONTACT OWNER'S REPRESENTATIVE IF A DISCREPANCY IS FOUND BETWEEN THE QUANTITIES NOTED IN THE PLANT LIST AND THE SYMBOL COUNT OF PLANT MATERIALS SHOWN ON THE DRAWINGS.
13.

THE LANDSCAPE ARCHITECT OR OWNER SHALL HAVE THE RIGHT, AT ANY STAGE OF THE OPERATIONS, TO REJECT ANY AND ALL WORK AND MATERIAL WHICH, IN HIS OPINION, DOES NOT MEET THE REQUIREMENTS OF THESE PLANS AND SPECIFICATIONS. ALL REJECTED MATERIALS SHALL BE REMOVED FROM THE SITE BY THE CONTRACTOR.
14.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR STABILITY AND CONDITIONS OF ALL TREES AND SHRUBS AND SHALL BE LEGALLY LIABLE FOR ANY DAMAGE CAUSED BY INSTABILITY OF ANY PLANT MATERIALS. TREE STAKES SHALL BE SET AT LEAST TWO FEET (2') INTO THE GROUND. TREE STAKING AND GUYING SHALL BE DONE PER DETAILS. CONTRACTOR SHALL ENSURE THAT TREES REMAIN PLUMB AND UPRIGHT FOR THE DURATION OF THE GUARANTEE PERIOD.
15.

ALL PLANT MATERIAL SHALL BE GUARANTEED BY THE PROPERTY OWNER OR INSTALLER "AS PER THE LONG TERM MAINTENANCE AGREEMENT". AFTER FINAL INSPECTION AND ACCEPTANCE OF THE WORK, PLANTS SHALL BE ALIVE AND IN SATISFACTORY GROWING CONDITION AT THE END OF THE GUARANTEE PERIOD. THE PLANT MATERIAL SHALL BE GUARANTEED AGAINST DEFECTS, UNSATISFACTORY GROWTH, DISEASE OR DEATH. UNSATISFACTORY, UNHEALTHY, DYING OR DEAD PLANT MATERIAL (IN THE OPINION OF THE LANDSCAPE ARCHITECT) SHALL BE REPLACED WITH THE SAME SIZE AND SPECIES. IT SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR TO ADEQUATELY AND PROPERLY MAINTAIN THE LANDSCAPED AREAS, WHICH SHALL INCLUDE MOWING OF TURF, WATERING, MULCHING, FERTILIZING, CLEANING OF WEEDS AND DEBRIS, PRUNING AND TRIMMING, REPLACEMENT OF DEAD OR DISEASED PLANTINGS, AND ANY OTHER CARE NECESSARY TO MAINTAIN HEALTHY GROWTH FOR THE WARRANTY PERIOD. THEREAFTER, THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR MAINTAINING ALL PLANT MATERIAL IN A HEALTHY CONDITION AT ALL TIMES. DEAD OR DISEASED PLANTS MAY BE REMOVED BUT SHALL BE REPLACED WITH NEW MATERIAL BY THE SINKER WITHIN ONE GROWING SEASON. THE CONTRACTOR MUST BE ABLE TO PROVIDE CONTINUED MAINTENANCE IF REQUESTED BY THE OWNER.
16.

UPON FINAL ACCEPTANCE IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REMOVE ALL GUYS AND STAKING.
17.

THE CONTRACTOR IS RESPONSIBLE FOR TESTING PROJECT SOILS. THE CONTRACTOR IS TO PROVIDE A CERTIFIED SOILS REPORT TO THE OWNER. THE CONTRACTOR SHALL VERIFY THAT THE SOILS ON SITE ARE ACCEPTABLE FOR THE PROPER GROWTH OF THE PROPOSED PLANT MATERIAL. SHOULD THE CONTRACTOR FIND POOR SOIL CONDITIONS, THE CONTRACTOR SHALL BE REQUIRED TO PROVIDE SOIL AMENDMENTS AS NECESSARY. THESE AMENDMENTS SHALL INCLUDE, BUT NOT BE LIMITED TO, FERTILIZERS, LIME, AND TOPSOIL. PROPER PLANTING SOILS MUST BE VERIFIED PRIOR TO PLANTING OF MATERIALS. SOIL PH AND FERTILITY SHALL BE BETWEEN 6.0 AND 7.0.

A.

ORGANIC MATTER CONTENT: COMPOST SHALL BE ADDED TO TOPSOIL IN A 70:30 RATIO OF TOPSOIL TO COMPOST.

B.

SOIL COMPACTION: OPTIMAL IS <1.65G/CUBIC CM.
21.

THE CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL AND DISPOSAL OF ALL RUBBISH, TRASH, DEBRIS, AND ORGANIC MATERIAL IN A LAWFUL MANNER. THE CONTRACTOR SHALL DISPOSE OF STUMPS AND MAJOR ROOTS OF ALL PLANTS TO BE REMOVED. ANY DEPRESSIONS CAUSED BY REMOVAL OPERATIONS SHALL BE REFILLED WITH FERTILE, FRIABLE SOIL PLACED AND COMPACTED SO AS TO REESTABLISH PROPER GRADE FOR NEW PLANTING AND/OR LAWN AREAS.
22.

ALL TREE PITS, SHRUB BEDS, AND PREPARED PLANTING BEDS ARE TO BE COMPLETELY EXCAVATED IN ACCORDANCE WITH THE PLANTING DETAILS. CONTRACTOR SHALL DIG PLANTING PITS AND BEDS, AMEND SOIL (AS SPECIFIED), BACKFILL PLANTING AREAS, AND INSTALL PLANTS ONLY WHEN SOIL CONDITIONS ARE NOT WET, AND WHEN MIXING AND BACKFILLING WILL NOT ADVERSELY AFFECT SOIL STRUCTURE.
23.

CONTRACTOR SHALL SLIGHTLY ADJUST PLANT LOCATIONS IN THE FIELD AS NECESSARY TO BE CLEAR OF DRAINAGE SWALES AND UTILITIES. TREES SHALL BE LOCATED A MINIMUM OF FIVE FEET (5') FROM SEWER/WATER CONNECTIONS. CONTRACTOR SHALL BE LIABLE FOR DAMAGE TO ANY AND ALL PUBLIC AND PRIVATE UTILITIES, WATER AND SEWER LINES.
24.

TREES AND SHRUBS SHALL BE PLANTED DURING ACCEPTABLE PLANTING SEASONS:

	DECIDUOUS	EVERGREEN		
SEASON	B&B	CONTAINER	B&B	CONTAINER
SPRING	3/1-5/15	3/1-6/15	3/1-5/15	3/15-6/15
FALL	10/1-11/15	9/1-12/1	9/1-11/15	9/1-11/15
25.

ALL PLANT BEDS SHALL HAVE A WEED BARRIER AND BE TOP DRESSED WITH A MINIMUM 2" AND A MAXIMUM OF 3" LAYER OF MULCH WITHIN TWO DAYS AFTER PLANTING. THIS SHALL BE SHREDDED HARDWOOD BARK, AND SHALL COVER ENTIRELY THE PLANTING BED. MULCH SHALL HAVE BEEN SHREDDED WITHIN THE LAST SIX MONTHS. ALL TREES PLANTED IN TURF SHALL BE INSTALLED WITH A 3' DIAMETER HARDWOOD MULCH RING. PLANTS SHALL BE WATERED TO THE POINT OF OVERFLOW OR SATURATION TWICE WITHIN 48 HOURS OF PLANTING.
26.

ALL PLANTING BEDS ADJACENT TO LAWN, SOD, OR SEEDED AREAS SHALL BE SPADE EGGED.
27.

WHERE THE CONDITION EXISTS THAT BALLED AND BURLAPPED TREES ARE DELIVERED IN WIRE BASKETS, THE WIRE BASKETS SHALL BE CUT DOWN THE SIDE OF EACH MESH AND PEELED AWAY FROM THE ROOTBALL OR REMOVED IN ENTIRETY. NO PORTION OF THE WIRE BASKET SHALL REMAIN INTACT AROUND THE SIDES OF THE ROOTBALL OR EXTEND ABOVE FINISHED GRADE. THE CROWN OF ROOT BALL SHALL BE SET SO THAT THE TOP 1/8 OF THE ROOT BALL SITS ABOVE FINISHED GRADE.
28.

ALL AREAS NOT COVERED BY PAVING, PLANTING BEDS, OR SPECIFIED OTHERWISE ON THE LANDSCAPE PLAN SHALL BE PLANTED WITH SOD OR AS NOTED ON THE EROSION AND SEDIMENT CONTROL PLANS. DISTURBED AREAS SHALL BE SEEDED AND STABILIZED AS PER EROSION AND SEDIMENT CONTROL PLANS. ALL AREAS TO BE SEEDED/SODDED SHALL HAVE A FOUR (4) INCH LAYER OF TOPSOIL. FOR ALL PLANTING AREAS INDICATED ON THE LANDSCAPE PLAN PLACE A TWELVE (12) INCH LAYER OF TOPSOIL. PLANTING AREAS NOT IMPACTED BY SITE GRADING SHALL HAVE NO ADDITIONAL TOPSOIL INSTALLED.
29.

PLANTING MIX:

PLANTING MIX SHALL BE PREPARED AT APPROVED ON-SITE STAGING AREA USING APPROVED ON-SITE EXISTING SOIL. EXISTING SOIL IN BED AREAS SHALL BE AMENDED TO A DEPTH OF 12". MIX MINIMUM THE LANDSCAPE CONTRACTOR SHALL MIX TOPSOIL WITH EXISTING SURFACE SOILS TO PREVENT LAYERING. SMOOTH SURFACE WITH NO HIGH OR LOW SPOTS. NO DIRT CLODS GREATER THAN 2" IN DIAMETER.

A.

EXISTING SOIL IN BED AREAS SHALL BE AMENDED. MIX MINIMUM QUANTITIES OF 20 CUBIC YARDS OR SUFFICIENT MIX FOR ENTIRE JOB IF LESS THAN 20 CUBIC YARDS IS REQUIRED.

B.

THOROUGHLY MIXED IN THE FOLLOWING PROPORTIONS FOR TREE AND SHRUB PLANTING MIX: 0.5 CY EXISTING SOIL; 0.2 CY SHARP SAND; 0.3 CY WOOD RESIDUALS; 4.5 LBS TREBLE SUPERPHOSPHATE; 5.0 LBS DOLOMITE LIMESTONE (ELIMINATE FOR ACID LOVING PLANTS)

C.

FOR BED PLANTING, SHRUBS AND GROUNDCOVER SPACES 24 INCHES OR CLOSER, INCORPORATE THE FOLLOWING INGREDIENTS PER 20 SF AND INCORPORATE INTO TOP 8 INCHES OF EXISTING SOILS BY ROTOTILLING OR SIMILAR METHOD OF INCORPORATION: 0.2 CY SHARP SAND; 0.3 CY ORGANIC MATERIAL; 4.5 LBS TREBLE SUPERPHOSPHATE; 5.0 LBS DOLOMITE LIMESTONE (ELIMINATE FOR ACID LOVING PLANTS)
30.

FOR ALL PLANTING AREAS LOCATED IN STORM WATER MANAGEMENT FACILITIES CONTRACTOR SHALL INSTALL PLANTS IN PERMEABLE SOIL AND MULCHED AS SPECIFIED PER THE STORMWATER MANAGEMENT DRAWINGS.
31.

FOR SEEDING TYPES AND LOCATIONS REFER TO E&S DRAWINGS.
32.

ALL PLANTINGS SHALL FOLLOW THE SPECIFICATIONS AND INSTRUCTIONS LISTED IN THE LONG TERM MAINTENANCE AGREEMENT.

MAINTENANCE AGREEMENT

MAINTENANCE AGREEMENT:

ALL PLANTS SHALL BE GUARANTEED TO REMAIN ALIVE AND HEALTHY "AS PER LONG TERM MAINTENANCE AGREEMENT" AFTER INITIAL ACCEPTANCE. ANY REPLACEMENT PLANTS, REQUIREMENTS, ETC. AND METHOD OF PLACING SHALL COMPLY WITH THE REQUIREMENTS SPECIFIED HEREIN AND ON THE DRAWINGS.

THE COMPANY RESPONSIBLE FOR TREE CARE:  
THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTENANCE  
AND TREE CARE FOR A PERIOD OF TWO YEARS. SERVICES SHALL INCLUDE,  
BUT NOT BE LIMITED TO THE FOLLOWING:

- A.

WATERING

•

WATERING SHALL BE PROVIDED DURING THE GROWING SEASON AS REQUIRED.

•

FIRST GROWING SEASON: ONCE PER WEEK

•

SECOND GROWING SEASON: AS NEEDED, BUT NOT LESS THAN ONCE PER MONTH DURING JULY AND AUGUST.
- B.

REINFORCEMENT PLANTING PROVISIONS

•

A MINIMUM OF 100% OF THE TOTAL NUMBER OF TREES PLANTED PER ACRE IS REQUIRED TO SURVIVE AT THE END OF THE MAINTENANCE PERIOD.
- C.

PROTECTION FROM DISEASE AND INJURY

•

PERIODIC INSPECTION SHALL BE MADE FOR ANY EVIDENCE OF DISEASE OR DAMAGE.

STAFFORD COUNTY LANDSCAPING NOTES

- 1)

CONTRACTOR SHALL FURNISH AND INSTALL ALL PLANTS AS SHOWN ON THE APPROVED LANDSCAPE PLAN, IN ACCORDANCE WITH THE TYPE, SIZES, QUANTITIES, AND SPECIFICATIONS LISTED IN THE PLANT SCHEDULE.
- 2)

TOTAL NUMBER OF PLANTS SHALL BE DRAWN ON THE LANDSCAPE PLAN. IF THE ACTUAL TOTAL IS DIFFERENT FROM THE APPROVED LANDSCAPE PLAN, THE CONTRACTOR SHALL NOTIFY THE OWNER AND/OR OWNERS REPRESENTATIVE AND APPROVED BY THE COUNTY.
- 3)

ALL PLANTS SHALL BE NURSERY GROWN AND SHALL BE HARDY UNDER CLIMATE CONDITIONS IN THE LOCALITY OF THE PROJECT.
- 4)

PLANT DIMENSIONS SHALL BE IN ACCORDANCE WITH THE MOST RECENT EDITION OF THE STANDARDIZED LANDSCAPE SPECIFICATIONS FOR THE COMMONWEALTH OF VIRGINIA, WHICH REFERENCES THE AMERICAN STANDARD FOR NURSERY STOCK (ANS)
- 5)

BALLED AND BURLAPPED PLANTS SHALL BE DUG WITH FIRM, NATURAL BALLS OF EARTH AND SHALL BE PRUNED, STORED, AND DUG IN ACCORDANCE WITH CURRENT ANS STANDARDS. NO BALLED AND BURLAPPED PLANTS SHALL BE PLANTED IF THE BALL IS EITHER CRACKED OR BROKEN DURING THE PROCESS OF PLANTING.
- 6)

ALL PLANTS SHALL HAVE A NORMAL HABIT OF GROWTH AND SHALL BE SOUND, HEALTHY, VIGOROUS, WELL ROOTED, AND FREE FROM DISEASE AND INSECT INFESTATION. ANY TREE WITH WEAK, THIN TRUNKS NOT CAPABLE OF SUPPORTING ITSELF WILL NOT BE ACCEPTABLE. THE MINIMUM ACCEPTABLE SIZE OF ALL PLANTS MEASURED BEFORE PRUNING WITH THE BRANCHES IN NORMAL POSITION SHALL CONFORM TO DIMENSIONS AS SHOWN ON THE APPROVED LANDSCAPE PLAN. LARGER PLANTS OF EQUAL QUALITY MAY BE ACCEPTED AT NO ADDITIONAL COST TO THE OWNER.
- 7)

SUBSTITUTION OF PLANTS SHALL NOT BE PERMITTED UNLESS AUTHORIZED BY THE OWNER AND/OR OWNER'S REPRESENTATIVE AND APPROVED BY THE COUNTY.
- 8)

THE CONTRACTOR SHALL LAY OUT, WITH IDENTIFIABLE STAKES, THE LOCATION OF ALL TREES, OUTLINES OF PLANTING BEDS, AND UNDERGROUND UTILITIES AS INDICATED ON THE APPROVED LANDSCAPE PLAN. IN THE EVENT THAT ROCK, UTILITY LINES, OR ANY UNDERGROUND OBSTRUCTIONS ARE ENCOUNTERED DURING THESE OPERATIONS, OR IN THE EXCAVATION OF ANY PLANT PITS, ALTERNATE LOCATIONS MAY BE SELECTED BY THE OWNER AND/OR OWNER'S REPRESENTATIVE AND APPROVED BY COUNTY WITH NO ADDITIONAL COST TO THE OWNER.

PAGE 27
- 9)

PLANTING SOIL SHALL BE \_\_\_\_\_
- 10)

MULCH SHALL BE APPLIED IMMEDIATELY AFTER PLANTING OPERATIONS. MULCH SHALL BE FREE OF DEBRIS, WEEDS, SPORES OR OTHER FOREIGN MATERIAL, WELL ROTTED AND OF SUCH CHARACTER AS TO NOT BE EASILY REMOVED BY THE ELEMENTS.
- 11)

PRIOR TO INSTALLATION, THE CONTRACTOR SHALL NOTIFY THE OWNER AND/OR OWNERS REPRESENTATIVE OF ALL SOIL OR DRAINAGE CONDITIONS THAT ARE DETRIMENTAL TO THE GROWTH OF PLANTS. THE CONTRACTOR SHALL STATE THE CONDITIONS AND SUBMIT A PROPOSAL, IN WRITING, CORRECTING THE CONDITIONS, INCLUDING ANY CHANGE IN COST, FOR REVIEW AND ACCEPTANCE BY THE OWNER.
- 12)

A CONTAINER GROWN PLANT SHALL BE DEFINED AS A PLANT TRANSPLANTED INTO A CONTAINER AND GROWN IN THAT CONTAINER SUFFICIENTLY LONG FOR THE NEW FIBROUS ROOTS TO HAVE DEVELOPED SO THAT THE CONTAINER MASS WILL RETAIN ITS SHAPE AND HOLD TOGETHER WHEN REMOVED FROM THE CONTAINER. ALL CONTAINER GROWN PLANTS SHALL BE SOUND, HEALTHY, VIGOROUS AND INSECT INFESTATION, AND ESTABLISHED IN THE CONTAINER IN WHICH THEY ARE SOLD. THEY SHALL HAVE TOPS THAT ARE OF GOOD QUALITY AND ARE IN HEALTHY CONDITION. NO ROOT BOUND CONTAINER GROWN PLANTS WILL BE PERMITTED. NO CONTAINER GROWN PLANT SHALL BE PLANTED IF THE ROOT MASS IS BROKEN EITHER BEFORE OR DURING THE PROCESS OF PLANTING.
- 13)

ALL PLANT PITS SHALL BE CIRCULAR IN OUTLINE. ALL EXCAVATIONS SHALL HAVE VERTICAL SIDES. THE DEPTHS AND WIDTHS FOR EXCAVATION OF PLANT PITS SHALL BE THE DEPTHS AND WIDTHS AS SPECIFIED IN THE LANDSCAPE PLAN. LOOSEN SUBGRADE 6" BELOW BOTTOM OF THE PIT. SUBGRADE SOILS SHALL BE SEPARATED FROM THE UPPER TOPSOIL PORTIONS AND REMOVED IMMEDIATELY WHEREVER ENCOUNTERED DURING PLANTING OPERATIONS. EXCESS SOILS SHALL BE REMOVED AND LEGALLY DISPOSED.
- 14)

IN GENERAL, SET PLANTS AT SAME RELATION TO FINISHED GRADE AS THE BORE TO THE GROUND FROM WHICH THEY WERE DUG. PREPARE PLANTING PITS AS SPECIFIED AND AS SHOWN ON THE LANDSCAPE PLAN, PRIOR TO INSERTING PLANTS. USE TOPSOIL MIXTURE TO BACKFILL APPROXIMATELY 2/3 FULL. WATER THOROUGHLY BEFORE INSTALLING REMAINDER OF THE SOIL TO THE TOP OF THE PIT. SET TREES PLUMB AND BRACE RIGIDLY IN POSITION UNTIL THE PLANTING SOIL HAS BEEN TAMPED SOLIDLY AROUND THE BALL AND THE ROOTS.
- 15)

GUYING AND STAKING SHALL BE REQUIRED FOR ALL TREES IN ACCORDANCE WITH THE LANDSCAPE PLAN AND MUST BE COMPLETED WITHIN 24 HOURS AFTER PLANTING.
- 16)

MAINTENANCE OF NEW PLANTS SHALL CONSIST OF PRUNING, WATERING, CULTIVATING, WEEDING, MULCHING, TIGHTENING, AND RESETTING PLANTS TO PROPER GRADES OR UPRIGHT POSITION. RESTORATION OF THE PLANTING SAUCER AND FURNISHING AND APPLYING SUCH SPRAYS ARE NECESSARY TO KEEP THE PLANT FREE FROM DISEASE AND INSECT INFESTATION. MAINTENANCE SHALL BE PROVIDED UNTIL TIME OF PROVISIONAL ACCEPTANCE.
- 17)

PLANTINGS AND PLANTING AREAS SHALL BE PROTECTED AT ALL TIMES AGAINST TRESPASSING AND DAMAGE OF ANY KIND FOR THE DURATION OF THE MAINTENANCE PERIOD. IF ANY PLANTS BECOME DAMAGED, THEY SHALL BE TREATED OR REPLACED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER. NO WORK SHALL BE DONE WITHIN, ADJACENT TO, OR OVER ANY PLANT OR PLANTING AREA WITHOUT PROPER SAFEGUARDS AND PROTECTION.

PAGE 28
- 18)

ALL PLANTS SHALL BE GUARANTEED BY THE CONTRACTOR FOR A PERIOD OF ONE YEAR FROM THE DATE OF PROVISIONAL ACCEPTANCE. THE CONTRACTOR SHALL PROVIDE, IN WRITING, SPECIFIC MAINTENANCE RECOMMENDATIONS TO THE OWNER FOR ALL PLANTS TO REMAIN IN GOOD, HEALTHY, AND FLOURISHING CONDITION.
- 19)

FOR PLANTS THAT HAVE BEEN PROPERLY MAINTAINED BY THE OWNER DURING THE ONE-YEAR GUARANTEE PERIOD, THE CONTRACTOR SHALL REPLACE, WITHOUT COST TO THE OWNER, ALL DEAD OR SEVERELY DAMAGED PLANTS AS DETERMINED BY A CERTIFIED AGENT. THE REPLACEMENT PLANTS SHALL BE SOUND, HEALTHY, VIGOROUS, WELL ROOTED, FREE FROM DISEASE AND INSECT INFESTATION, AND SHALL CLOSELY MATCH SURROUNDING PLANTS OF THE SAME SIZE AND SPECIES. REQUIREMENTS SHALL BE SUBJECT TO ALL REQUIREMENTS STATED IN THIS SPECIFICATION.
- 20)

THE GUARANTEE OF ALL REPLACEMENT PLANTS SHALL EXTEND FOR AN ADDITIONAL PERIOD OF ONE YEAR FROM THE DATE OF THEIR ACCEPTANCE AFTER REPLACEMENT. IN THE EVENT THAT A REPLACEMENT IS NOT ACCEPTABLE DURING OR AT THE END OF THE SAID EXTENDED GUARANTEE PERIOD, THE OWNER MAY ELECT A SUBSTITUTION OR A CREDIT FOR EACH ITEM.
- 21)

NO PLANTS SHALL IMPEDE THE SIGHT DISTANCE FOR INGRESS & EGRESS TO THE SITE.
- 22)

PERFORMANCE BOND MAY BE REQUIRED BY STAFFORD COUNTY [ORD. 28-86(C)(5)]

MILESTONE SITE NAME:  
SHACKLEFORD'S PLUMBING

SITE ADDRESS:  
1150 WHITE OAK ROAD  
FREDERICKSBURG, VA 22405  
STAFFORD COUNTY

REVISIONS:

NO	DESCRIPTION	DATE

ZONING COMMENTS09/23/22

DESIGNED BY:JT

DRAWN BY:CJS

PROJECT NO:21235.006

DATE:07/06/2022

SCALE:AS NOTED

TITLE:

Landscaping  
Notes

SHEET:

C-5



Know what's below.  
Call before you dig.

PROTECT YOURSELF. GIVE THREE  
WORKING DAYS NOTICE.  
THIS DRAWING DOES NOT INCLUDE NECESSARY  
COMPONENTS FOR CONSTRUCTION SAFETY. ALL  
CONSTRUCTION MUST BE DONE IN COMPLIANCE  
WITH THE OCCUPATIONAL SAFETY AND HEALTH  
ACT OF 1970 AND ALL RULES AND REGULATIONS  
THERE TO APPURTENANT.



